



November 15, 2024

Boston Air Pollution Control Commission
c/o Environment Department
1 City Hall Square, Room 709
Boston, MA 02201

Email: apcc@boston.gov
Attn: Alice Brown and Alyssa Farkas

**Re: 346 D Street, South Boston
APCC Parking Permit Application for Permit Modification**

Enclosed please find the Application of Atlantic Oliver II 346 D Street LLC (the “Applicant”) to the City of Boston Air Pollution Control Commission (the “APCC”) for a modification to APCC South Boston Parking Freeze Permit No. APCC 367742, in connection with the proposed redevelopment Project at 346 D Street (the “Project”) in the Industrial/Commercial Freeze Zone. The Project will involve the phased redevelopment of an approximately 2.52 acre site to include the demolition of five existing one story metal industrial buildings and the renovation of an existing two-story brick building of approximately 24,000 square feet of gross floor area (GFA) of industrial space. Site improvements and reconfiguration of the existing surface parking lot with up 115 vehicles.

The Permit Application retains the existing 115 spaces permitted to the site and changes site access through a reduction of curb cuts. The Project is not subject to the City of Boston’s Article 80 Large Project Review and is pursuing entitlements through the Inspectional Services Department.

As further detailed in the enclosed materials, the Applicant seeks the APCC’s approval of a modified South Boston Parking Freeze Permit. In support of this application, we provide the following Exhibits:

- A. APCC Application for Modified Parking Freeze Permit.
- B. Statement of Need
- C. Proof of Ownership.
- D. Location of Facility, including a Locus Plan, Site Plan, and Project Renderings.
- E. External Parking Lot and Bike Room Layout Plans.
- F. Electric Service Vehicle Equipment and Bicycle Accommodation Calculation Sheets.



G. Abutters List (within 300 feet of Facility).

We respectfully request to be included on the agenda for the next scheduled APCC meeting on December 18, 2024. In advance of the next APCC meeting, we also kindly request a meeting with APCC staff to discuss this application.

Hardcopies of the enclosed materials, together with a Joint Staff Report will be submitted not less than two (2) weeks before the anticipated hearing date of December 18, 2024.

If you have any questions about this matter, please do not hesitate to contact me if any additional information is required.

Sincerely,

Ian McKinnon
Associate Principal

Cc: Michael Shunta, Oliver Street Capital
Johanna Schneider, Hemenway & Barnes



EXHIBIT A

APCC PERMIT APPLICATION

[See Attached]



A. GENERAL APPLICATION INFORMATION

1. *Project Location*

a. Street Address	b. City/Town	c. Zip Code
f. Assessors Map/Plat Number	g. Parcel/Lot Number	

2. *Applicant*

a. First Name	b. Last Name	c. Company	
d. Mailing Address			
e. City/Town		f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address	

3. *Property Owner*

a. First Name	b. Last Name	c. Company	
d. Mailing Address			
e. City/Town		f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address	

Check if more than one owner:

(If there is more than one property owner, please attach a list of these property owners to this form.)



4. Representative (if any)

a. First Name	b. Last Name	c. Company	
d. Mailing Address			
e. City/Town		f. State	g. Zip Code
h. Phone Number	i. Fax Number	j. Email address	

5. What kind of application is being filed?

Request a New Parking Freeze
Permit or Exemption Certification

Modify an existing Parking Freeze Permit
or Exemption Certification

6. Which Parking Freeze is your facility located in

Downtown Boston

South Boston

B. PARKING FACILITY INFORMATION

1. Applicant

Downtown Boston		South Boston	
Commercial Spaces		Commercial Spaces	
Exempt Spaces		Residential Included Spaces	
Residential Excluded Spaces		Residential Excluded Spaces	

2. Do you currently or will you charge for parking?

Yes

No

Not sure

3. What is your current or proposed parking method and facility type? (select all that apply)

Valet

Surface Lot

Self-Parking

Garage



4. Is your project compliant with the City's Bicycle Parking Guidelines?

Number of Long-Term Bicycle Spaces:	Number of Showers:
Number of Short-Term Bicycle Spaces:	Bikeshare Station Size and Contribution:
Number of Lockers:	Other Amenities (Please List):

5. Is your project compliant with the City's Electric Vehicle Readiness Policy?

EVSE-Installed Points: A	Total number of spaces: C
EV-Ready Points: B	Does A + B = C ? <input type="checkbox"/> Yes <input type="checkbox"/> No

Note: Please attach the Electric Vehicle Equivalency Calculator to this application, available at www.boston.gov/recharge-boston.

6. Please fill out the information below:

Total Number of Proposed Spaces:	Total Parking Facility Square Footage:
Number of New Spaces:	Ratio of Residential Spaces to Units:
Number of Existing Spaces:	(Optional) Number of Spaces Returned:

7. Please list the total facility square footage by use type:

Residential Sqft:	Retail Sqft:
Office/Admin Sqft:	Institutional Sqft:
Industrial Sqft:	Lodging Sqft:

8. Are you required to execute a Transportation Access Plan Agreement (TAPA)?

Yes No

(If yes, please attach the draft or final TAPA to this form if available.)



C. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Applicant will place notification of this Application in a local newspaper at the expense of the applicant in accordance with the Procedures and Criteria for the Issuance of Parking Freeze Permits.

Signature of Applicant _____
Date

Signature of Property Owner (if different) _____
Date

Signature of Representative (if any) _____
Date

D. ADDENDUM: IMPORTANT APPLICATION INFORMATION

PAYMENT

Please include a check or money order made payable to the City of Boston, Air Pollution Control Commission. The fee is \$20 per parking space. Application and renewal fees apply to all locations within the Downtown, East Boston, and South Boston Parking Freeze Zones.

WRITTEN PROOF

Please attach written proof that the applicant is the owner of record or has written approval from the owner of record to file this application.

STATEMENT OF NEED

Please attach a general description of the facility and the parking needs of the project, local entities, and patrons that the proposed facility will serve. Any written support (letters, etc.) that you wish to supply in support of this statement should be attached



SITE PLANS

Please attach a site plan of the parking facility showing:

- location of the facility;
- layout of the spaces;
- entry and exit locations;
- total square footage of the parking area;
- location, type and amount of electric vehicle parking;
- location and amount of bicycle parking and bicycle facilities.

OTHER APPLICABLE REVIEWS

If you are working in a historic district or on a designated landmark, you should consult with the appropriate historic or architectural commission. If you are working in the floodplain or within 100 feet of a wetland, you should consult with the Conservation Commission. Visit boston.gov/landmarks and boston.gov/conservation before starting any work.

WHERE TO SEND

We prefer you complete the digital application using this form. Export the form as a PDF and email your application and supporting documents to APCC@boston.gov. You can also mail your application, documents, and payment to: Air Pollution Control Commission, Boston City Hall, 1 City Hall Square, Room 709, Boston, MA 02201. Please notify us that you have sent an application by mail at APCC@boston.gov.



EXHIBIT B

STATEMENT OF NEED

[See Attached]



STATEMENT OF NEED

This statement of need is intended to accompany and support the application by Atlantic Oliver II 346 D Street LLC (the “Owner”), an affiliate of Oliver Street Capital LLC, for a South Boston Parking Freeze Permit Modification (the “Permit Modification”) issued by the Boston Air Pollution Control Commission (APCC) for the proposed improvements and change of use of the site located at 346 D Street (the “Property”).

The Property was acquired by the Owner in July 2023 from Shaughnessy Real Estate Investments LLC. and NIMBO Co. (f/k/a Shaughnessy and Ahearn Company). The Property is currently used as a surface parking lot and is within the South Boston Industrial/Commercial Freeze Zone. South Boston Parking Freeze Permit No. APCC 367742 issued by the APCC authorizes a total of 115 commercial spaces at the Property.

The Owner proposes the following modifications to the Property (the “Project”):

- Demolition of five existing one-story metal industrial buildings
- Renovation of an existing two-story brick building
- Site improvements, including reconfiguration and upgrade of the existing surface parking lot, the addition of a new security fence, landscape plantings, and installation of EV charging stations and infrastructure for future large fleet truck electrification.

The Property will be occupied by Verizon for use as a service garage and dispatch for construction trucks and storage of cable reels and telephone poles. During each shift, employees will park their personal vehicles on site and then depart for service calls in the fleet vehicles that will be stored and maintained on the Property. It is anticipated that up to 115 vehicles (whether employee vehicles or service trucks) will be accommodated on the Property.

The Project is expected to be constructed and occupied by Spring 2026.

The Owner is filing this request for a Permit Modification in connection with the above-referenced activities. The total commercial parking capacity will remain unchanged.

The area surrounding the Property includes the industrial South Boston Waterfront neighborhood, which is developed with local commercial and industrial businesses that serve an important regional role. The Owner believes that the number of parking spaces proposed is the minimum number it can provide for Verizon’s intended use without impacting the surrounding neighborhood.



In addition, although not required by nature of the Project's approval pathway (no approvals pursuant to Article 80 of the Boston Zoning Code are required), the Permit Modification application includes information on bicycle parking plans for the Project and the electric vehicle charging stations that will be provided, both of which meet the intentions of BTM guidelines and sizing requirements.



EXHIBIT C

PROOF OF OWNERSHIP

[See Attached]

- Quitclaim Deeds



2023 00044097

Bk: 69220 Pg: 311 Page: 1 of 4

Recorded: 07/17/2023 12:59 PM

ATTEST: Stephen J. Murphy, Register

Suffolk County Registry of Deeds

Upon recording return to:

Goulston & Storrs PC
400 Atlantic Avenue
Boston, MA 02110
Attention: Kevin J. Renna, Esq.

QUITCLAIM DEED

SHAUGHNESSY REAL ESTATE INVESTMENTS L.L.C., a Delaware limited liability company, with a current mailing address of 346 D Street, South Boston, Massachusetts 02127 (the "Grantor"), in consideration of Nine Million Nine Hundred Seventy-Six Thousand and 00/100 Dollars (\$9,976,000.00) paid, grants to **ATLANTIC OLIVER II 346 D STREET, LLC**, a Delaware limited liability company, with a current mailing address of c/o Oliver Street Capital LLC, 125 High Street, Suite 220, Boston, Massachusetts 02110 ("Grantee"),

with QUITCLAIM COVENANTS, the real property with the improvements thereon located in South Boston, County of Suffolk, Commonwealth of Massachusetts, being more particularly described in Exhibit A, attached hereto (the "Property").

Said Property is conveyed subject to and together with the benefit of all restrictions, conditions, easements, contracts, agreements, appurtenant rights and other matters of record, insofar as the same are now in force and effect, including, but not limited to, that certain Notice of Activity and Use Limitation dated July 9, 2007 and filed on July 9, 2007 with the Suffolk County Registry of Deeds as Document Number 77808.

Grantor has not elected to be classified as a corporation for federal income tax purposes.

For Grantor's title, see Deed from Shaughnessy Crane Service, Inc. to Shaughnessy Real Estate, LLC, dated September 17, 1998, recorded with the Suffolk County Registry of Deeds at Book 22908, Page 64 (see Scrivener's Affidavit recorded with the Suffolk County Registry of Deeds at Book 63886, Page 266 to the correct name of Shaughnessy Real Estate Investment, LLC), and Deed from Paul Ferreira, Manager of 218 West First Street, LLC, dated May 14, 2004, recorded with the Suffolk County Registry of Deeds at Book 34543, Page 273 (see Confirmatory Quitclaim Deed recorded with the Suffolk County Registry of Deeds at Book 68709, Page 166).

[signature page follows]


Property Address: 346 D Street, Boston, Massachusetts 02127

MASSACHUSETTS EXCISE TAX
Suffolk County District ROD # 001
Date: 07/17/2023 12:59 PM
Doc# 00044097
Cons \$9,976,000.00
CANCELLED

EXECUTED as an instrument under seal this 10th day of July, 2023.

GRANTOR:

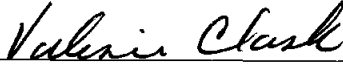
**SHAUGHNESSY REAL ESTATE INVESTMENTS
L.L.C.**, a Delaware limited liability company

By 
Name: John J. Shaughnessy III
Title: Co-Manager

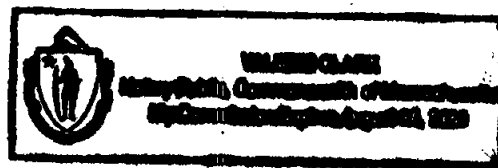
COMMONWEALTH OF MASSACHUSETTS

Suffolk County, ss.

On this 10th day of July, 2023, before me, the undersigned notary public, personally appeared John J. Shaughnessy III, the Co-Manager of Shaughnessy Real Estate Investments L.L.C., proved to me through satisfactory evidence of identification, which was Driver License, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose as the free act and deed of said Shaughnessy Real Estate Investments L.L.C.


_____, Notary Public
My commission expires: Aug 4, 2028

(SEAL)



Beginning at a point one hundred seventy one and $.75/100$ (171.75) feet Westerly from the Northwest corner of West First Street and D Street, South Boston,

Thence running Westerly on said West First Street, one hundred thirty four and $29/100$ (134.29) feet;

Thence turning at a right angle and running Northerly by land formerly of Perry, Buxton, Donnie Company, one hundred (100) feet;

Thence turning at right angles and running Easterly by land formerly of said Perry, Buxton, Donnie Company, one hundred thirty four and $29/100$ (134.29)

Thence turning at right angles and running Southerly by land now or formerly of Alleuuz, one hundred (100) feet to a point of beginning.

Containing 13,429 square feet of land, more or less.



2023 00044768

Bk: 69231 Pg: 48 Page: 1 of 4
Recorded: 07/19/2023 01:03 PM
ATTEST: Stephen J. Murphy, Register
Suffolk County Registry of Deeds

MASSACHUSETTS EXCISE TAX
Suffolk County District ROD # 001
Date: 07/17/2023 12:17 PM
Ctrl# 232112 13957 Doc# 00945258
Fee: \$52,549.44 Cons: \$11,524,000.00

Upon recording return to:

Goulston & Storrs PC
400 Atlantic Avenue
Boston, MA 02110
Attention: Kevin J. Renna, Esq.

QUITCLAIM DEED

NIMBO CO. (f/k/a SHAUGHNESSY AND AHERN COMPANY), a Massachusetts corporation, with a current mailing address of 346 D Street, South Boston, Massachusetts 02127 (the "**Grantor**"), in consideration of Eleven Million Five Hundred Twenty-Four Thousand and 00/100 Dollars (\$11,524,000.00) paid, grants to **ATLANTIC OLIVER II 346 D STREET, LLC**, a Delaware limited liability company, with a current mailing address of c/o Oliver Street Capital LLC, 125 High Street, Suite 220, Boston, Massachusetts 02110 ("**Grantee**"),

with QUITCLAIM COVENANTS, the real property with the improvements thereon located in South Boston, County of Suffolk, Commonwealth of Massachusetts, being more particularly described in Exhibit A, attached hereto (the "**Property**").

Said Property is conveyed subject to and together with the benefit of all restrictions, conditions, easements, contracts, agreements, appurtenant rights and other matters of record, insofar as the same are now in force and effect, including, but not limited to, that certain Notice of Activity and Use Limitation dated July 9, 2007 and filed on July 9, 2007 with the Suffolk County Registry of Deeds as Document Number 77808.

Grantor has not elected to be classified as a corporation for federal income tax purposes.

For Grantor's title, see Deed from John T. Scully and Catherine L. Scully, Trustees of the Cajohn Realty Trust, dated November 14, 1960, filed with the Suffolk County Registry of Deeds as Document No. 246267, creating Certificate of Title No. 67321, as to Parcel I of the Property, Deed from Lawrence H. Oppenheim Co., dated May 23, 1969, recorded with the Suffolk County Registry of Deeds, Book 8335, Page 664 as to Parcel II of the Property, Deed from Ernest E. Erickson, William T. King and Dennis F. Mederos, succeeding trustees of South Boston Industrial Track, dated May 7, 1968, recorded with the Suffolk County Registry of Deeds, Book 8206, Page 236, as to Parcel III of the Property, and Deed from Edward S. Gerber, Trustee of the Gerber Family Trust, dated October 18, 1968, filed with the Suffolk County Registry of Deeds as Document No. 290681, creating Certificate of Title No. 78475, as to Parcel IV of the Property.

[signature page follows]



2023 00945258

Cert#: 139642 Bk: 00694 Pg: 42
Doc: DED 07/17/2023 12:17 PM SF
ATTEST: Stephen J. Murphy, Register
Suffolk County Registry of Deeds

REGISTERED LAND

REGISTERED LAND

Property Address: 346 D Street, Boston, Massachusetts 02127

EXECUTED as an instrument under seal this 10th day of July, 2023.

GRANTOR:

NIMBO CO. (f/k/a SHAUGHNESSY AND AHERN COMPANY), a Massachusetts corporation

By: [Signature]
Name: John J. Shaughnessy III
Title: President

COMMONWEALTH OF MASSACHUSETTS

Suffolk County, ss.

On this 10th day of July, 2023, before me, the undersigned notary public, personally appeared John J. Shaughnessy III, the President of NIMBO CO., proved to me through satisfactory evidence of identification, which was [Signature], to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose as the free act and deed of said NIMBO CO.

[Signature]
_____, Notary Public
My commission expires: Aug 4, 2028

(SEAL)

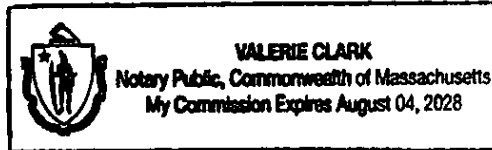


EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

Parcel I – Cypher and West First Street

A certain parcel of land with the buildings thereon situated in that part of Boston called South Boston, being bounded and described as follows:

- SOUTHWESTERLY by the northeasterly line of West First Street, one hundred fifteen and $36/100$ (115.36) feet;
- NORTHWESTERLY by land now or formerly of Dennis F. Mederos, et al, Trustees, eighty (80) feet;
- NORTHEASTERLY by land now or formerly of Lawrence H. Oppenheim Co., ten (10) feet;
- NORTHWESTERLY again by land now or formerly of said Lawrence H. Oppenheim Co., once hundred forty (140) feet;
- NORTHEASTERLY again by Cypher Street, two hundred thirty-nine and $65/100$ (239.65) feet;
- SOUTHEASTERLY by land now or formerly of Herbert A. Shaughnessy, one hundred twenty (120) feet;
- SOUTHWESTERLY again by land now or formerly of Package Chemical Co., Incorporated, one hundred thirty-four and $29/100$ (134.29) feet;
- SOUTHEASTERLY again by land now or formerly of Said Package Chemical Co., Incorporated, one hundred (100) feet.

All of said boundaries are determined by the Court to be located as shown on a plan numbered 28284A, as approved by the Court, filed in the Land Registration Office, a copy of which is filed in the Registry of Deeds for the County of Suffolk with Certificate of Title No. 67319.

Parcel II – Cypher Street

A strip of land situated in South Boston as shown as Lot No. 2 on Land Court Plan No. 28284A James E. Haley C.E. said plan dated October 21, 1957

- WESTERLY by land now or formerly of Cajohn Realty Trust as Lot No. 1 on said heretofore referred to Plan, ten (10) feet;
- NORTHERLY By land now or formerly of Paul O'Sullivan, one hundred forty (140) feet;

EASTERLY By Cypher Street, ten (10) feet;
SOUTHERLY By land now or formerly of Cajohn Realty Trust and shown as Lot 1 on said Plan, one hundred forty (140) feet.

Said Lot 2 containing 1,400 square feet of land more or less.

Parcel III – C Street and West First Street

The land in said South Boston section situated on the Northeast corner of West First and C Streets, being bounded and described as follows:

SOUTHERLY by West First Street, seventy-eight and 5/10 (78.5) feet, more or less;
WESTERLY by C Street, eighty (80) feet;
NORTHERLY by land formerly of John P. Monks, seventy-eight and 5/10 (78.5) feet, more or less; and
EASTERLY by land formerly of Perry, Buxton & Doane, Eighty (80) feet.

Parcel IV – C Street and Cypher Street

The land with the buildings thereon situated in that part of Boston known as South Boston, and being bonded and described as follows:

Northwesterly by C Street, one hundred forty (140) feet;
Northeasterly by a line, two hundred twenty (220) feet northeasterly from and parallel to West First Street, seventy-eight and 50/100 (78.50) feet;
bounding on land shown on the plan hereinafter mentioned as Cypher Street;
Southeasterly by land now or formerly of Gertrude M. Nichols, one hundred forty (40) feet; and
Southwesterly by land now or formerly of Howard Coonley et al, seventy-eight and 50/100 (78.50) feet.

All of said boundaries are determined by the Court to be located as shown upon a plan numbered 19207-A, filed with Certificate of Title No. 45273, the same being compiled from a plan drawn by David S. Wexler, Engineer, dated September 28, 1944, and additional data on file in the Land Registration Office, all as modified and approved by the Court.

945758

DOC No: 00945258

SUFFOLK LAND COURT
REGISTRY DISTRICT

** RECEIVED FOR REGISTRATION **

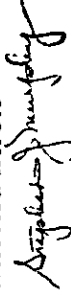
On: Jul 17 2023 at 10:17F

Document fee: 155.00 Rec Total (\$50,844.44)

CERTIFICATE No: 139642 BK 00694 PG 42

ALSO NOTED ON: CERT 67021 BK 032 PG 12

Attested hereto



Stephen J. Murphy
Asst. Recorder of Land Court

REGISTERED LAND

REGISTERED LAND

PC



EXHIBIT D

LOCATION OF FACILITY

[See Attached]

- Locus Plan
- Proposed Project Renderings



Figure 1. *Locus Plan*

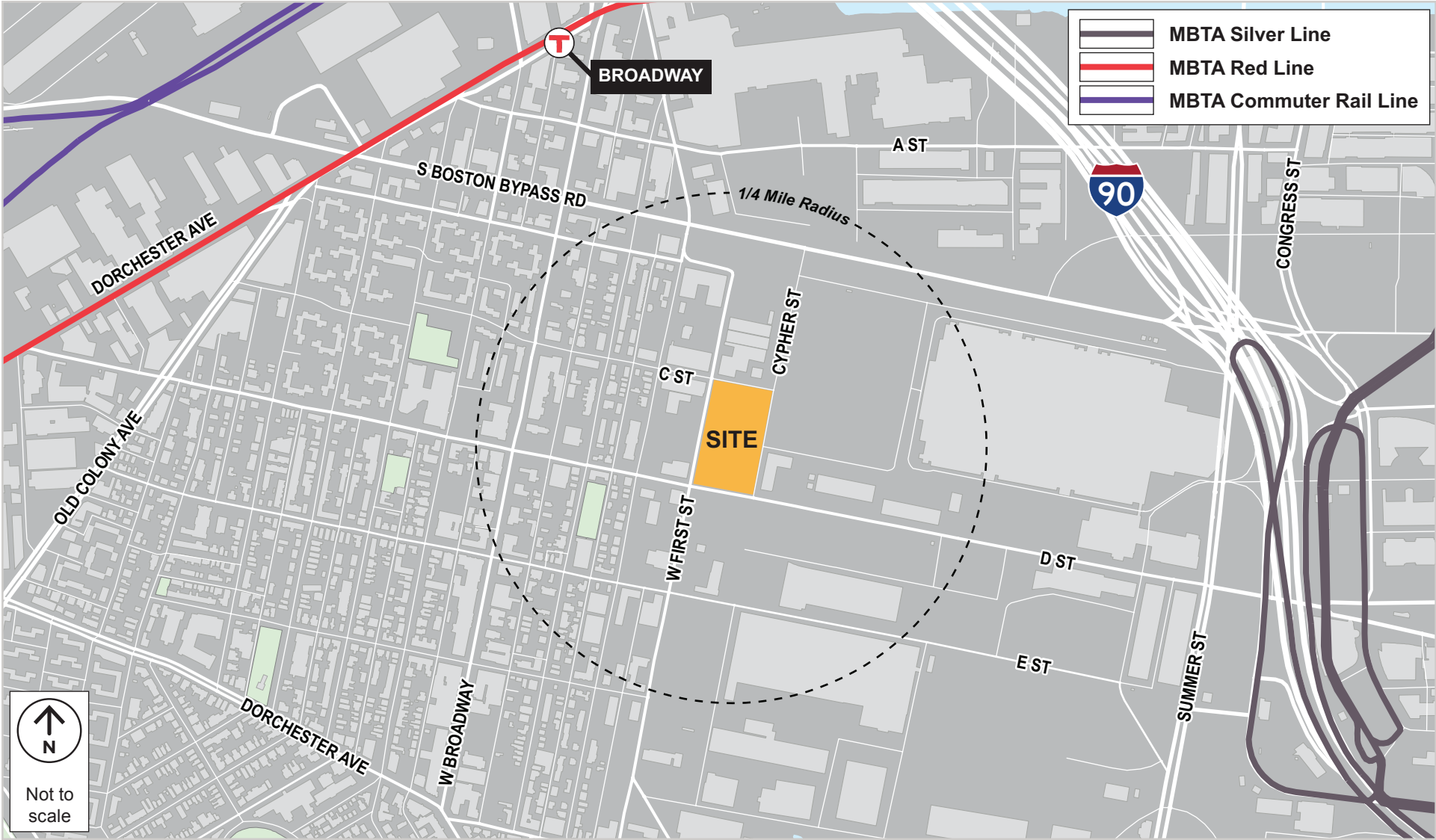




Figure 2. *346 D Street - D Street and W First Street View*





Figure 3. *346 D Street - New Cypher Street and C Street View*

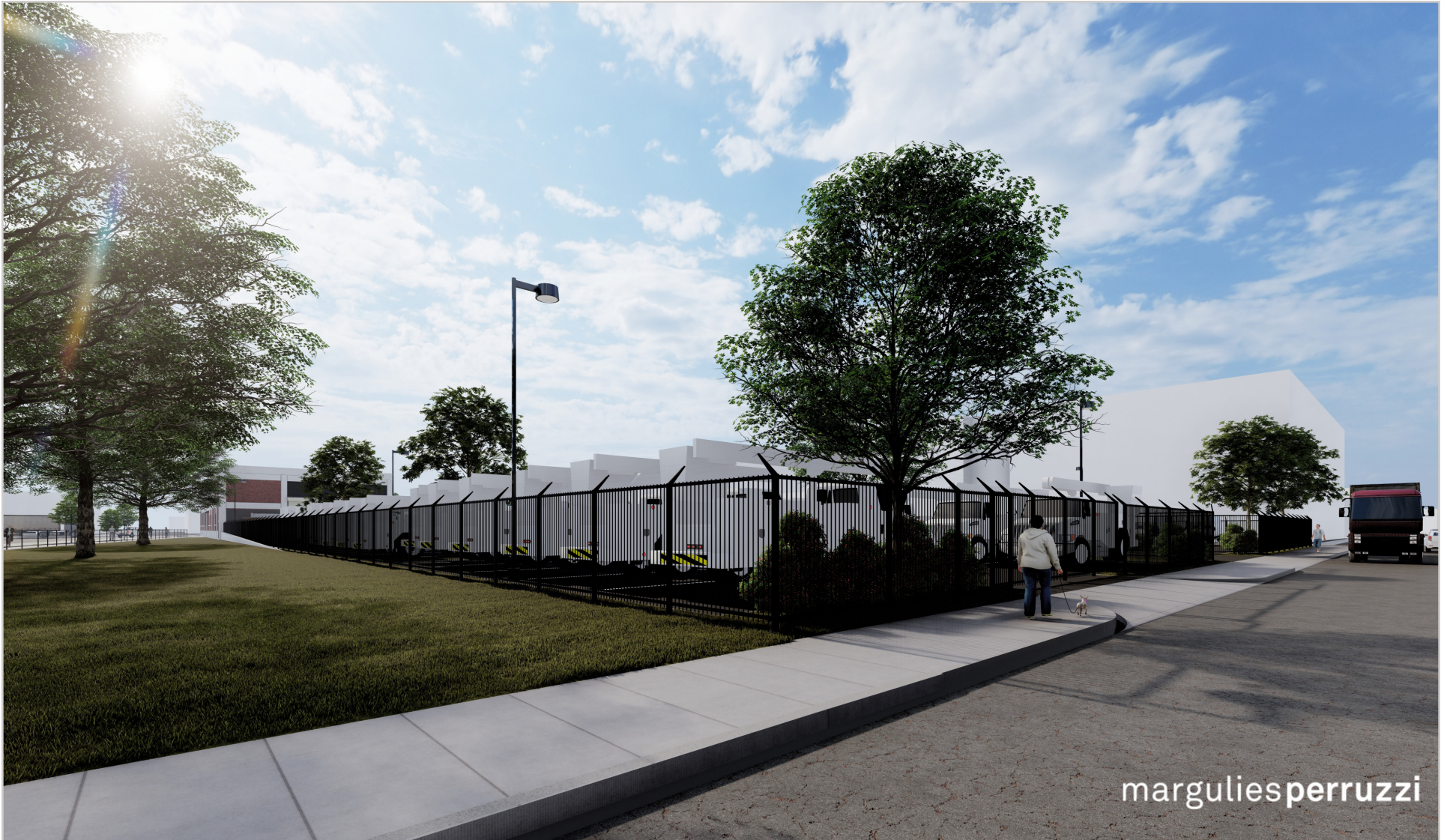




Figure 4. *346 D Street - D Street View*





Figure 5. *346 D Street - D Street and New Cypher Street View*





EXHIBIT E

PARKING LAYOUT AND BIKE ROOM LAYOUT PLANS

[See Attached]

- Site Plan
 - Parking Lot Entrances/Exits
 - Pedestrian Entrances and Exits
 - External Bike Racks
- EVSE and Bicycle Plan



Figure 8. *Internal Bike Parking*

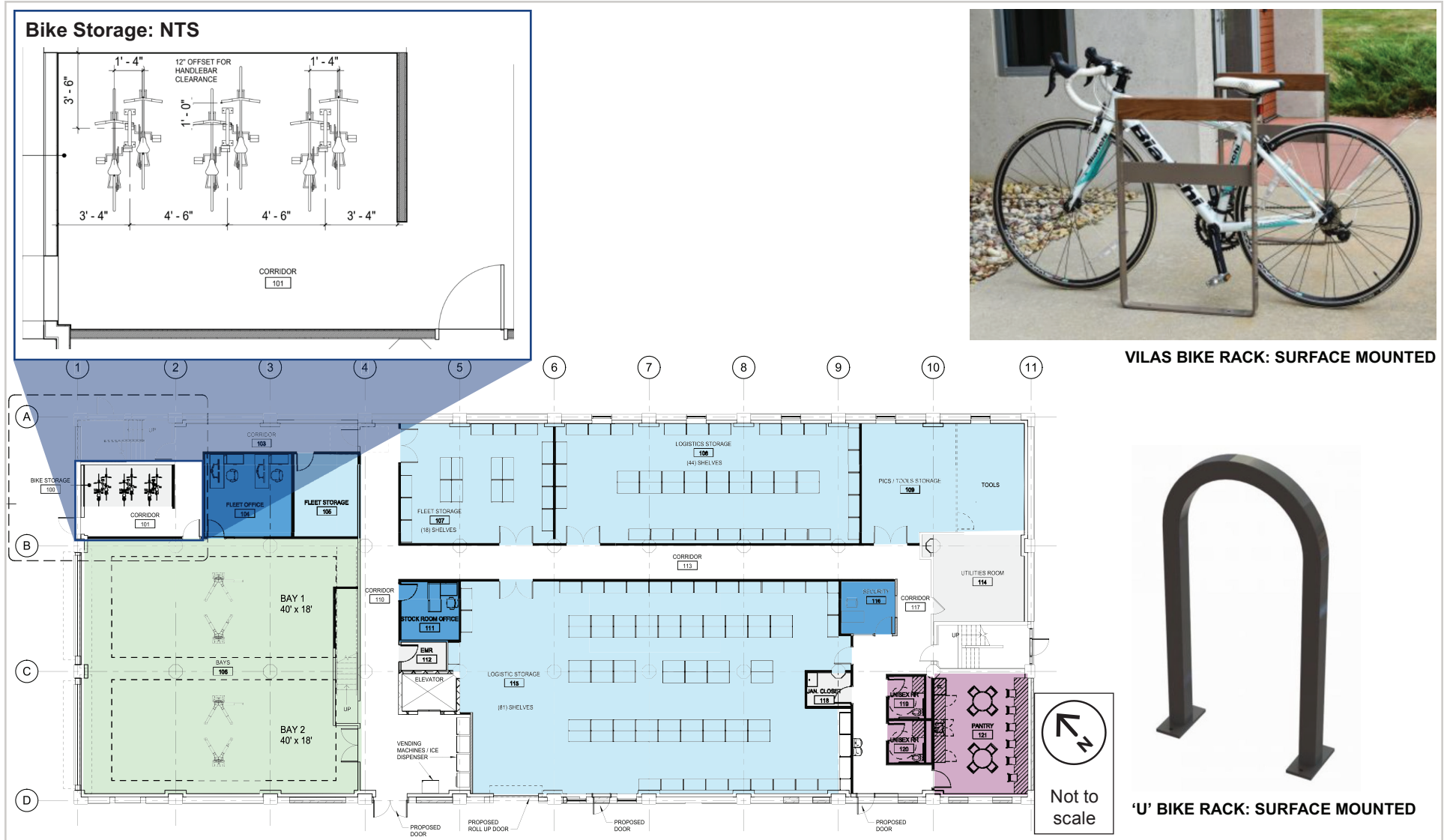




Figure 9. *Internal Second Floor Plan: Lockers and Showers*





EXHIBIT F

**ELECTRIC SERVICE VEHICLE EQUIPMENT AND
BICYCLE ACCOMMODATION
CALCULATION SHEETS**

[See Attached]

- EVSE Calculation Sheet
- BTM Bicycle Accommodation Matrix

346 D Street
INTERACTIVE EV REQUIREMENT EQUIVALENCE CALCULATOR

HOWARD STEIN HUDSON
 November 12, 2024

PROJECT CHARACTERISTICS	<i>Fill Out Cells Below</i>
Total Parking Count -	115

TOTAL EVSE POINTS PROVIDED	TOTAL EVSE POINTS REQUIRED
37	115

EVSE-INSTALLED EQUIVALENCE CALCULATOR

Options	Amount of parking spaces served	Weighted Points (per mitigation measure)	Total Points	Restriction/Range
LEVEL 1 CHARGER	0	1	0	Only residential and office may offset with this option. Parking spaces must be assigned if residential.
LEVEL 2 CHARGER	35	1	35	
DCFC - 50KW	0	8	0	
DCFC - 150KW	0	24	0	
EV Carshare	0	19	0	
Electric Bike Parking Amenities	6	0.25	1.5	Maximum of 5 points.
Total Vehicle Parking Spaces -	35			

EVSE - INSTALLED POINTS ACCRUED	EVSE - INSTALLED POINTS REQUIRED
37	29

EVSE-READY EQUIVALENCE CALCULATOR

Options	Amount of parking spaces served	Weighted Points (per mitigation measure)	Total Points	Restriction/Range
LEVEL 1 CHARGER	0	1	0	Only residential and office may offset with this option. Parking spaces must be assigned if residential.
LEVEL 2 CHARGER	0	1	0	
DCFC - 50KW	0	8	0	
DCFC - 150KW	0	24	0	
Total Vehicle Parking Spaces -	0			

EVSE - READY POINTS ACCRUED	EVSE - READY POINTS REQUIRED
0	78

346 D Street

Bicycle Accommodations per BTB/Boston Bikes Guidelines

HOWARD STEIN HUDSON

November 12, 2024

2021 GUIDELINES													
land use/square feet or units		rate	number	Internal				External					
				bicycle storage		showers		lockers		bicycles		bike share contribution	
				rate	number	rate	showers	rate	lockers	rate	number	rate per sf	fee
Industrial	24,000	1/12,000 sf (6 min.)	2	1/480,000 sf (1 min.)	1	1/48,000 sf (1 min.)	1	1/40,000 sf (6 min.)	1	\$0.10 per sf	n/a		
Total -	24,000		2		1		1		1		\$0		

PROVIDED -	6	1	20	6	\$0
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* - shower/locker will be in tenant build-out of space upon request.



EXHIBIT G

ABUTTERS LIST (within 300 feet of Facility)

[See Attached]

PID	OWNER	MAIL_ADDRESSEE	FULL_ADDRESS
601509010	5514 D STREET 320 BOSTON LLC	C/O AKELIUS REAL ESTATE MANAGEMENT	320 D ST, SOUTH BOSTON, MA 02127
601520001	P CHRISTOPHER ASSOCIATES MASS LPS	C/O PHILIP S BALBONI	270 W SECOND ST, SOUTH BOSTON, MA 02127
601520002	SHAUGHNESSY REAL ESTATE LLC		291 W FIRST ST, SOUTH BOSTON, MA 02127
601520004	5515 D STREET 339 BOSTON LLC	C/O AKELIUS REAL ESTATE MANAGEMENT	339 D ST, SOUTH BOSTON, MA 02127
601520000	SEAPORT CROSSING CONDOMINIUM TRUST	C/O BRIDGESTONE PROPERTIES	345 D ST, SOUTH BOSTON, MA 02127
601520010	SEAPORT CROSSING LLC		345 D ST 1, SOUTH BOSTON, MA 02127
601520012	CASTRO FABIO S		345 D ST 2, SOUTH BOSTON, MA 02127
601520014	CWIKLA NICOLE A		345 D ST 3, SOUTH BOSTON, MA 02127
601520016	PICKETT TERRANCE		345 D ST 4, SOUTH BOSTON, MA 02127
601520018	345 D LLC		345 D ST 5, SOUTH BOSTON, MA 02127
601520020	COOK WILLIAM		345 D ST 6, SOUTH BOSTON, MA 02127
601520022	DING LUKE		345 D ST 7, SOUTH BOSTON, MA 02127
601520024	GARY CONBOY LIVING TRUST		345 D ST 8, SOUTH BOSTON, MA 02127
601520026	FAUCHER MELISSA		345 D ST 9, SOUTH BOSTON, MA 02127
601520028	MAKAROV PAVEL		345 D ST 10, SOUTH BOSTON, MA 02127
601520030	PISANI PHILIP ANTHONY		345 D ST 11, SOUTH BOSTON, MA 02127
601520032	THAMEL WEST FIRST REALTY TRUST		345 D ST 12, SOUTH BOSTON, MA 02127
601520034	DONG HAODI		345 D ST 13, SOUTH BOSTON, MA 02127
602774010	MASS CONVENTION CENTER AUTH		D ST, BOSTON, MA 02210
602838050	MASSACHUSETTS CONVENTION	C/O MASS CONVENTION CTR AUTH	D ST, SOUTH BOSTON, MA 02127
602789010	MASSACHUSETTS PORT AUTHORITY		CYPHER ST, SOUTH BOSTON, MA 02127
602843000	RYDER TRUCK RENTAL INC	C/O PROPERTY TAX DEPT	280 W FIRST ST, SOUTH BOSTON, MA 02127