

**Construo Development**  
**275 Main street**  
**Boston Ma, 02125**

## **615 Albany St Proposal**

- 1) Project timeline & revisions**
- 2) Original Proposed Elevation**
- 3) Existing conditions**
- 4) Sedlc Proposal**

### **August 8 2023:**

First BPDA prefile meeting for the project. Notes were provided on our initial proposed plans & feedback was incorporated into the initial design.

### **November 14 2023:**

2nd prefile meeting with BPDA. Plans were well received and SPRA application process started.

### **April 2024**

Proponent applies to participate in downtown boston office to residential conversion Pilot program. Interagency review runs smoothly & swiftly since we already have our SPRA together.

### **MAY 7th SEDLC Meeting Comments and Notes:**

#### **Massing:**

#### **Stair Shaft:**

Siding alternatives of the egress stair tower were discussed. A vertical pattern with horizontal accents to break-up the vertical scale. A copper look was recommended if practical.

RESPONSE: A metal panel siding with a seam that offers a subtle shadow line has been proposed (Sterracore by Atlas Internation) with a vertical orientation. A subtle horizontal protrusion of the same material has been added to provide shadow lines that vertically scale down the tower to a more manageable proportion.

#### **Windows:**

The style and placement of the windows was discussed and how they fit with the proportions of the building. It was recommended that the spacing and orientation of the new windows better address the existing building and windows below.

RESPONSE: We feel that the proposed windows should maintain a dialogue with the modern expression of the 5<sup>th</sup> and 6<sup>th</sup> floor. However, the windows have been scaled down to the size of the existing windows below as well as maintaining an alignment with the pattern of the existing windows below.

**Addition Set back:**

Concerns were raised about the addition and setbacks. The renderings were not available at this time and the movement on the 5th and 6th story was difficult to see from the elevations. It was recommended again the proportions should match the building below better.

Response: We have revisited the setback of the 5<sup>th</sup> and 6<sup>th</sup> floor addition to address the proportions of the building below. A portion of the 5<sup>th</sup> and 6<sup>th</sup> floor is still “pulled out” to align with the brick below the corbels, but they are proportioned and centered to better address the over all scale of the building and neighboring buildings on Albany Street.

**Materials:**

Discussions were had on alternative materials for the shaft and 5 & 6th story.

Response: The proposed siding at the stair tower, “pull-out” accents and roof top headhouse will be Sterracore by Atlas international that addresses the commercial scale of the neighborhood. The proposed siding of the remaining 5<sup>th</sup> and 6<sup>th</sup> floors will be Versa-Seam by the same manufacturer and offers a more residential scale and addresses the horizontal articulation of the existing brick below.

**June 4th Meeting:**

On June 4th we presented the revised plans incorporating all notes from the May 7 meeting. The proposed plans were well received.

**Revision To address Accessibility entrances:**

The 2nd entrance that was being added to provide accessible entrance has been removed. At the request of MAAB, we have revised so that the main entrance has been redesigned to accommodate an accessible ramp. Now, all residents enter through the same door. A big undertaking, This is will also provide a much better solution for maintaining the historic elements of the albany st facade.

**September 2024:**

The proposed project was well received at BPDA & approved at this meeting.

**October 2024:**

The proposed project was approved by ZBA.

**December 2024**

Presenting the final plans before the commission today in hopes of final approval.



**NOTE:**  
ALL WINDOWS TO  
BE REPLACED IN KIND,  
UNLESS NOTED  
OTHERWISE.  
EXISTING MASONRY  
TO BE REPOINTED OR  
REPAIRED AS NEEDED.

1 ALBANY STREET ELEVATION  
3/16" = 1'-0"

2 WEST ELEVATION  
3/16" = 1'-0"



WINDOW SCHEDULE				
NO.	WIDTH	HEIGHT	SIFS	TYPE
1	3'-0"	4'-0"	4114A	SQUARE FIXED
2	3'-0"	4'-0"	4114A	SQUARE FIXED
3	3'-0"	4'-0"	4114A	SQUARE FIXED
4	3'-0"	4'-0"	4114A	SQUARE FIXED
5	3'-0"	4'-0"	4114A	SQUARE FIXED
6	3'-0"	4'-0"	4114A	SQUARE FIXED
7	3'-0"	4'-0"	4114A	SQUARE FIXED
8	3'-0"	4'-0"	4114A	SQUARE FIXED
9	3'-0"	4'-0"	4114A	SQUARE FIXED
10	3'-0"	4'-0"	4114A	SQUARE FIXED
11	3'-0"	4'-0"	4114A	SQUARE FIXED
12	3'-0"	4'-0"	4114A	SQUARE FIXED
13	3'-0"	4'-0"	4114A	SQUARE FIXED
14	3'-0"	4'-0"	4114A	SQUARE FIXED
15	3'-0"	4'-0"	4114A	SQUARE FIXED
16	3'-0"	4'-0"	4114A	SQUARE FIXED
17	3'-0"	4'-0"	4114A	SQUARE FIXED
18	3'-0"	4'-0"	4114A	SQUARE FIXED
19	3'-0"	4'-0"	4114A	SQUARE FIXED
20	3'-0"	4'-0"	4114A	SQUARE FIXED
21	3'-0"	4'-0"	4114A	SQUARE FIXED
22	3'-0"	4'-0"	4114A	SQUARE FIXED
23	3'-0"	4'-0"	4114A	SQUARE FIXED
24	3'-0"	4'-0"	4114A	SQUARE FIXED
25	3'-0"	4'-0"	4114A	SQUARE FIXED
26	3'-0"	4'-0"	4114A	SQUARE FIXED
27	3'-0"	4'-0"	4114A	SQUARE FIXED
28	3'-0"	4'-0"	4114A	SQUARE FIXED
29	3'-0"	4'-0"	4114A	SQUARE FIXED
30	3'-0"	4'-0"	4114A	SQUARE FIXED
31	3'-0"	4'-0"	4114A	SQUARE FIXED
32	3'-0"	4'-0"	4114A	SQUARE FIXED
33	3'-0"	4'-0"	4114A	SQUARE FIXED
34	3'-0"	4'-0"	4114A	SQUARE FIXED
35	3'-0"	4'-0"	4114A	SQUARE FIXED
36	3'-0"	4'-0"	4114A	SQUARE FIXED
37	3'-0"	4'-0"	4114A	SQUARE FIXED
38	3'-0"	4'-0"	4114A	SQUARE FIXED
39	3'-0"	4'-0"	4114A	SQUARE FIXED
40	3'-0"	4'-0"	4114A	SQUARE FIXED
41	3'-0"	4'-0"	4114A	SQUARE FIXED
42	3'-0"	4'-0"	4114A	SQUARE FIXED
43	3'-0"	4'-0"	4114A	SQUARE FIXED
44	3'-0"	4'-0"	4114A	SQUARE FIXED
45	3'-0"	4'-0"	4114A	SQUARE FIXED
46	3'-0"	4'-0"	4114A	SQUARE FIXED
47	3'-0"	4'-0"	4114A	SQUARE FIXED
48	3'-0"	4'-0"	4114A	SQUARE FIXED
49	3'-0"	4'-0"	4114A	SQUARE FIXED
50	3'-0"	4'-0"	4114A	SQUARE FIXED
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52	3'-0"	4'-0"	4114A	SQUARE FIXED
53	3'-0"	4'-0"	4114A	SQUARE FIXED
54	3'-0"	4'-0"	4114A	SQUARE FIXED
55	3'-0"	4'-0"	4114A	SQUARE FIXED
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64	3'-0"	4'-0"	4114A	SQUARE FIXED
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66	3'-0"	4'-0"	4114A	SQUARE FIXED
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70	3'-0"	4'-0"	4114A	SQUARE FIXED
71	3'-0"	4'-0"	4114A	SQUARE FIXED
72	3'-0"	4'-0"	4114A	SQUARE FIXED
73	3'-0"	4'-0"	4114A	SQUARE FIXED
74	3'-0"	4'-0"	4114A	SQUARE FIXED
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86	3'-0"	4'-0"	4114A	SQUARE FIXED
87	3'-0"	4'-0"	4114A	SQUARE FIXED
88	3'-0"	4'-0"	4114A	SQUARE FIXED
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97	3'-0"	4'-0"	4114A	SQUARE FIXED
98	3'-0"	4'-0"	4114A	SQUARE FIXED
99	3'-0"	4'-0"	4114A	SQUARE FIXED
100	3'-0"	4'-0"	4114A	SQUARE FIXED







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Naval Blood Research Laboratory



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# Albany Street Residences

615 Albany Street, Boston, MA 02118

## CODE ANALYSIS:

- APPLICABLE CODES:  
BUILDING CODE :  
IBC 2015 (780 CMR)  
IEBC 2015  
IECC 2018  
IFC 2015 (527 CMR)  
8TH EDITION AMENDMENTS
- ZONING DISTRICT - IS (INSTITUTIONAL)  
SETBACKS:  
FRONT: ALLOWED: 0.0' EXISTING CONFORMITY: 0.0' PROPOSED CONFORMITY: NO CHANGE  
RIGHT: 0.0' 0.0' NO CHANGE  
LEFT: 0.0' 0.0' NO CHANGE  
REAR: 0.0' 0.0' NO CHANGE  
HEIGHT: 120' -59'-1" 69'-0"
- USABLE OPEN SPACE REQUIREMENTS: 200 SF PER UNIT  
TOTAL REQUIRED: 4,800SF  
PROPOSED: 725SF  
GROUND LEVEL: 334SF  
ROOF DECK (25% OF TOTAL 1,564SF): 391SF
- CHAPTER 2 - DEFINITIONS  
*HIGH RISE BUILDING: A BUILDING WITH AN OCCUPIED FLOOR MORE THAN 70' ABOVE THE LOWEST LEVEL OF FIRE DEPT VEHICLE ACCESS, AND ELEVATOR HOISTWAY EXCEEDS 75 TOTAL FEET FROM LOWEST TO HIGHEST FLOOR SERVED.*  
• THE HIGHEST OCCUPIED FLOOR IS 69'-0".  
• THE HOISTWAY HEIGHT FROM BASEMENT TO ROOF IS 74'-10".
- CHAPTER 3 - USE GROUP CLASSIFICATION :  
SECTION 310.0 - R2
- CHAPTER 5 - BUILDING HEIGHT  
TABLE 504.3 - MAX HGT = 85' (TYPE 2A SPRINKLED)  
TABLE 504.4 - MAX STORIES = 5 (TYPE 2A SPRINKLED)  
TABLE 506.2 - MAX FLOOR AREA = 72,000 GSF (TYPE 2A SPRINKLED)  
SECTION 510.2 EXCEPTION 1 - HORIZONTAL SEPARATION ALLOWANCE FOR 2ND FLOOR
- CHAPTER 6 - CONSTRUCTION CLASSIFICATION  
TABLE 601 - FLOOR SEPERATION - 1HR  
(SECTION 510.2 - 2ND FLOOR SEPERATION - 3HR)  
SECTION 602.2 - TYPE 1A CONSTRUCTION TO 2ND FLOOR (ALLOWED PER 510.2)  
SECTION 602.4 - TYPE 4A CONSTRUCTION 3RD, 4TH, 5TH & 6TH FLOORS
- CHAPTER 7 - FIRE PARTITIONS  
SECTION 708.3 - UNIT SEPERATION: 1 HOUR MIN  
SECTION 711.2.4.3 - FLOOR SEPERATION: 1 HOUR MIN  
(SECTION 510.2 - 2ND FLOOR SEPERATION - 3HR)
- CHAPTER 10 - MEANS OF EGRESS:  
TABLE 1006.3.(1) - TWO EXITS OR EXIT ACCESS REQUIRED

**521 CMR MAAB**  
9.4 MULTIPLE DEWELLINGS THAT CONATIN 20 OR MOR UNITS A MINIMUM 5% SHALL BE GROUP 2A.  
615 ALBANY STREET RESIDENCES: 29 UNITS = 1.45 GROUP 2A UNITS REQUIRED.  
TWO GROUP 2A UNITS ARE PROPOSED.  
UNIT #6 AND UNIT #12 COMPLY WITH:  
9.5 DWELLING UNIT INTERIORS  
44.00 BATHROOMS  
45.00 KITCHENS  
47.00 BEDROOMS

## SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- Room name
- ROOM TAG
- SHEET #
- ELEVATION TAG
- VIEW #
- VIEW #
- SECTION TAG
- 1HR RATED PARTITION (UL DESIGN U309)
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

## DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	DEMO BASEMENT & 1ST FLOOR PLANS
A101	DEMO 2ND & 3RD FLOOR PLANS
A102	DEMO 4TH & 5TH FLOOR PLANS
A103	BASEMENT & 1ST FLOOR PLANS
A104	2ND & 3RD FLOOR PLANS
A105	4TH & 5TH FLOOR PLANS
A106	HEAD HOUSE & ROOF PLAN
A107	SITE PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A203	EXISTING ELEVATIONS
A204	EXISTING ELEVATIONS
A202	COASTAL FLOOD RESILIENCE DIAGRAMS
A210	STREET ELEVATIONS
A213	SIDING INFO

## GENERAL NOTES:

- WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS, UNLESS OTHERWISE AGREED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CEILING AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILING (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

ARCHITECT  
**S47|a**  
studia47| architects, inc  
517 Boston Post Rd  
Suite #30  
Roslindale, MA 01976  
P: 508.500.4730  
www.s47a.com

## PROJECT:

**Albany Street Residences**

615 Albany St  
Boston, MA 02118

## CLIENT:

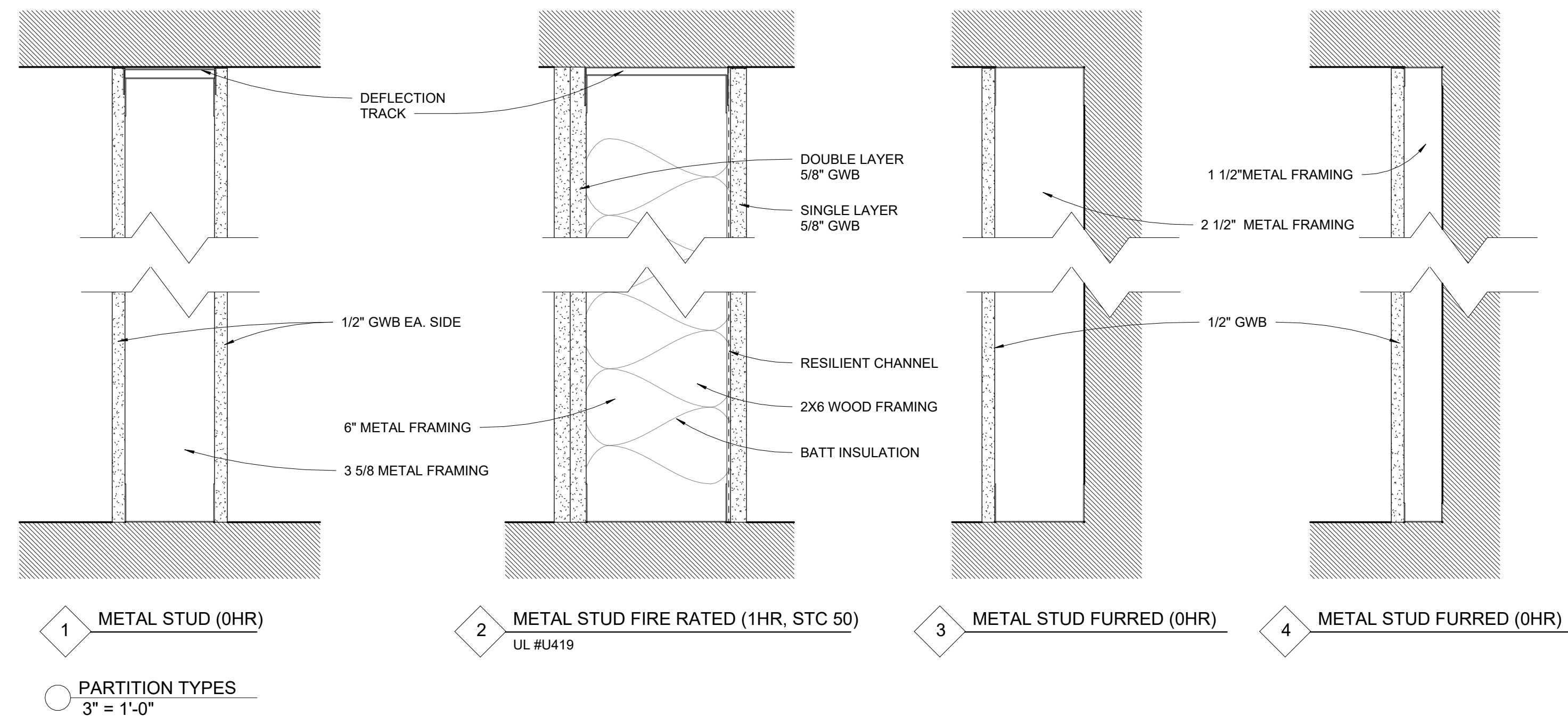
**River Front Realty**

275 Main St  
Charlestown, MA

## PROJECT TEAM:

## ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
	ANCHOR BOLT	MEMB	MEMBRANE
AB	AND	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
ASL	ABOVE SEA LEVEL	MR	MOISTURE RESISTANT
@	AT		
		NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BAL	BALANCE	NOM	NOMINAL
BETW	BETWEEN	NWC	NORMAL WEIGHT CONCRETE
BM	BEAM	N	NORTH
BRG	BEARING	NIC	NOT IN CONTRACT
BLK	BLOCK	NTS	NOT TO SCALE
B OR BOT	BOTTOM	NO OR #	NUMBER
BEW	BOTTOM EACH WAY		
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
		OPP	OPPOSITE
CIP	CAST-IN-PLACE	OD	OUTSIDE DIAMETER
CTRD	CENTERED	OF	OUTSIDE FACE
☐	CENTERLINE	P.T.	PRESSURE TREATED
CLR	CLEAR	PT	POINT
COL	COLUMN	PTD	PAINTED
CONC	CONCRETE	PTB	POST-TENSIONED BAR
CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
CONST	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
CONST JT OR ☐	CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS	P/C	PRECAST CONCRETE
CJ	CONTROL JOINT		
		R	RADIUS
DET	DETAIL	REF	REFERENCE
DIA OR ∅	DIAMETER	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	RD	ROOF DRAIN
DWG	DRAWING		
		Ⓢ	SEALANT
EA	EACH	SCH OR SCHED	SCHEDULE
ELECT	ELECTRICAL	SECT	SECTION
EL OR ⊕	ELEVATION	SH	SHEET
ELEV	ELEVATOR	SIM	SIMILAR
EMBED	EMBEDMENT	SOG	SLAB ON GRADE
EQ	EQUAL	S	SOUTH
EQUIP	EQUIPMENT	SPECS	SPECIFICATIONS
EXIST	EXISTING	SPKR	SPRINKLER
EXP BOLT	EXPANSION BOLT	SQ	SQUARE
EJ OR EXP JT	EXPANSION JOINT	STN STL	STAINLESS STEEL
EXT	EXTERIOR	STD	STANDARD
		STL	STEEL
		ST STL	STAINLESS STEEL
		STRUCT	STRUCTURAL
		SYM	SYMMETRICAL
		TEMP	TEMPERATURE OR TEMPORARY
		THK	THICK OR THICKNESS
		x	TIMES OR BY
		TO	TOP OF
		T & B	TOP AND BOTTOM
		TOC	TOP OF CURB or CONCRETE
		TOS	TOP OF STEEL
		TOW	TOP OF WALL
		TYP	TYPICAL
		U.N.O.	UNLESS NOTED OTHERWISE
		V OR VERT	VERTICAL
		VIF	VERIFY IN FIELD
		W	WEST
		WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
		W/	WITH
		W/O	WITHOUT
		WP	WORKING POINT
FF	FINISH FACE		
FT	FEET OR FOOT		
FIN	FINISH		
FIN FL	FINISHED FLOOR		
FPRF	FIREPROOF		
FL	FLOOR		
FD	FLOOR DRAIN		
FTG	FOOTING		
FDN	FOUNDATION		
GA	GAGE OR GAUGE		
GALV	GALVANIZED		
GWB or GYP	GYPSUM WALL BOARD		
HGT	HEIGHT		
H OR HORIZ	HORIZONTAL		
HDR	HEADER		
INFO	INFORMATION		
INCL	INCLUDING OR INCLUSIVE		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
INSUL	INSULATION		
INT	INTERIOR		
INV	INVERT		
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		



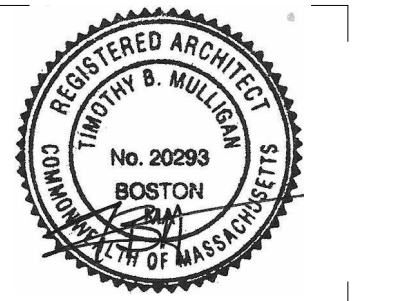
## REVISIONS:

CODE/UNIT	DATE
1	5.6.24

## DRAWING TITLE:

TITLE SHEET

## STAMP



June 5, 2024

DATE OF ISSUE

PERMITTING

DOCUMENT PHASE

As indicated

SCALE

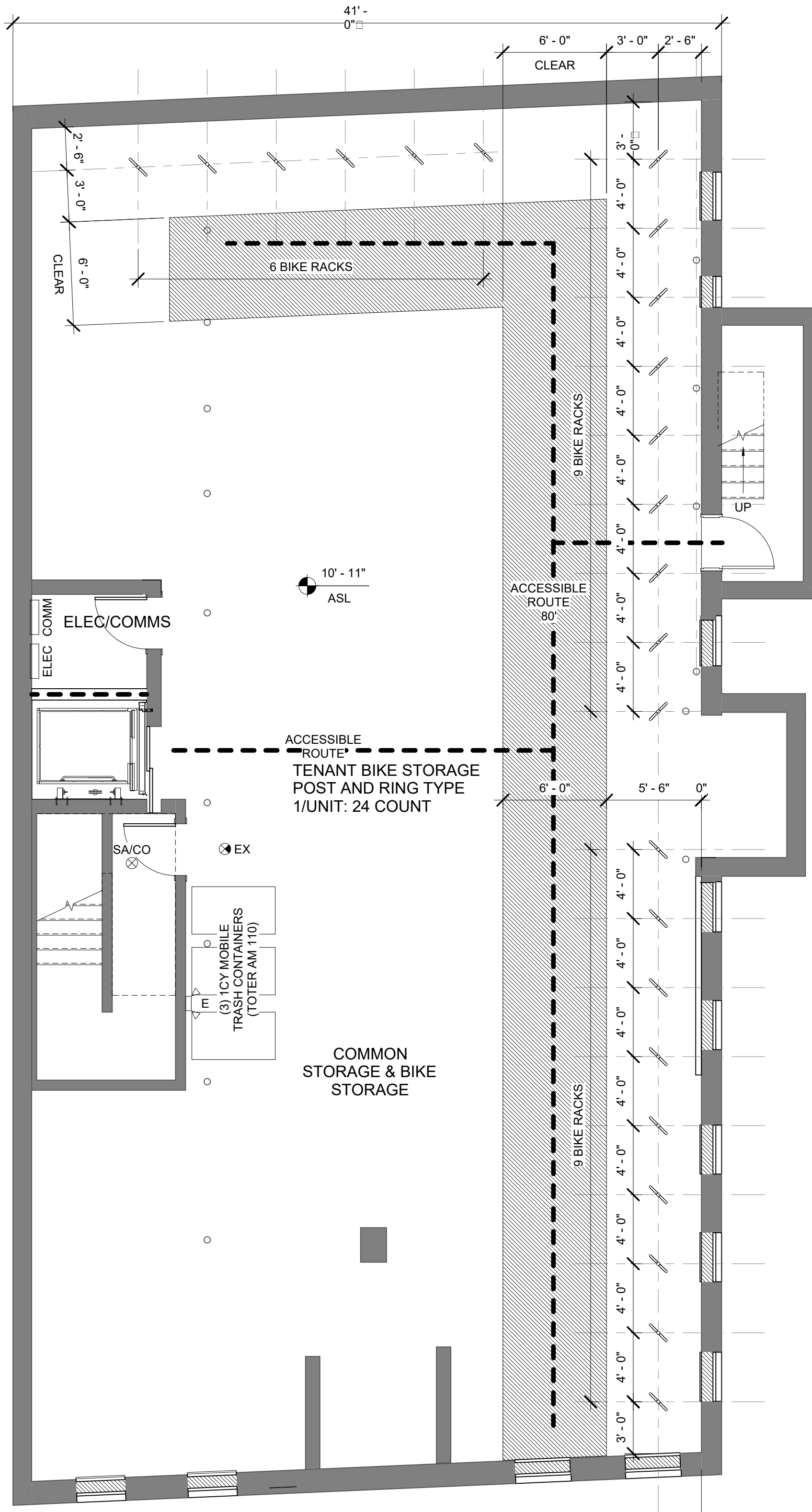
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PROJECT #

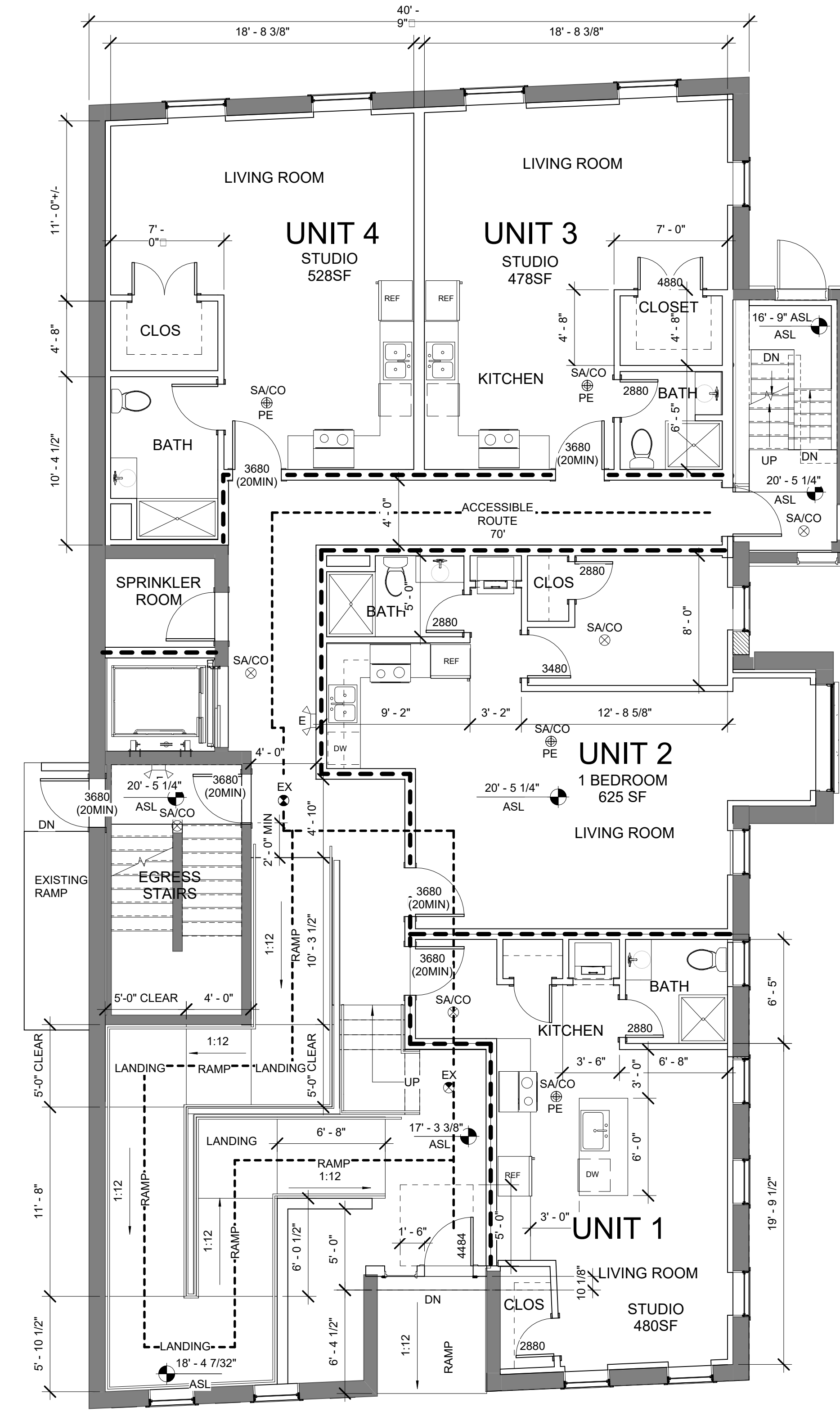
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**A000**

PLAN VIEW DOCUMENT: 3/16/2024 10:00 AM



1 BASEMENT  
3/16" = 1'-0"



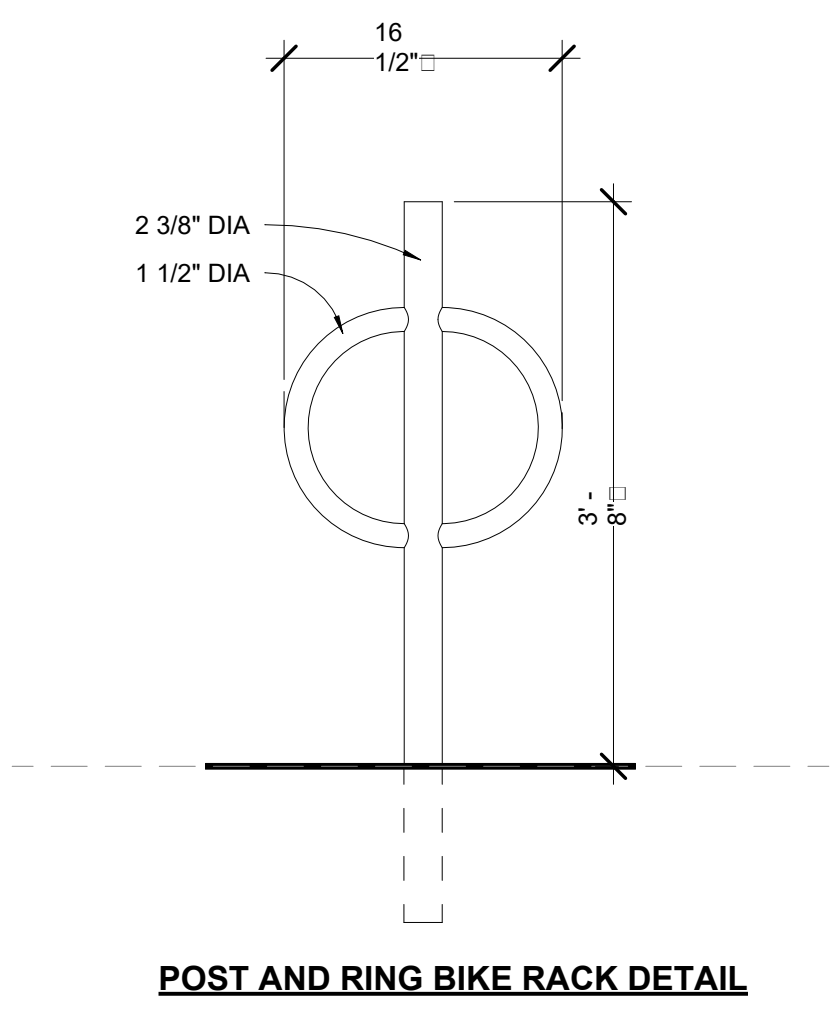
2 1ST FLOOR  
3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	480 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	625 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
UNIT #5	2ND FLOOR	952 SF	3BED/2BATH	
UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
UNIT #9	3RD FLOOR	952 SF	3BED/2BATH	
UNIT #10	3RD FLOOR	752 SF	2BED/1BATH	
UNIT #11	3RD FLOOR	490 SF	STUDIO/1BATH	
UNIT #12	3RD FLOOR	512 SF	STUDIO/1BATH	X
UNIT #13	4TH FLOOR	952 SF	3BED/2BATH	
UNIT #14	4TH FLOOR	752 SF	2BED/1BATH	
UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
UNIT #18	5TH FLOOR	730 SF	2BED/1BATH*	
UNIT #19	5TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #20	5TH FLOOR	480SF	STUDIO/1BATH	
UNIT #21	6TH FLOOR	954 SF	3BED/2BATH	
UNIT #22	6TH FLOOR	730 SF	2BED/1BATH*	
UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	

\*UNIT AREA -MINIMUM FOR 2 BEDROOMS ALLOWED BY BPDA

MINIMUM UNIT FLOOR AREA				
STUDIO	450 SF			
ONE BEDROOM	600 SF			
TWO BEDROOM	750 SF			
THREE BEDROOM	950 SF			



POST AND RING BIKE RACK DETAIL

**FLOOR-CEILING SYSTEMS, WOOD-FRAMED**

GA FILE NO. FC 5116 PROPRIETARY†

**WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION**

One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 5/4" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 5/8" perlite-sand concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh, 3" glass fiber insulation 0.90 pcf in joist space applied to subfloor.

**PROPRIETARY GYPSUM BOARD**

American Gypsum Company 5/8" FIREBLOC TYPE C  
 CertainTeed Gypsum, Inc. 5/8" ProRock Type C Gypsum Panels  
 G-P Gypsum 5/8" ToughRock Fireguard C  
 Lafarge North America Inc. 5/8" Firecheck Type C  
 National Gypsum Company 5/8" Gold Bond Brand FIRE-SHIELD Cx  
 PABCO Gypsum 5/8" FLAME CURB Super C  
 Temple-Inland Forest Products Corporation 5/8" TG-C

Approx. Ceiling Weight: 2 pcf  
 Fire Test: UL R3453-7, 5-1-70; Based on UL R3660-7, -8, 11-12-7; R2171-61, 5-18-87; Based on UL R709-4, 90NK10635, 10-24-80; Based on UL R6742, 88NK2291, 10-5-88; UL Design L516  
 Sound Test: UL Design L514, KAL L 224-28-85, 3-30-85  
 IIC & Test: KAL L 224-27-85, 3-30-85

†Contact the manufacturer for more detailed information on proprietary products.

**MINIMUM FLOOR ASSEMBLY (STC 50)**

DESIGN NO. UL U419

FIRE RATINGS: 1 HOUR  
 STC RATING: 50  
 SOUND TEST: USG-160727  
 SYSTEM THICKNESS: 5-1/2" (140 MM)  
 LOCATION: INTERIOR  
 FRAMING TYPE: STEEL STUD (NONLOAD-BEARING)

**ASSEMBLY REQUIREMENTS:**

GYPSUM PANELS: TWO LAYERS 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)  
 STEEL STUDS: 3-5/8" (92 MM) STEEL STUDS, E020 (0.018"), 24" (610 MM) O.C.  
 INSULATION: 3-1/2" (89 MM) FIBERGLASS INSULATION  
 GYPSUM PANELS: ONE LAYER 5/8" (15.9 MM) SHEETROCK® ECOSMART GYPSUM PANEL (UL TYPE ULX™)

- GENERAL WALL NOTES:**
- REFER TO APPLICABLE CODES REQUIREMENTS TO ENSURE COMPLIANCE PRIOR TO CONSTRUCTION.
  - FOR THE MOST UP-TO-DATE DETAILS, INCLUDING CONSTRUCTION VARIATIONS, REFER TO THE PUBLISHED DESIGN.
  - WHERE DESIGN NO. INDICATES "PER", THE FIRE RATING IS BASED ON LABORATORY TEST DATA OF THE REFERENCED SIMILARLY CONSTRUCTED ASSEMBLIES.
  - STUD SIZES AND INSULATION THICKNESS ARE MINIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
  - STUD AND FASTENER SPACINGS ARE MAXIMUM UNLESS OTHERWISE STATED IN THE PUBLISHED ASSEMBLY.
  - PANEL ORIENTATION SHALL BE AS SPECIFIED IN THE PUBLISHED DESIGN.
  - FIRE-RATINGS ARE FROM BOTH SIDES UNLESS OTHERWISE STATED.
  - FIRE-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, INCREASE STUD MATERIAL THICKNESS, DECREASE STUD SPACING, DECREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH.
  - WHERE ACOUSTICAL PERFORMANCE IS PROVIDED IN AN ESTIMATED RANGE, THE VALUES ARE BASED ON LABORATORY TEST DATA OF SIMILARLY CONSTRUCTED ASSEMBLIES.
  - SOUND-RATINGS ARE MAINTAINED WITH ONE OR MORE OF THE FOLLOWING MODIFICATIONS: INCREASE STUD DEPTH, DECREASE STUD MATERIAL THICKNESS, INCREASE STUD SPACING, INCREASE FASTENER SPACING, INCREASE INSULATION THICKNESS UP TO CAVITY DEPTH. MODIFICATIONS MUST NOT EXCEED LIMITATIONS OF FIRE RATING.

**ACCEPTABLE PARTY-WALL ASSEMBLY (MIN 1HR STC50)**

**SEE A202 FOR COASTAL FLOOD RESILIENCE DIAGRAMS**

**SYMBOL LEGEND**

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

**REVISIONS:**


DRAWING TITLE:  
**BASEMENT & 1ST FLOOR PLANS**



June 5, 2024  
 DATE OF ISSUE  
 PERMITTING  
 DOCUMENT PHASE  
 As Indicated  
 SCALE  
 2310.00  
 PROJECT #

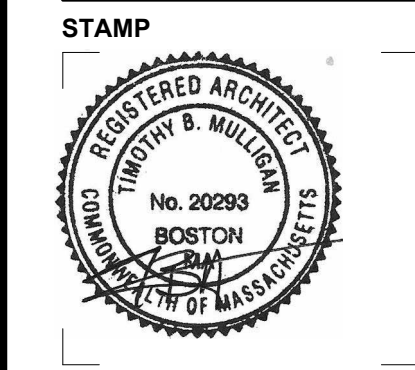
DRAWING NUMBER:

**A103**

REV: 2024.06.05.08.00

REVISIONS:

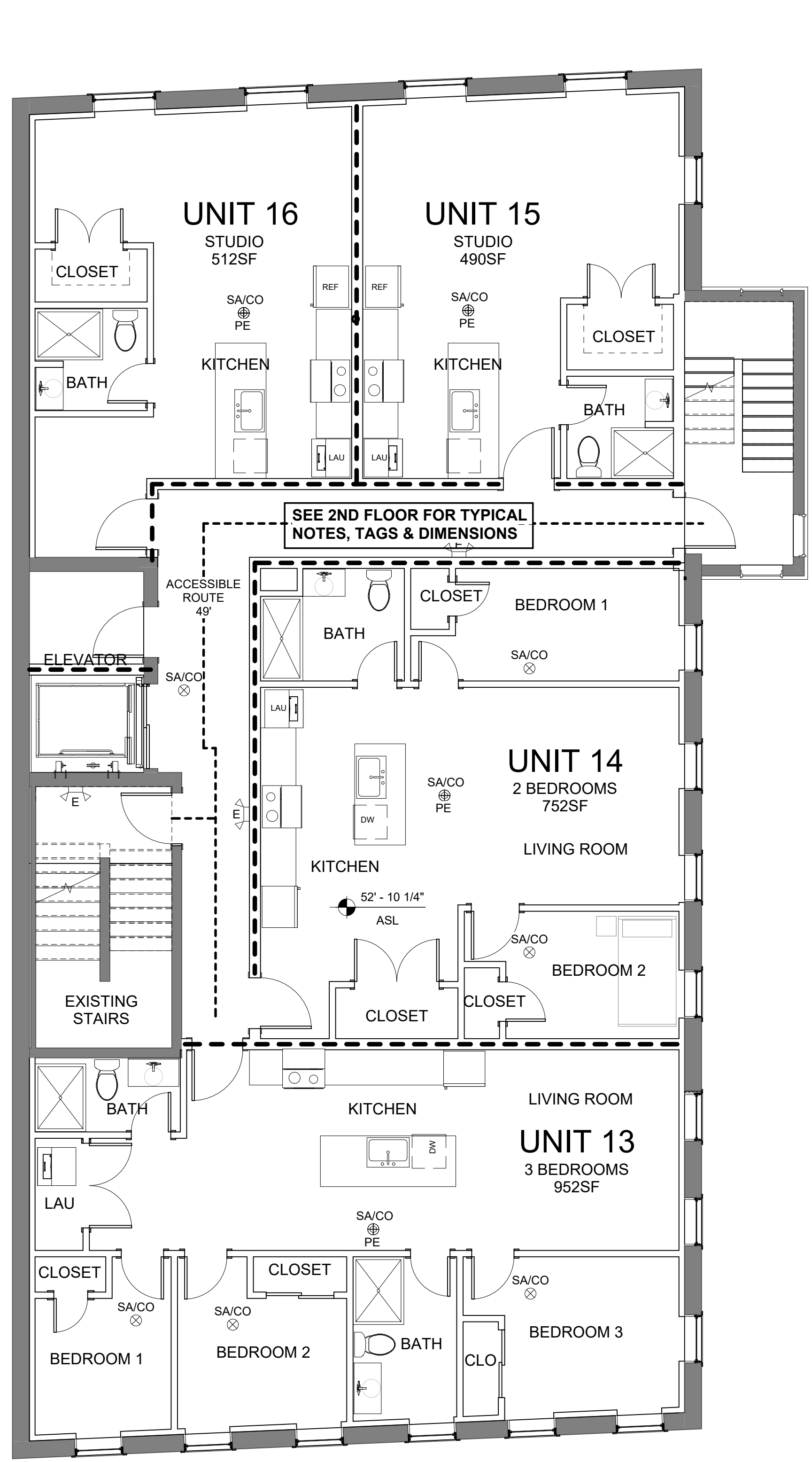

DRAWING TITLE:  
**4TH & 5TH FLOOR PLANS**



June 5, 2024  
 DATE OF ISSUE  
 PERMITTING  
 DOCUMENT PHASE  
 As Indicated  
 SCALE  
 2310.00  
 PROJECT #

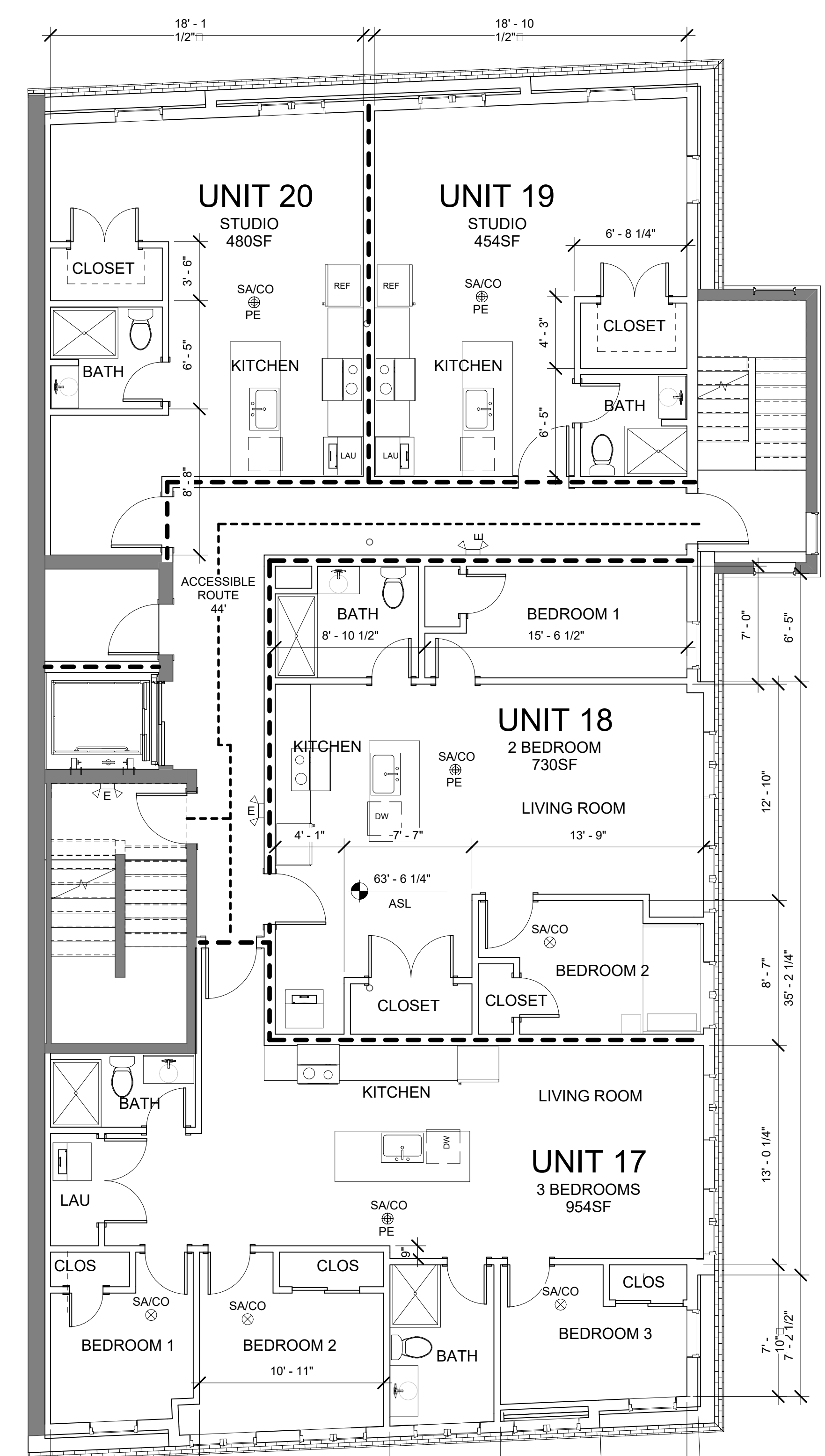
DRAWING NUMBER:

**A105**



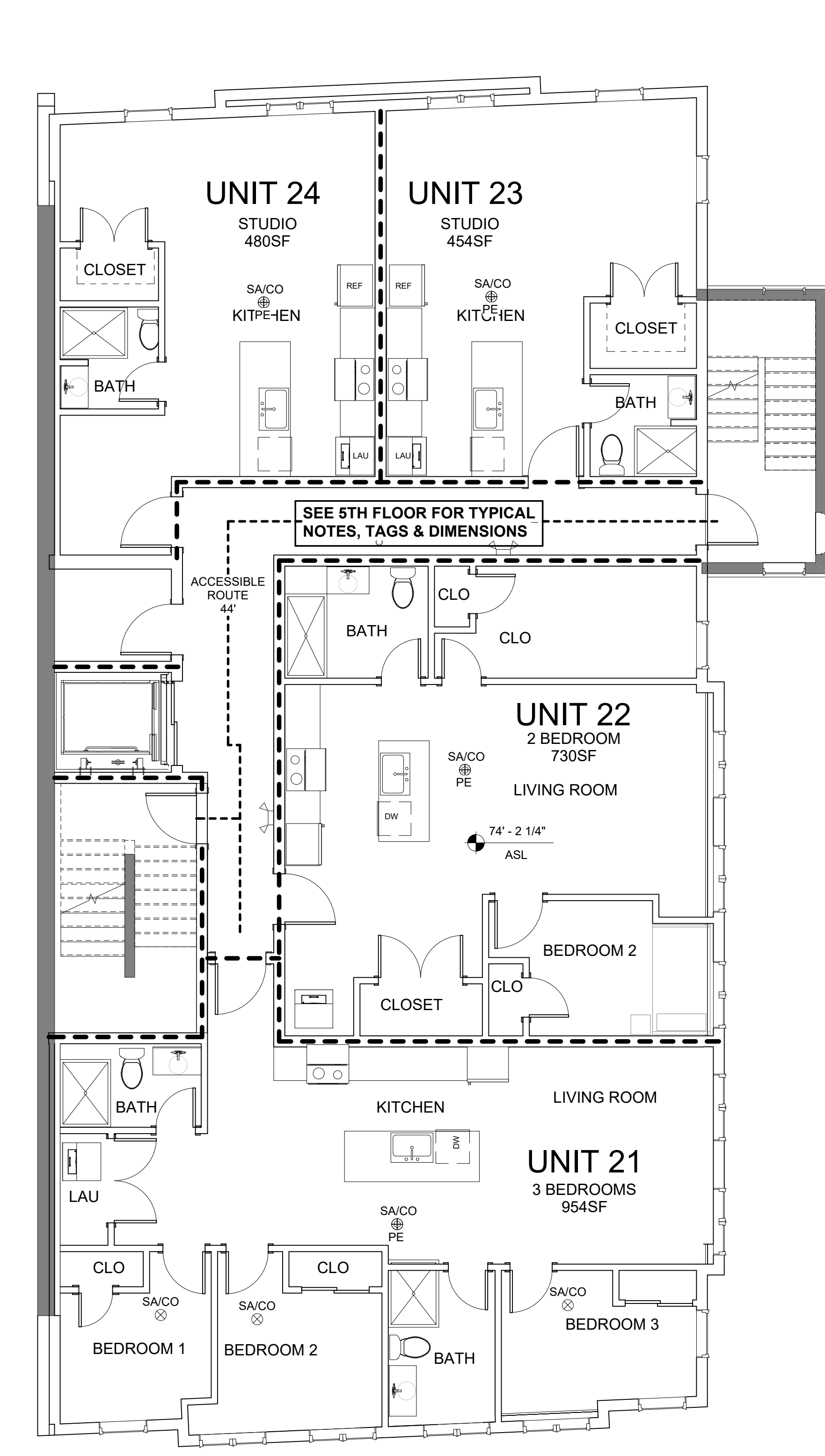
1 4TH FLOOR  
 3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	480 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	625 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
UNIT #5	2ND FLOOR	952 SF	3BED/2BATH	
UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
UNIT #9	3RD FLOOR	952 SF	3BED/2BATH	
UNIT #10	3RD FLOOR	752 SF	2BED/1BATH	
UNIT #11	3RD FLOOR	490 SF	STUDIO/1BATH	
UNIT #12	3RD FLOOR	512 SF	STUDIO/1BATH	X
UNIT #13	4TH FLOOR	952 SF	3BED/2BATH	
UNIT #14	4TH FLOOR	752 SF	2BED/1BATH	
UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	



2 5TH FLOOR  
 3/16" = 1'-0"

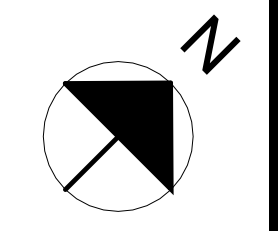
UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
UNIT #18	5TH FLOOR	730 SF	2BED/1BATH*	
UNIT #19	5TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #20	5TH FLOOR	480SF	STUDIO/1BATH	
UNIT #21	6TH FLOOR	954 SF	3BED/2BATH	
UNIT #22	6TH FLOOR	730 SF	2BED/1BATH*	
UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	
*UNIT AREA -MINIMUM FOR 2 BEDROOMS ALLOWED BY BPDA				
<b>MINIMUM UNIT FLOOR AREA</b>				
STUDIO		450 SF		
ONE BEDROOM		600 SF		
TWO BEDROOM		750 SF		
THREE BEDROOM		950 SF		

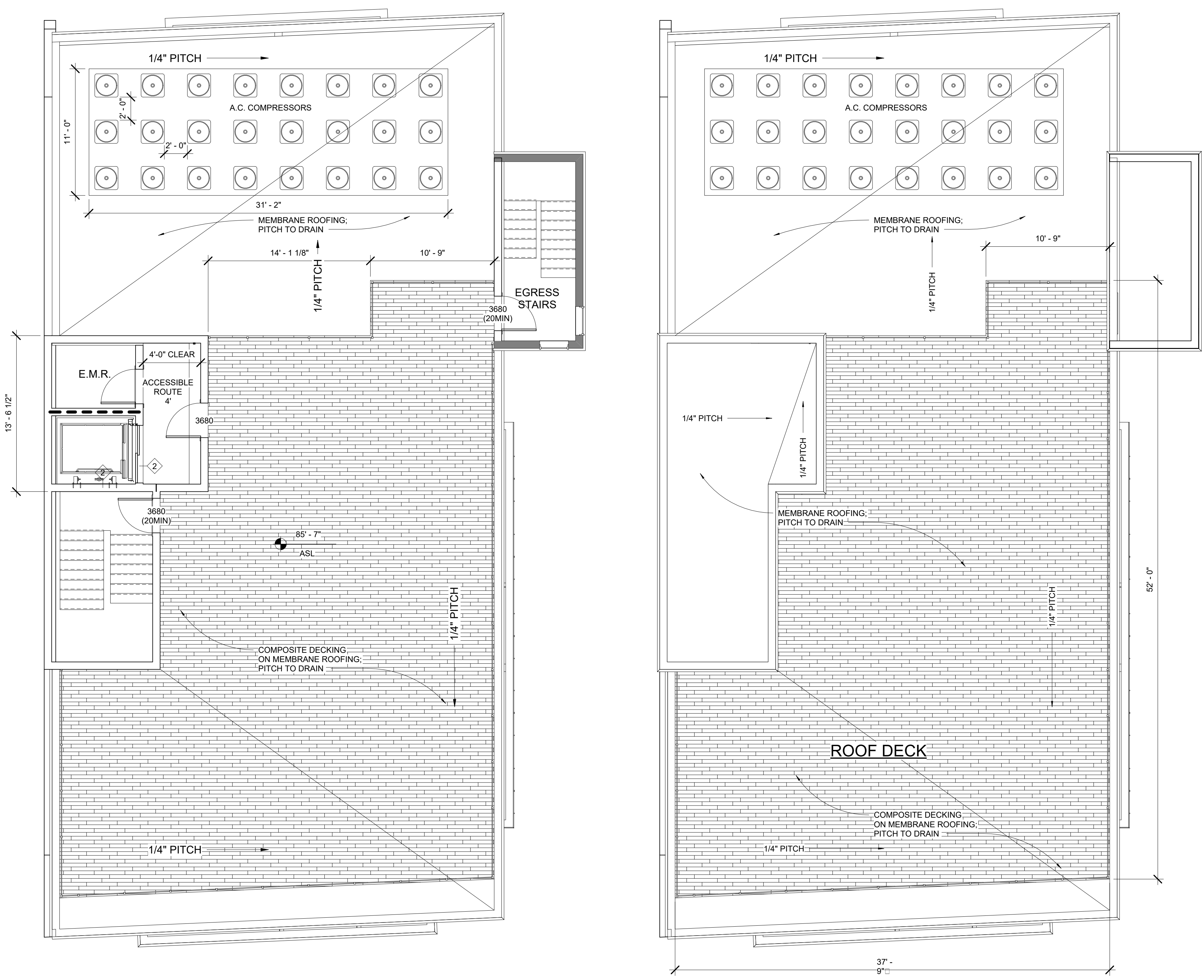


3 6TH FLOOR  
 3/16" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- SHEET #
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC





1 ROOF DECK  
 3/16" = 1'-0"

2 HEADHOUSE ROOF  
 3/16" = 1'-0"

UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #1	1ST FLOOR	480 SF	STUDIO/1BATH	
UNIT #2	1ST FLOOR	625 SF	1BED/1BATH	
UNIT #3	1ST FLOOR	490 SF	STUDIO/1BATH	
UNIT #4	1ST FLOOR	512 SF	STUDIO/1BATH	
UNIT #5	2ND FLOOR	952 SF	3BED/2BATH	
UNIT #6	2ND FLOOR	752 SF	2BED/1BATH	X
UNIT #7	2ND FLOOR	490 SF	STUDIO/1BATH	
UNIT #8	2ND FLOOR	512 SF	STUDIO/1BATH	
UNIT #9	3RD FLOOR	952 SF	3BED/2BATH	
UNIT #10	3RD FLOOR	752 SF	2BED/1BATH	
UNIT #11	3RD FLOOR	490 SF	STUDIO/1BATH	
UNIT #12	3RD FLOOR	512 SF	STUDIO/1BATH	X
UNIT #13	4TH FLOOR	952 SF	3BED/2BATH	
UNIT #14	4TH FLOOR	752 SF	2BED/1BATH	
UNIT #15	4TH FLOOR	490 SF	STUDIO/1BATH	
UNIT #16	4TH FLOOR	512 SF	STUDIO/1BATH	

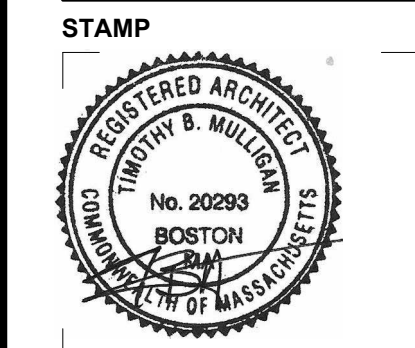
UNIT NUMBER	FLOOR	FLOOR AREA	BED/BATH	GROUP 2A
UNIT #17	5TH FLOOR	954 SF	3BED/2BATH	
UNIT #18	5TH FLOOR	730 SF	2BED/1BATH*	
UNIT #19	5TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #20	5TH FLOOR	480SF	STUDIO/1BATH	
UNIT #21	6TH FLOOR	954 SF	3BED/2BATH	
UNIT #22	6TH FLOOR	730 SF	2BED/1BATH*	
UNIT #23	6TH FLOOR	454 SF	STUDIO/1BATH	
UNIT #24	6TH FLOOR	480 SF	STUDIO/1BATH	
*UNIT AREA -MINIMUM FOR 2 BEDROOMS ALLOWED BY BPDA				
<b>MINIMUM UNIT FLOOR AREA</b>				
STUDIO		450 SF		
ONE BEDROOM		600 SF		
TWO BEDROOM		750 SF		
THREE BEDROOM		950 SF		

**SYMBOL LEGEND**

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- 1HR RATED PARTITION (UL DESIGN U305)
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- SHEET #
- EGRESS LIGHTING
- EXIT SIGNAGE
- EGRESS PATH
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

REVISIONS:


DRAWING TITLE:  
**HEAD HOUSE & ROOF PLAN**

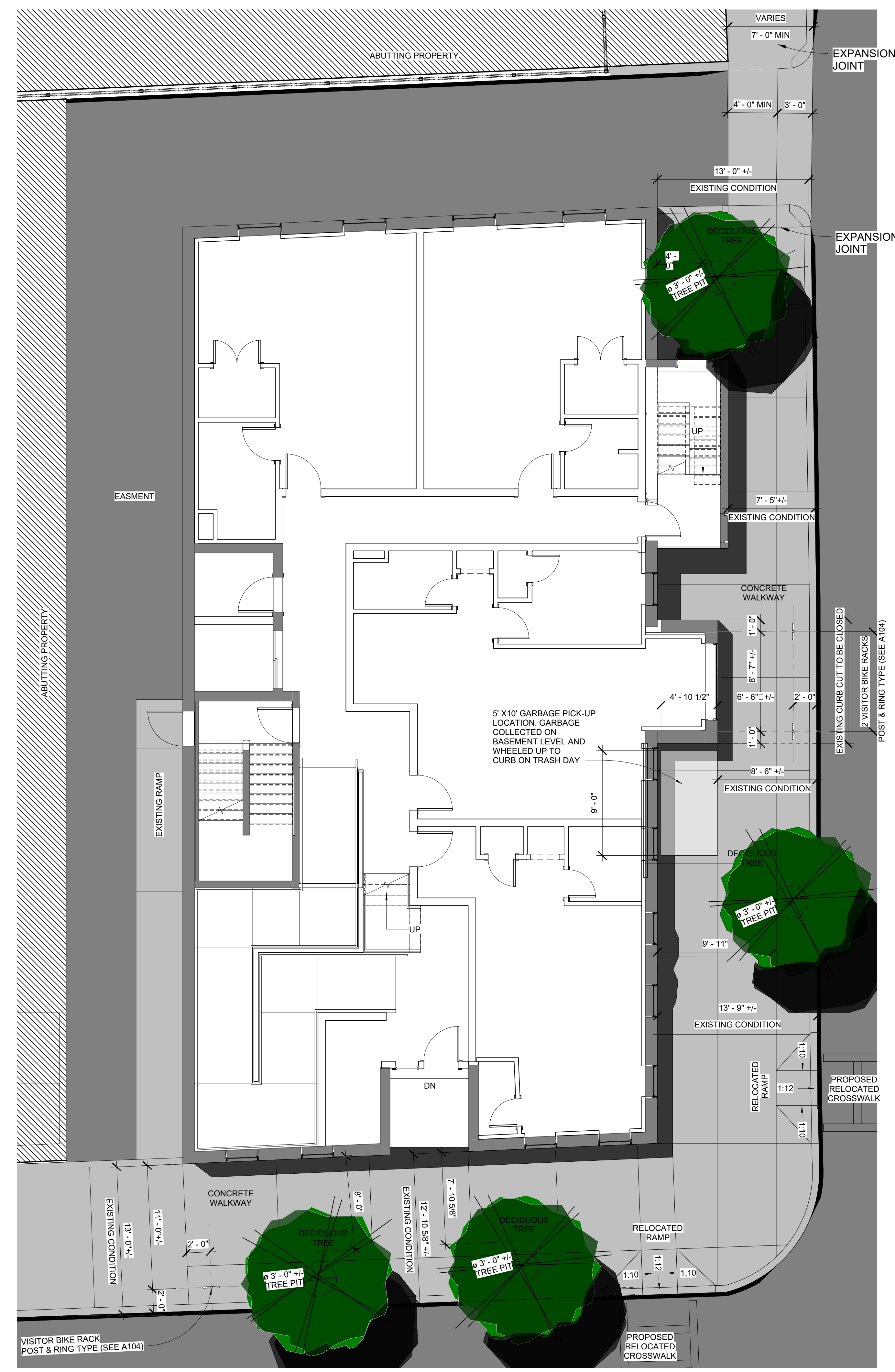


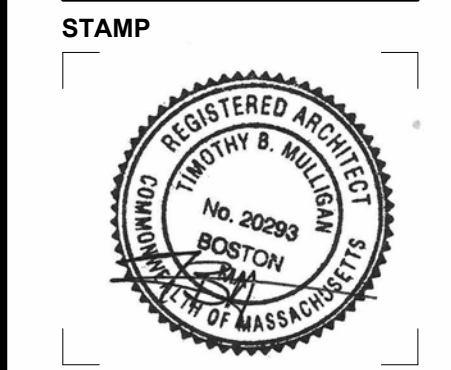
June 5, 2024  
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 PERMITTING  
 DOCUMENT PHASE  
 As Indicated  
 SCALE  
 2310.00  
 PROJECT #

DRAWING NUMBER:



**A106**



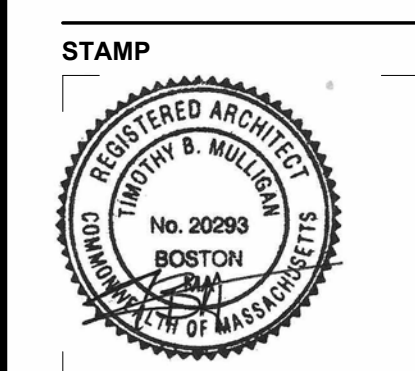


3 ALBANY STREET ELEVATION  
 3/16" = 1'-0"

2 BROOKLINE STREET ELEVATION  
 3/16" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	MFR	TYPE
A	2' - 10"	5' - 8"	PELLA	DOUBLE HUNG
B	2' - 10"	5' - 10"	PELLA	DOUBLE HUNG
C	2' - 10"	6' - 2"	PELLA	DOUBLE HUNG
D	3' - 9"	5' - 10"	PELLA	DOUBLE HUNG
E	3' - 9"	6' - 2"	PELLA	DOUBLE HUNG
G	2' - 10"	6' - 2 1/2"	PELLA	CSMT VENT
H1	2' - 6"	6' - 3 1/4"	PELLA	FIXED FRAME
H2	2' - 6"	6' - 3"	PELLA	CSMT VENT (EGRESS)
I	3' - 11 1/2"	6' - 2 1/2"	PELLA	MULTI-CSMT VENT
K	6' - 7 1/4"	8' - 0"	PELLA	CUSTOM FIXED FRAME

02/2024/12/21/23 PM  
 PLANNING/CONSTRUCTION/RESIDENTIAL/00000000.DWG



① REAR ELEVATION  
 3/16" = 1'-0"

② LEFT ELEVATION  
 3/16" = 1'-0"

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	MFR	TYPE
A	2' - 10"	5' - 8"	PELLA	DOUBLE HUNG
B	2' - 10"	5' - 10"	PELLA	DOUBLE HUNG
C	2' - 10"	6' - 2"	PELLA	DOUBLE HUNG
D	3' - 9"	5' - 10"	PELLA	DOUBLE HUNG
E	3' - 9"	6' - 2"	PELLA	DOUBLE HUNG
G	2' - 10"	6' - 2 1/2"	PELLA	CSMT VENT
H1	2' - 6"	6' - 3 1/4"	PELLA	FIXED FRAME
H2	2' - 6"	6' - 3"	PELLA	CSMT VENT (EGRESS)
I	3' - 11 1/2"	6' - 2 1/2"	PELLA	MULTI-CSMT VENT
K	6' - 7 1/4"	8' - 0"	PELLA	CUSTOM FIXED FRAME

R:\2024\24161.DWG



PROJECT:  
**Albany Street Residences**  
 615 Albany St  
 Boston, MA 02118

CLIENT:  
**River Front Realty**  
 275 Main St  
 Charlestown, MA

PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

**EXISTING ELEVATIONS**

STAMP



June 5, 2024  
 DATE OF ISSUE  
 PERMITTING  
 DOCUMENT PHASE  
 3/16" = 1'-0"  
 SCALE  
 2310.00  
 PROJECT #

DRAWING NUMBER:

**A203**



① EXISTING FRONT ELEVATION  
 3/16" = 1'-0"

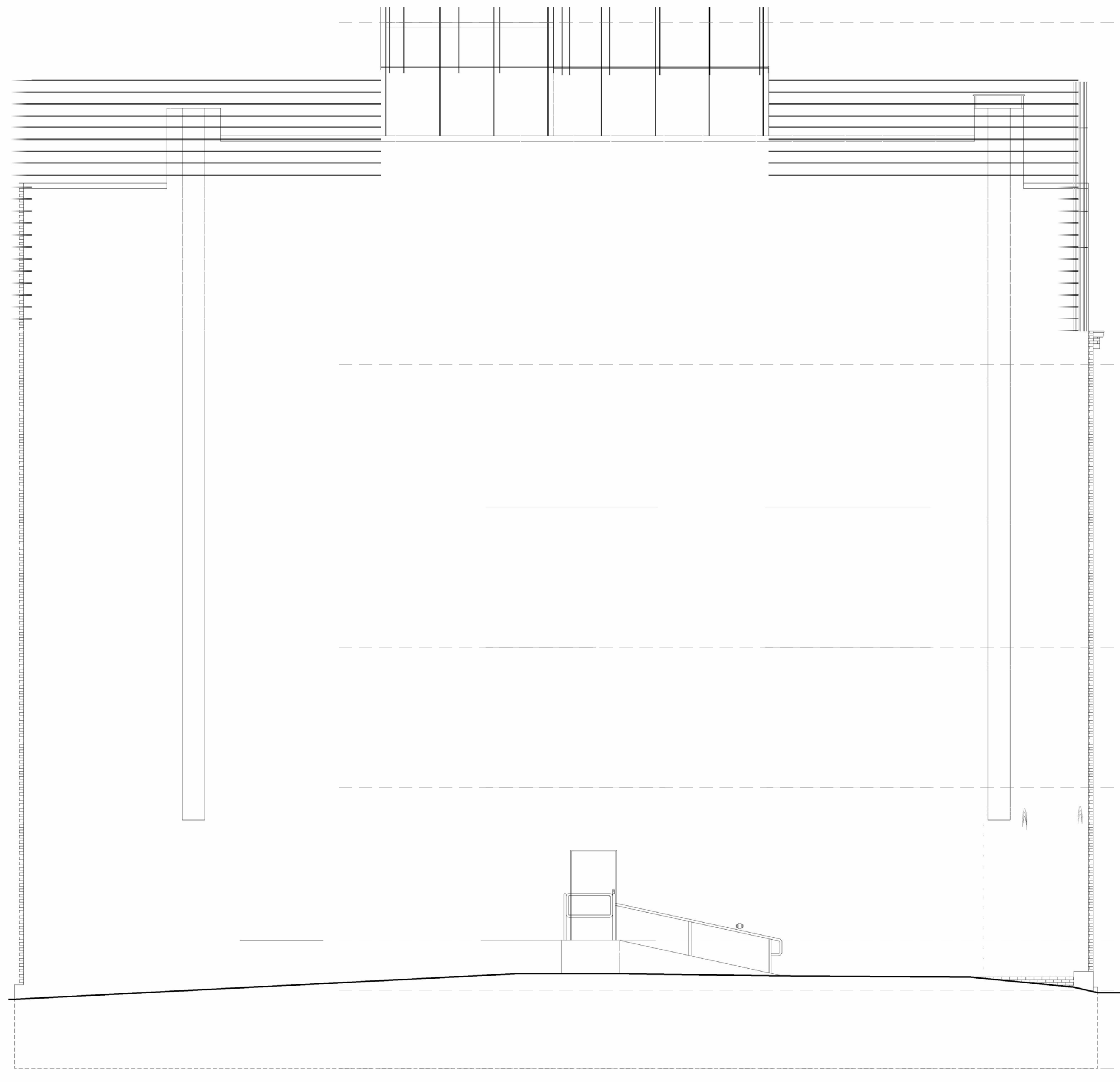


② EXISTING RIGHT ELEVATION  
 3/16" = 1'-0"

PLANET/03/2024/12/21/08 PM

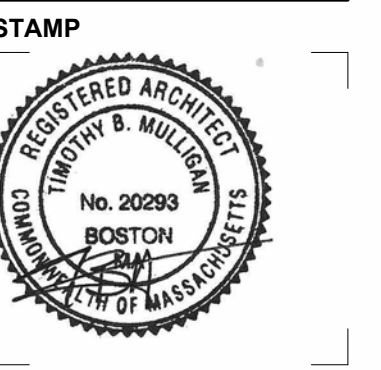


① EXISTING REAR ELEVATION  
3/16" = 1'-0"



② EXISTING LEFT ELEVATION  
3/16" = 1'-0"

REVISIONS:

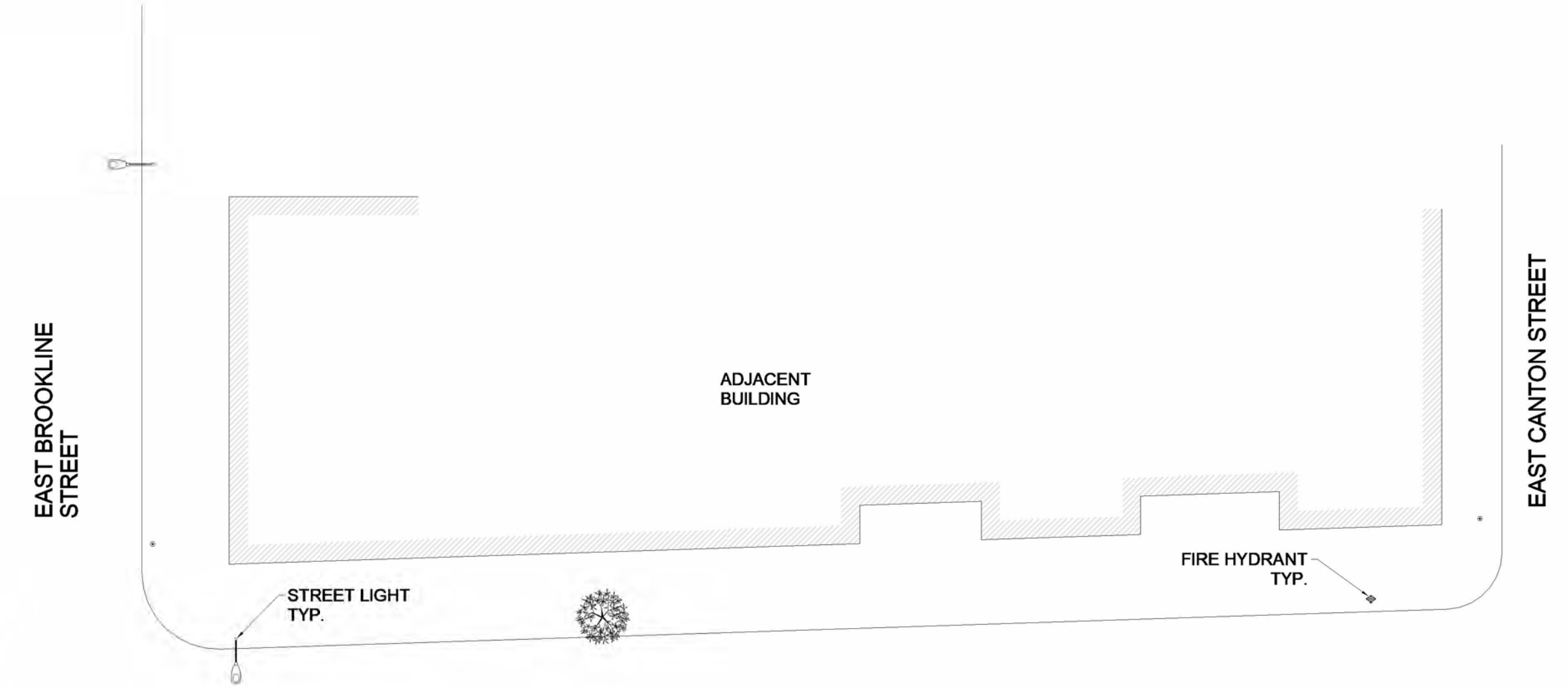
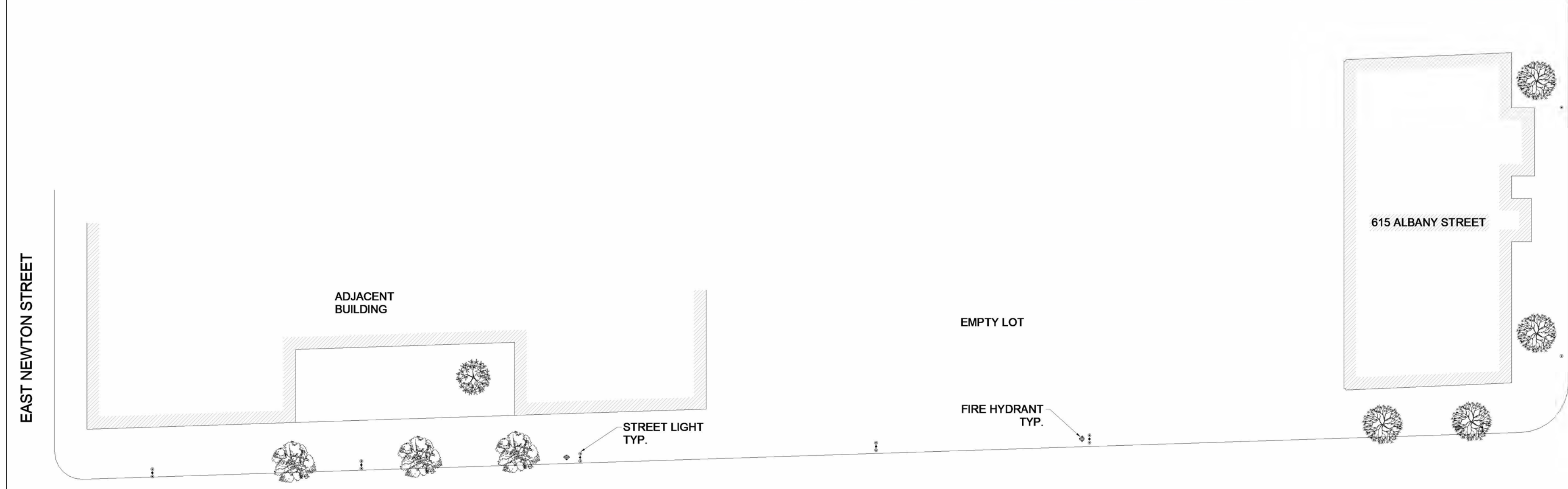



06/05/2024 12:21:08 PM

PLANET/3/2024/12/25/13 PM



### ALBANY STREET ELEVATION



ALBANY STREET



### BROOKLINE STREET ELEVATION



ARCHITECT  
**S47**a  
studia47 architects, inc  
517 Boston Post Rd  
Suite #30  
Roslindale, MA 01776  
p: 508.500.4730  
www.s47a.com

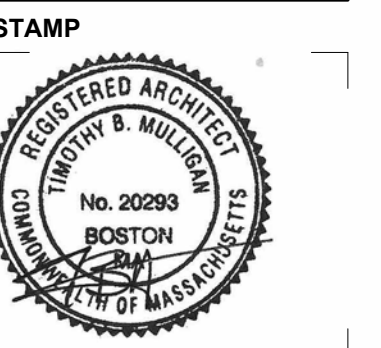
PROJECT:  
**Albany Street Residences**  
615 Albany St  
Boston, MA 02118

CLIENT:  
**River Front Realty**  
275 Main St  
Charlestown, MA

PROJECT TEAM:

REVISIONS:

DRAWING TITLE:  
**STREET ELEVATIONS**



June 5, 2024  
DATE OF ISSUE  
PERMITTING  
DOCUMENT PHASE  
1" = 20'-0"  
SCALE  
2310.00  
PROJECT #

DRAWING NUMBER:

# A210

PLANET/3/2024/12/25/13 PM

# Metal Panel Siding

## SIDING - TYPE 1



### STERRACORE

SterraCore™ metal composite material panels provide durable, eye-catching fascias, soffits, canopies, and decorative towers for retail, schools, hospitals and high profile commercial projects. With over 40 stock colors, you can successfully achieve a desired look that will have long lasting impact. Panels are non-absorbent and water insensitive; consequently, they carry a limited warranty for rot, swell, corrode, or delamination. SterraCore™ panels provide highly decorative, easy to maintain, and very durable surface finishes for exterior or interior wall conditions. The overall Clip & Seal installation system produces an exceptionally flat appearance. Curving capabilities are also possible with specifically configured SterraCore panels that require no prefabrication, off-site forming or engineering.

### SPECIFICATIONS:

**SKU:**  
MAU999

**Material:**  
.032 aluminum exterior skin

**Panel Size:**  
48" x 96", 120", 144"  
(Custom sizes available)

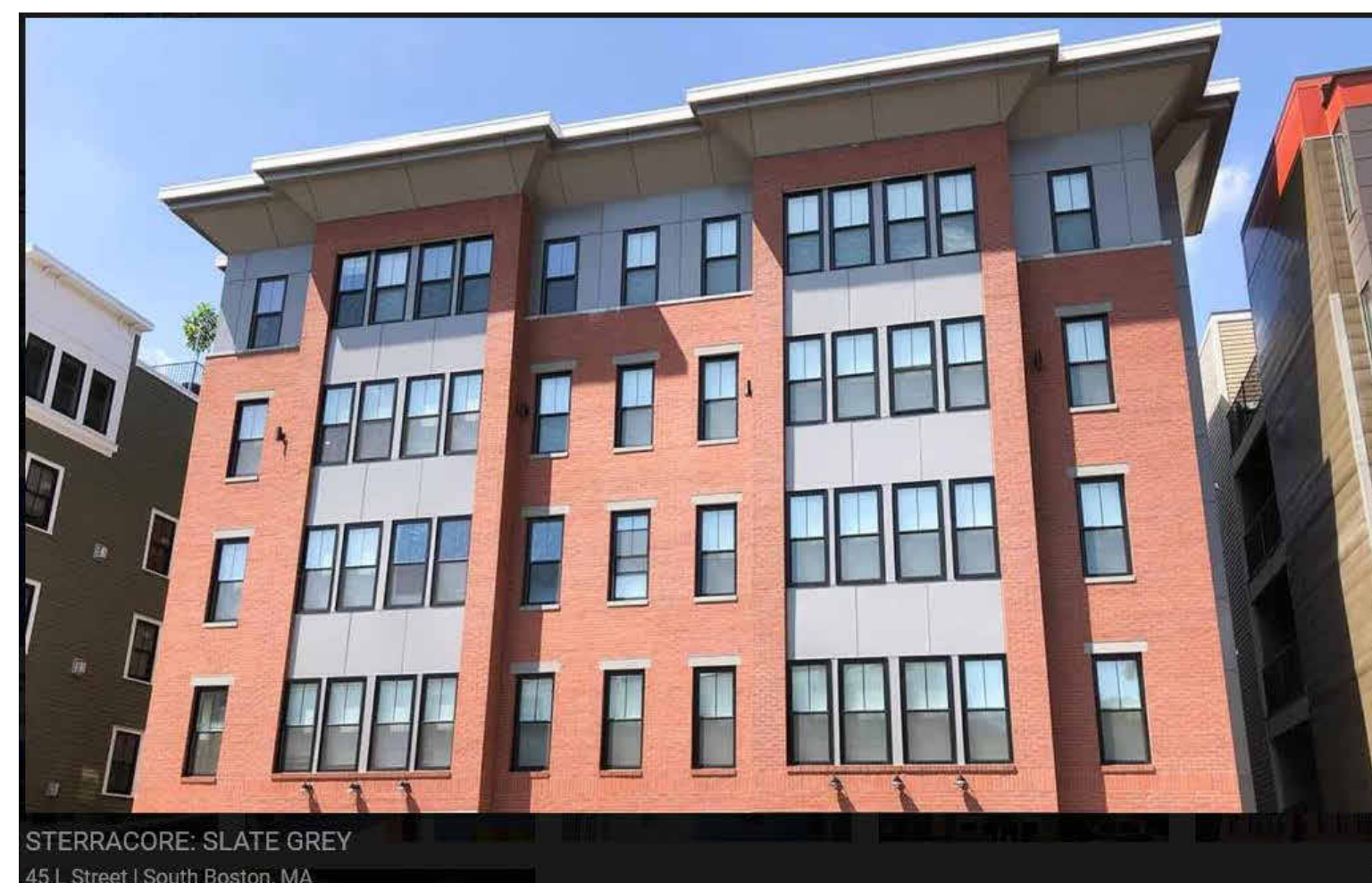
**Texture:**  
Smooth or Embossed

**Finish:**  
Kynar 500® PVDF or Hylar  
5000® PVDF

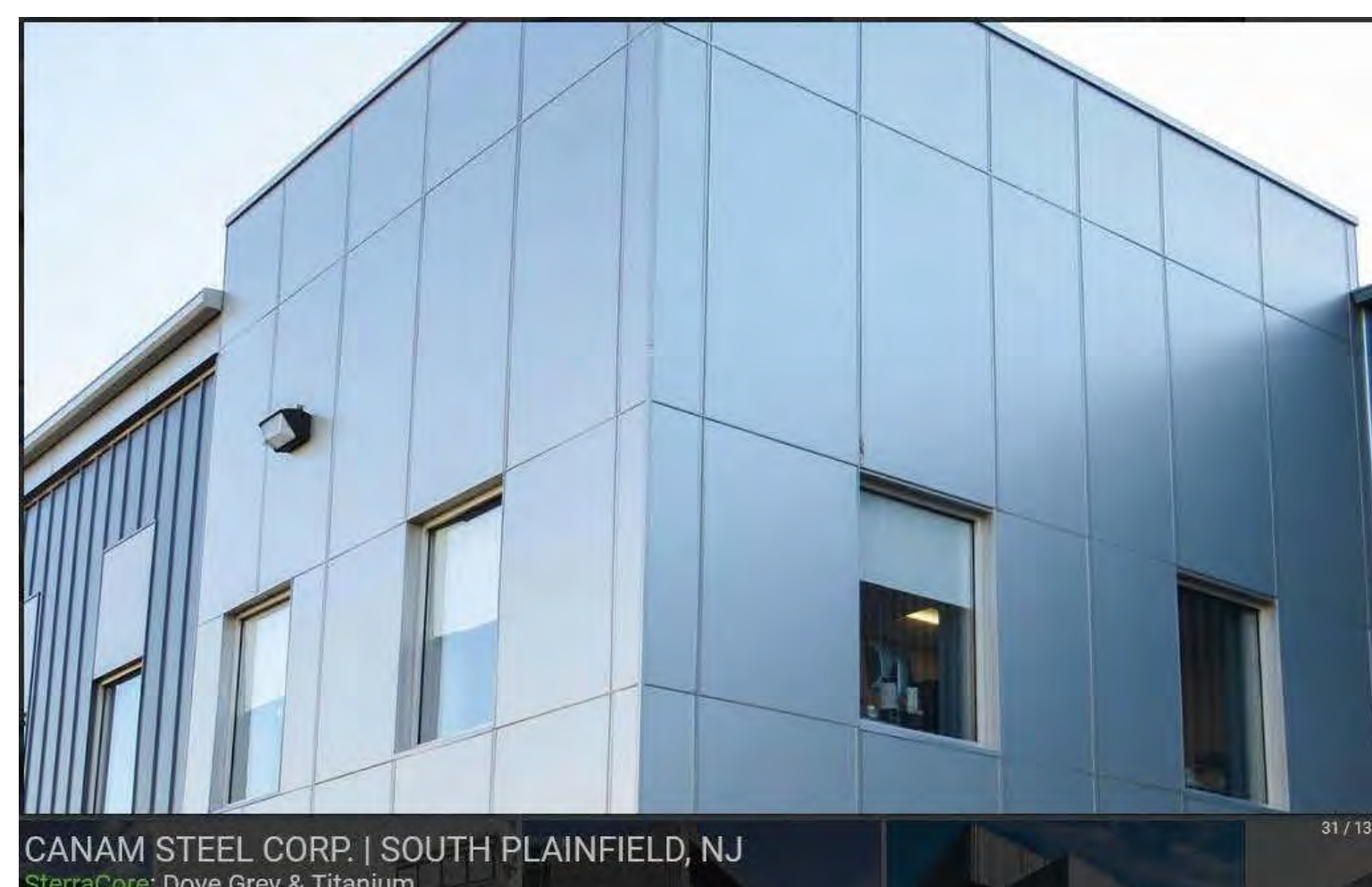
**Anodized:**  
Clear Satin Anodized or  
Dark Bronze Anodized

**Accessories:**  
A complete line of trims  
available in matching  
colors, gauge and  
finish or as specified.

**Fasteners:**  
Concealed fasteners

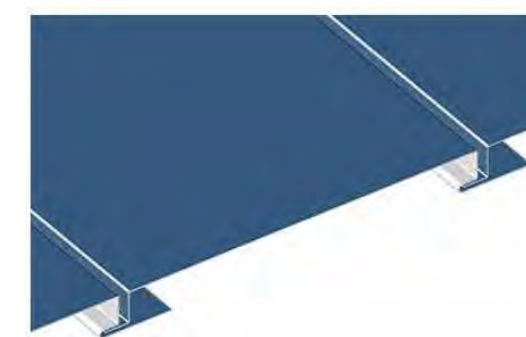


STERRACORE: SLATE GREY  
45 L Street | South Boston, MA



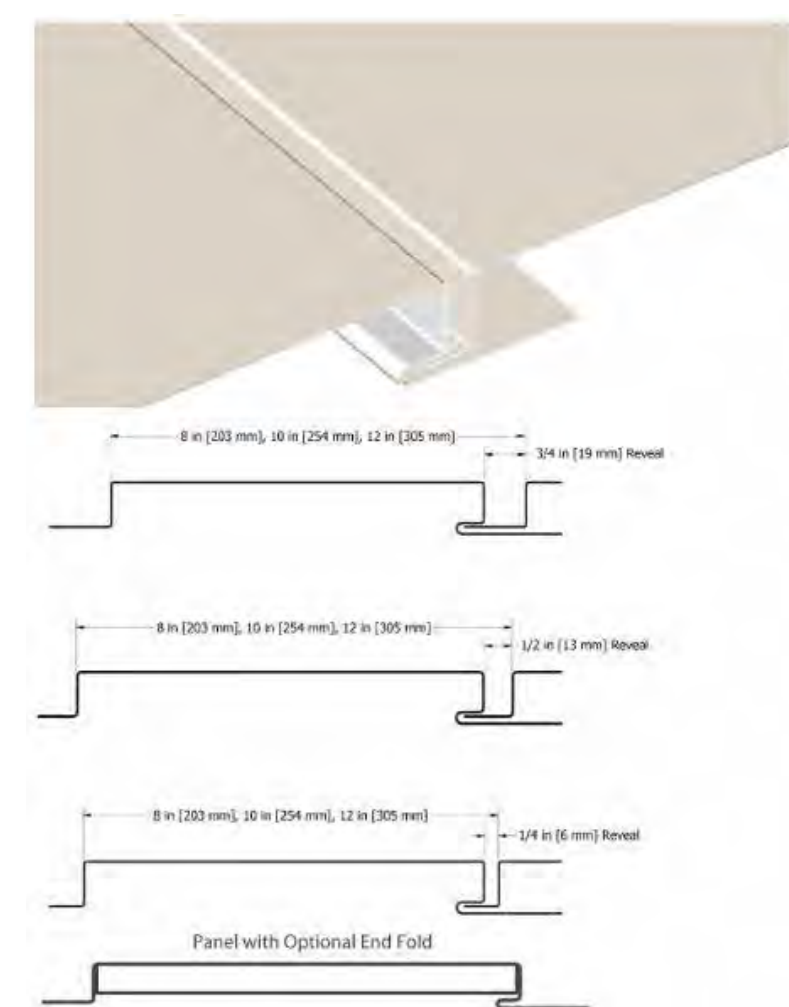
CANAM STEEL CORP. | SOUTH PLAINFIELD, NJ  
SterraCore: Dove Grey & Titanium

## SIDING - TYPE 2



### VERSA-SEAM

Versa-Seam™ is a rainscreen style system that requires a waterproof building envelope behind it. The panel forms architectural shadow lines in its horizontal installation and is available with three optional reveal or shadow line configurations and optional end folds. Pair accessories & fasteners with Versa-Seam™ to increase the longevity of your project.



### VERSA-SEAM™

SKU: VSS080, VSS100, VSS120

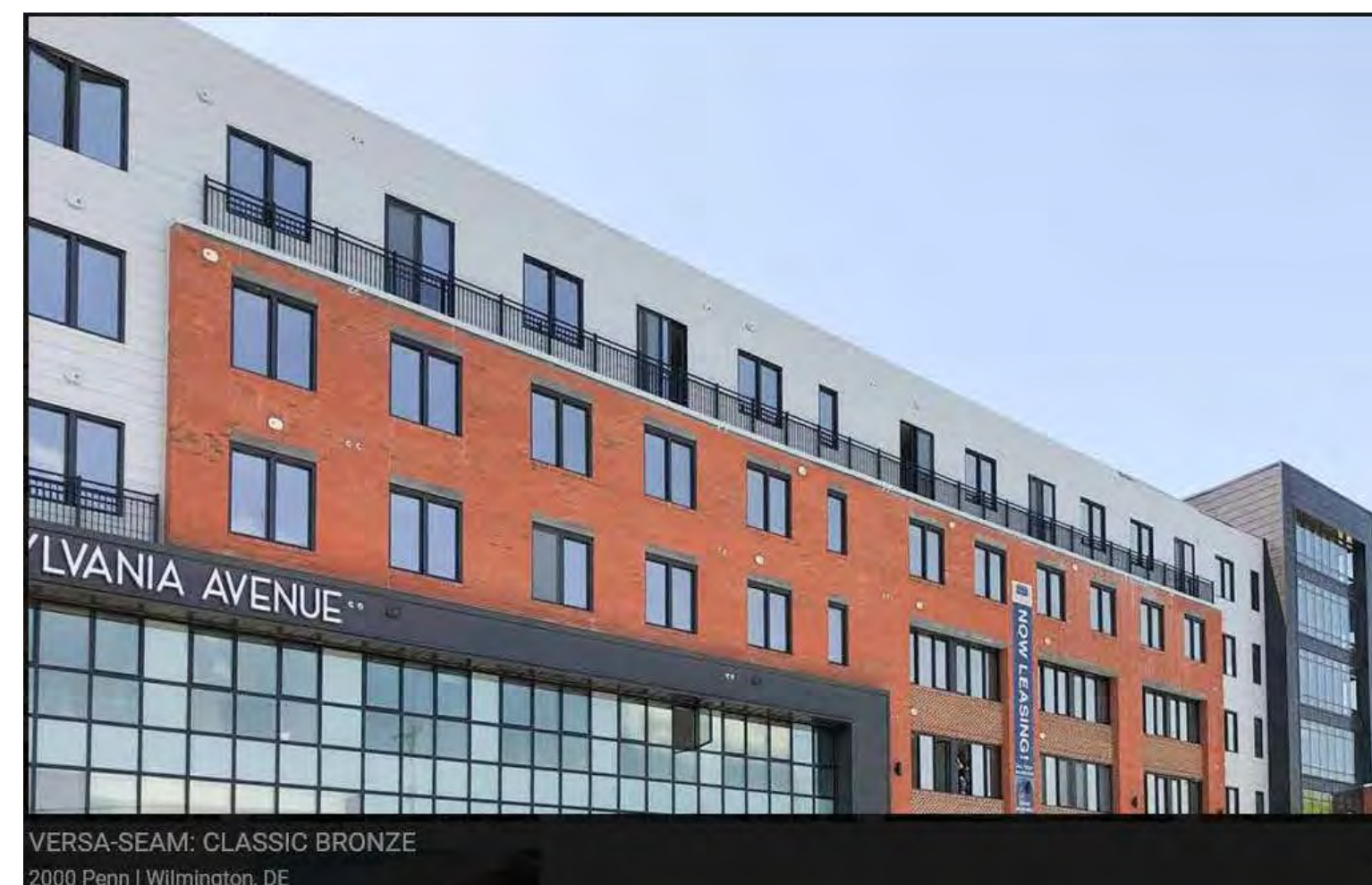
**MATERIAL**  
.032, .040 aluminum  
16, 20 oz. copper\*\*  
.8, 1.0 mm zinc\*\*  
.0197 classic & tin matte stainless steel\*\*  
\*Inquire for available widths

**PANEL SPECS**  
Coverage: 8", 10", 12" | Custom widths available\*  
Minimum Length: 3'-0"  
Maximum Length: 20'-0"  
Depth: 1"

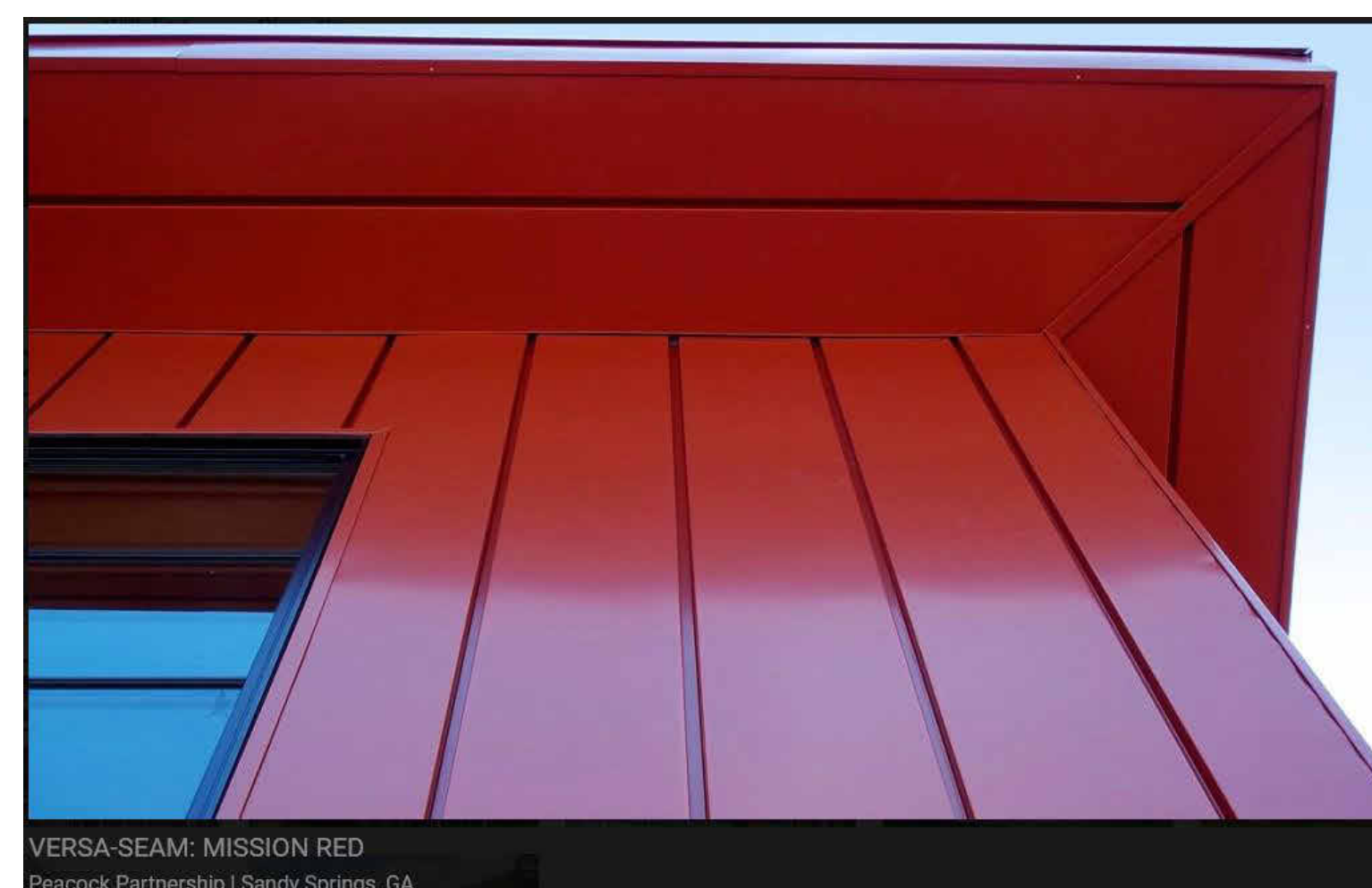
**AVAILABLE**  
Louvered  
Optional End Folds

**TEXTURE**  
Smooth, Stucco Embossed, or Wood Grain Embossed  
(.032 aluminum & .040 aluminum only)

www.atas.com/versaseam



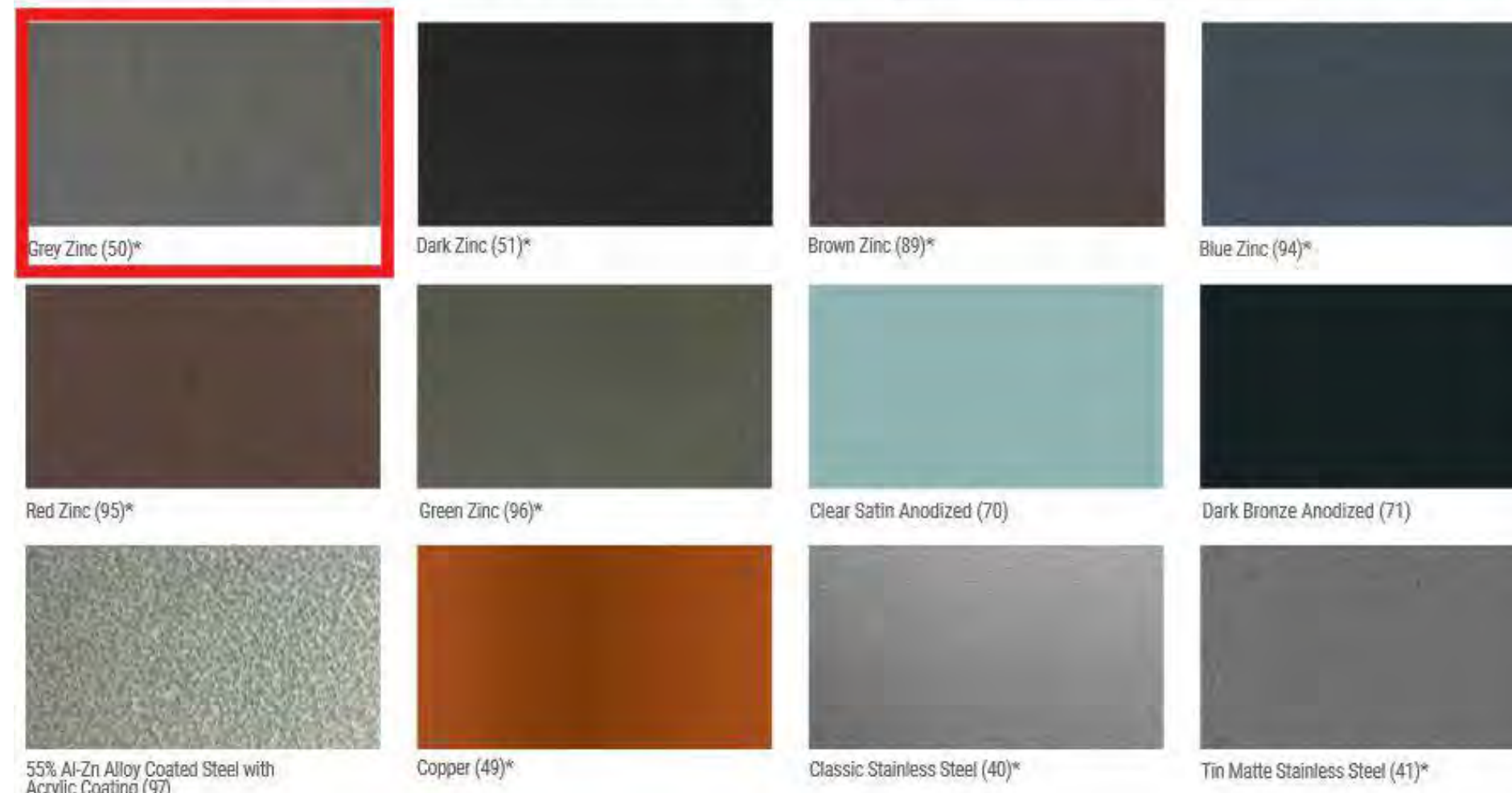
VERSA-SEAM: CLASSIC BRONZE  
2000 Penn | Wilmington, DE



VERSA-SEAM: MISSION RED  
Peacock Partnership | Sandy Springs, GA

### NATURAL METALS

Natural metals will weather and patina naturally over time, adding character and aesthetic appeal to any building design. In addition to natural metals, ATAS offers 55% Al-Zn alloy coated steel with acrylic coating and anodized aluminum as standard available materials.



Grey Zinc (50)\*  
Dark Zinc (51)\*  
Brown Zinc (89)\*  
Blue Zinc (94)\*  
Red Zinc (95)\*  
Green Zinc (96)\*  
Clear Satin Anodized (70)  
Dark Bronze Anodized (71)  
55% Al-Zn Alloy Coated Steel with Acrylic Coating (97)  
Copper (49)\*  
Classic Stainless Steel (40)\*  
Tin Matte Stainless Steel (41)\*

PROJECT:  
**Albany Street  
Residences**  
615 Albany St  
Boston, MA 02118

CLIENT:  
**River Front Realty**  
275 Main St  
Charlestown, MA

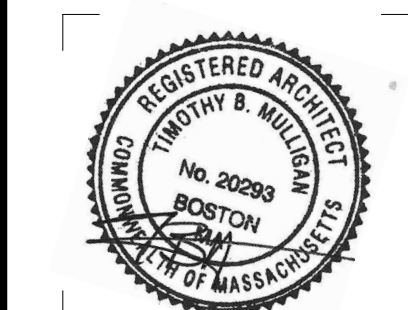
PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

SIDING INFO

STAMP



June 5, 2024

DATE OF ISSUE

PERMITTING

DOCUMENT PHASE

SCALE

2310.00

PROJECT #

DRAWING NUMBER:

**A213**