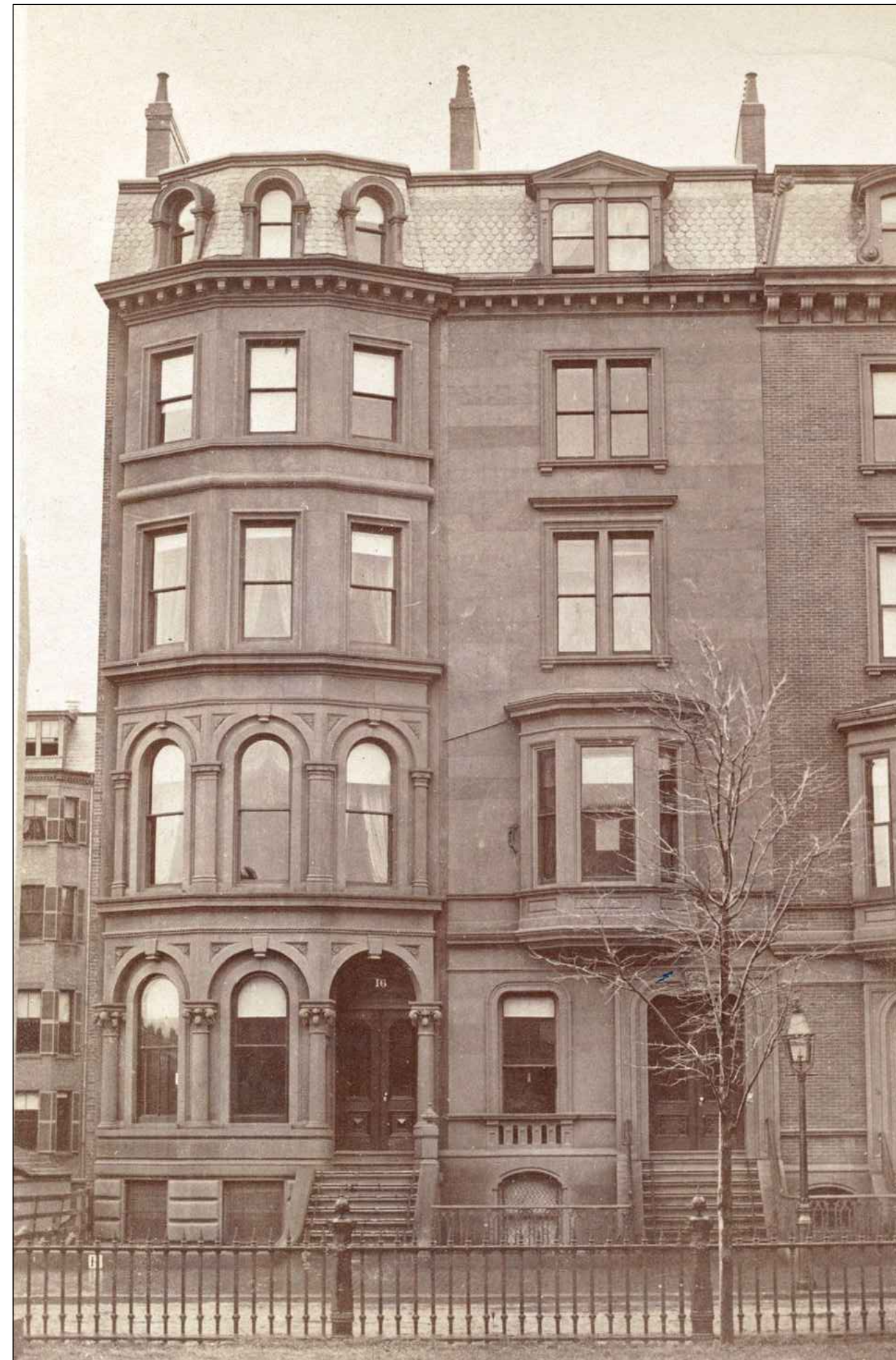


SINGLE-FAMILY RENOVATION & ADDITIONS

18 COMMONWEALTH AVENUE, BOSTON, MA 02116



ZONING SUMMARY

ZONING CODE ANALYSIS - 18 COMMONWEALTH AVE., BOSTON
ZONE: H-3-65

Use Regulations: Section Table	
Existing	Proposed
Multi-family - 11 UNITS	Single-family - 1 UNIT

Dimensional Regulations: Table					
Any Dwelling	Code Requirement		Existing Condition	Proposed Project	Notes
	Use 1	Any Other Use			
Lot Area Minimum	NONE				
Min Lot Area for Additional Units	NONE				
Total Required Lot Size	NONE		2,366 SF	2,366 SF	
Min Required Lot Width and Frontage	NONE		19.0'	19.0'	
Max FAR	3.00		3.38	3.21	
Max Building Height / Stories	65'		66.0'	66.0'	
Usable Open Space	50 SF / UNIT		34 SF / UNIT	905 SF / UNIT	
Min Front Yard	20'		20'	20'	
Min Side Yard	0'		0'	0'	
Min Rear Yard	31.1'		34.4'	31.1'	
Max Use of Rear Yard					

Overlays:
GROUND WATER OVERLAY DISTRICT
RESTRICTED PARKING
BACK BAY ARCHITECTURAL DISTRICT

Other Non-Dimensional Zoning Issues:
EX'G PARKING - 2 SPACES
REQUIRED - 0 SPACES
PROPOSED - 2 SPACES

CODE SUMMARY

EX'G TYPE 3B CONSTRUCTION
EX'G MULTI-FAMILY (11 DWELLING UNITS)
PROPOSED R-3 USE GROUP (SINGLE-FAMILY)
EX'G NON-SPRINKLERED AND ALARMED
PROPOSED SPRINKLERED AND ALARMED
ZONE: MFR, SOUTH END

SOIL TESTING

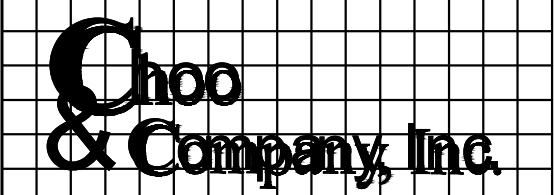
NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

KEY

- Ⓢ SMOKE DETECTOR
- Ⓜ HEAT DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- ◇ 1 HOUR WALL
- ☒ FAN
- Ⓢ DOOR TYPE
- Ⓢ WINDOW TYPE
- 1 1 HOUR CLG. ABOVE
- ▬ NEW WALL
- ▬ EX'G WALL TO REMAIN
- ▬ WALL TO BE REMOVED

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 08-01-2024
Drawn By: DF

Drawing Name
COVER SHEET

Sheet No.
A-0



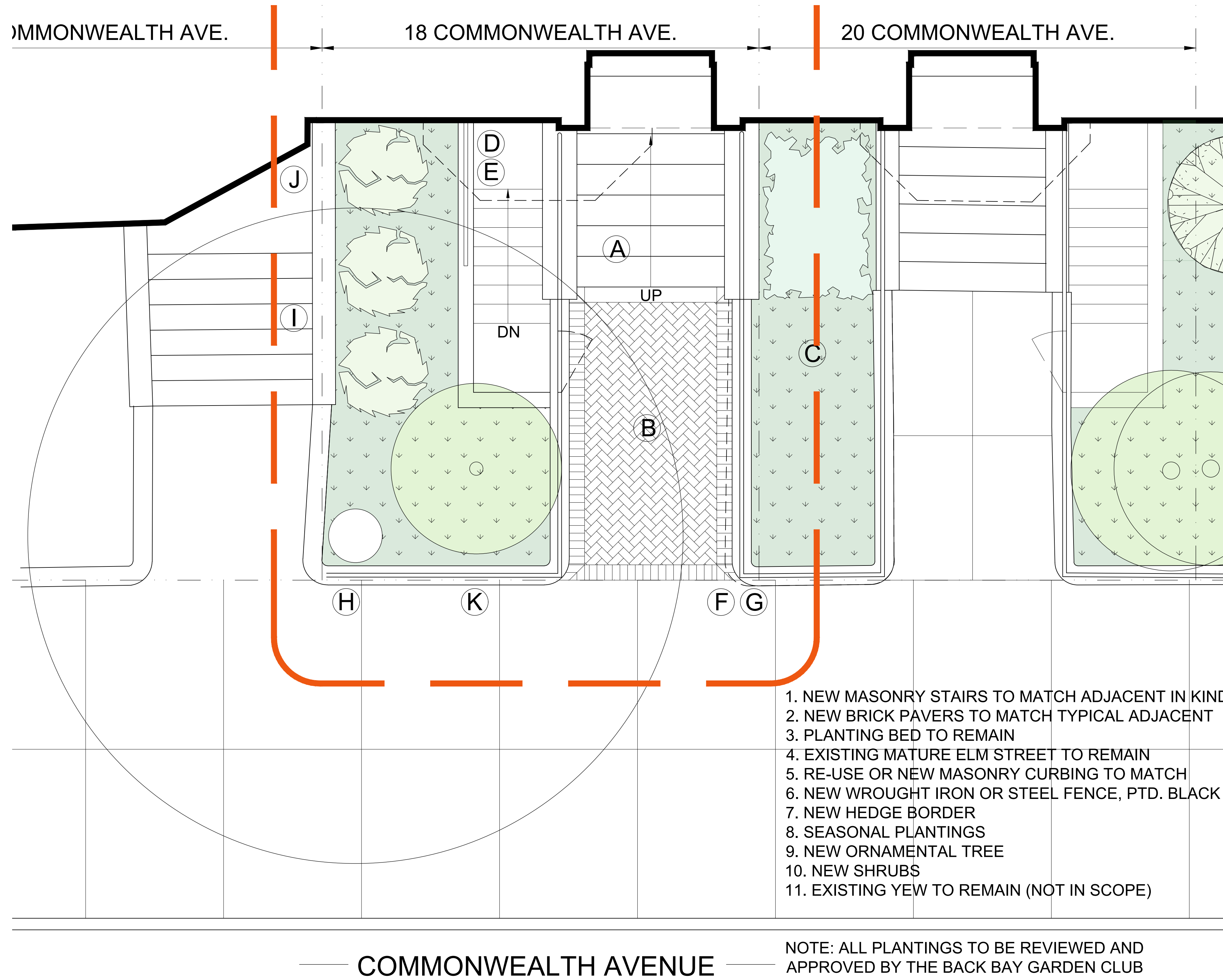
EXISTING FRONT ENTRANCE & GARDEN



20 COMMONWEALTH FRONT ENTRANCE & GARDEN



TYPICAL FRONT GARDEN, FENCING & PAVING



1 PROPOSED FRONT GARDEN PLAN
3/8" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

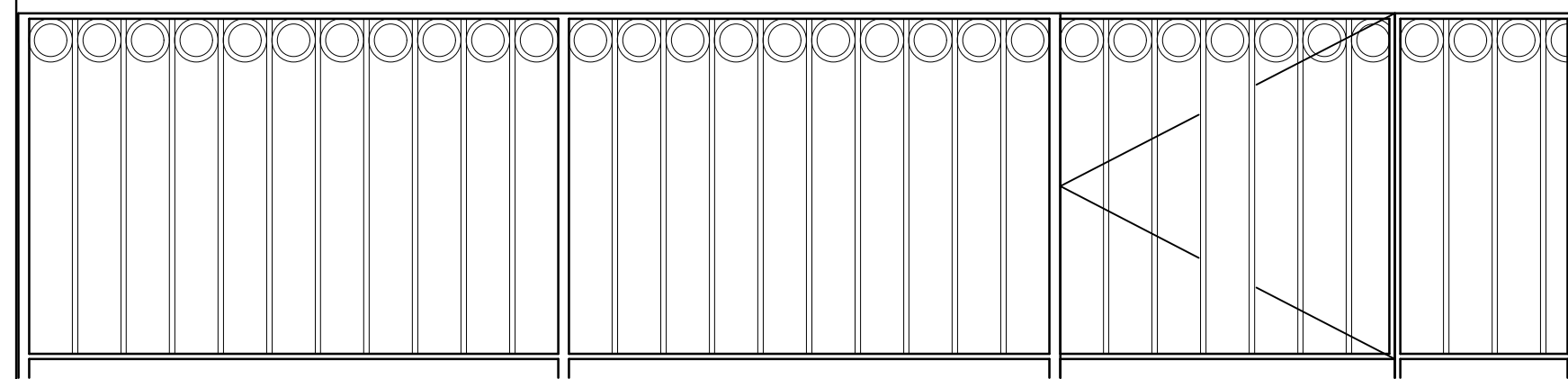
Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

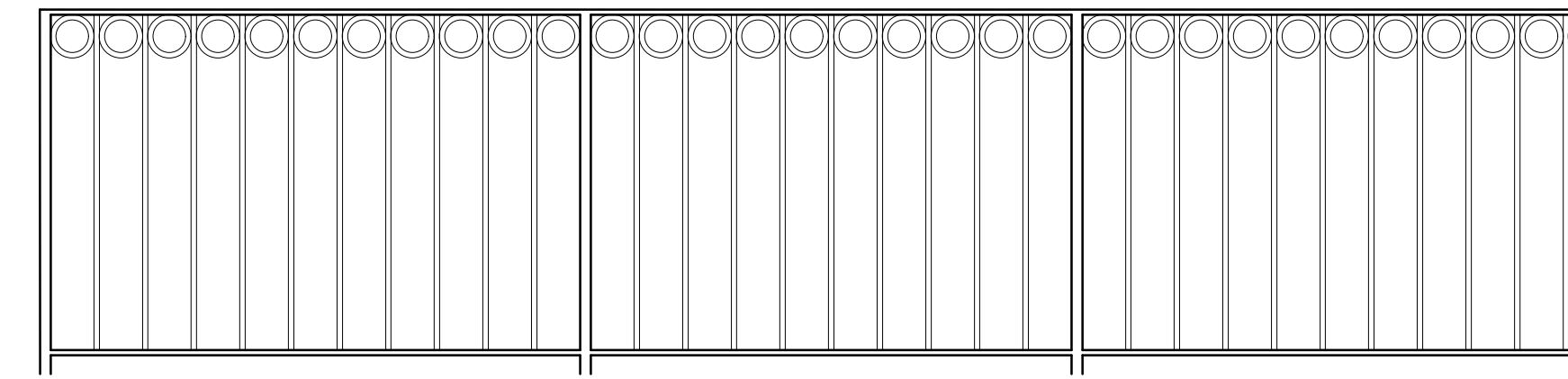
Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED FRONT LANDSCAPE PLAN

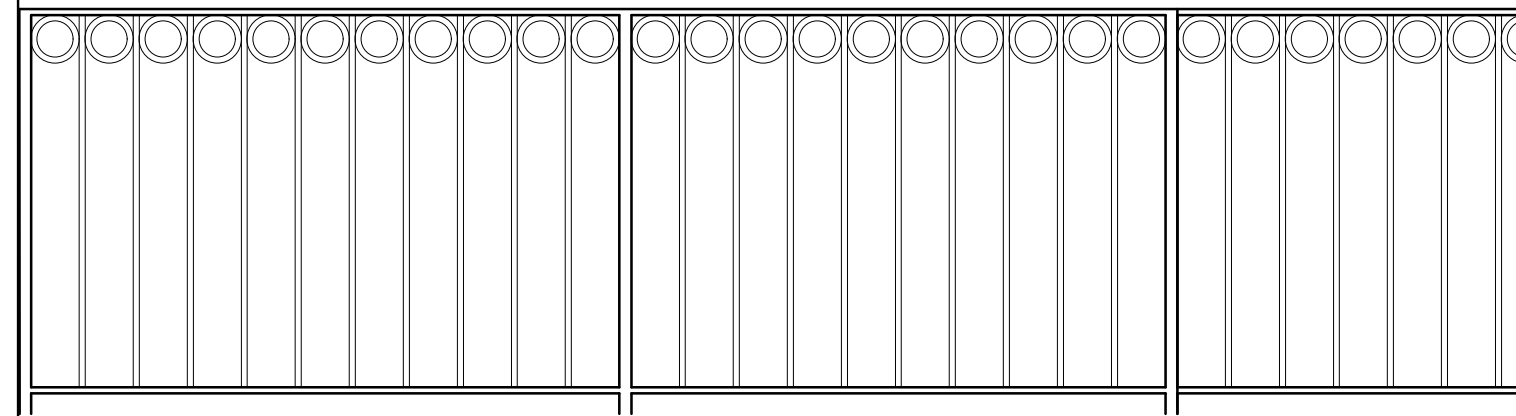
Sheet No.
L-1



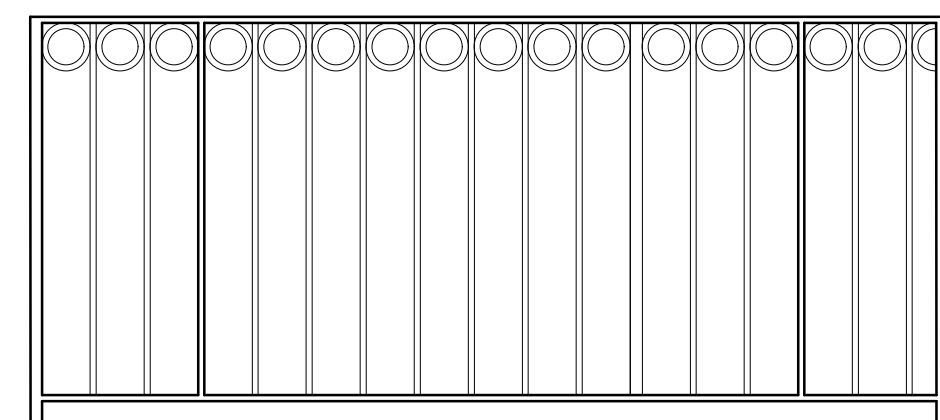
3 PROPOSED GARDEN RAILING (ENTRY LEFT)
3/4" = 1'-0"



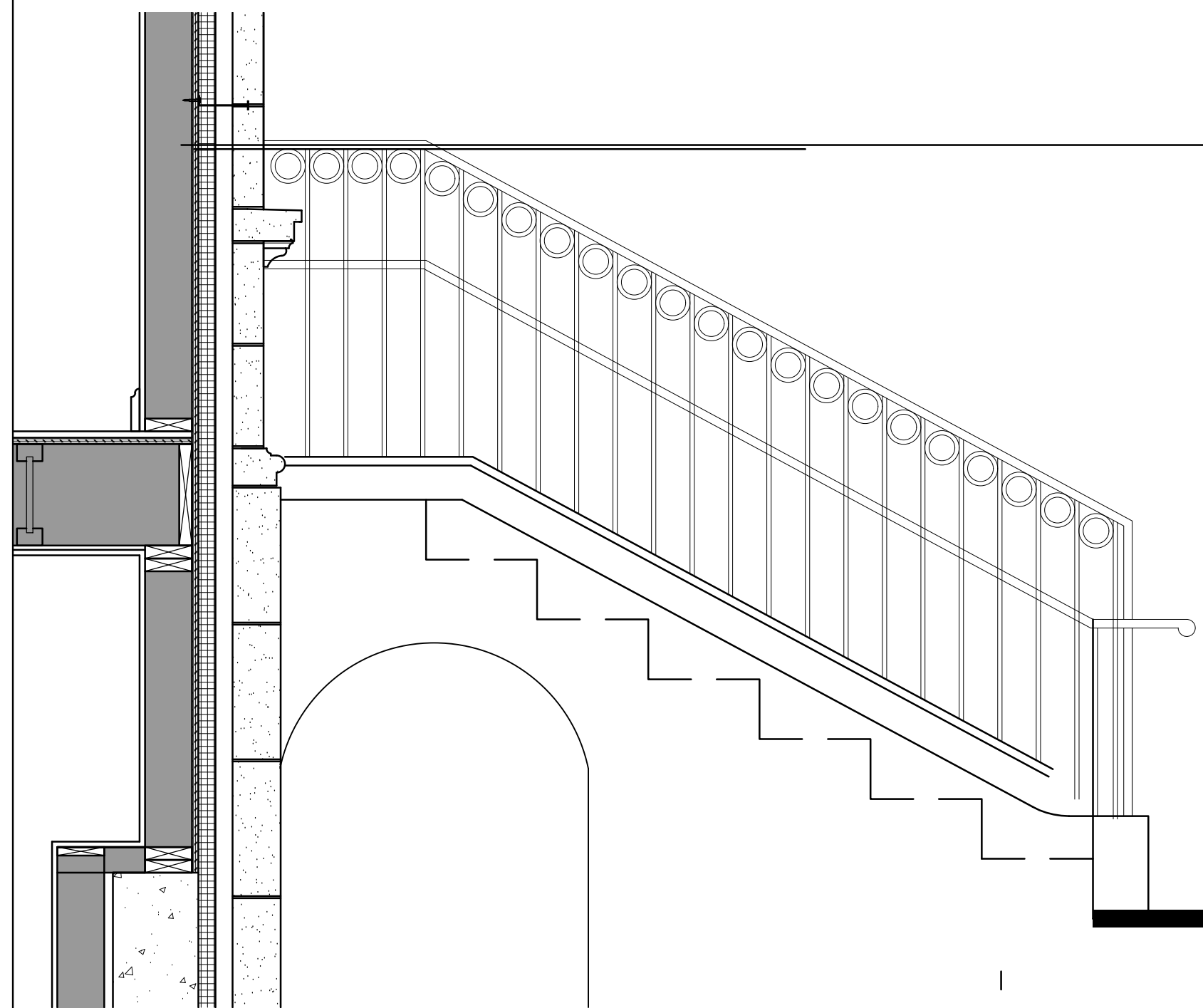
2 PROPOSED GARDEN RAILING (ENTRY RIGHT)
3/4" = 1'-0"



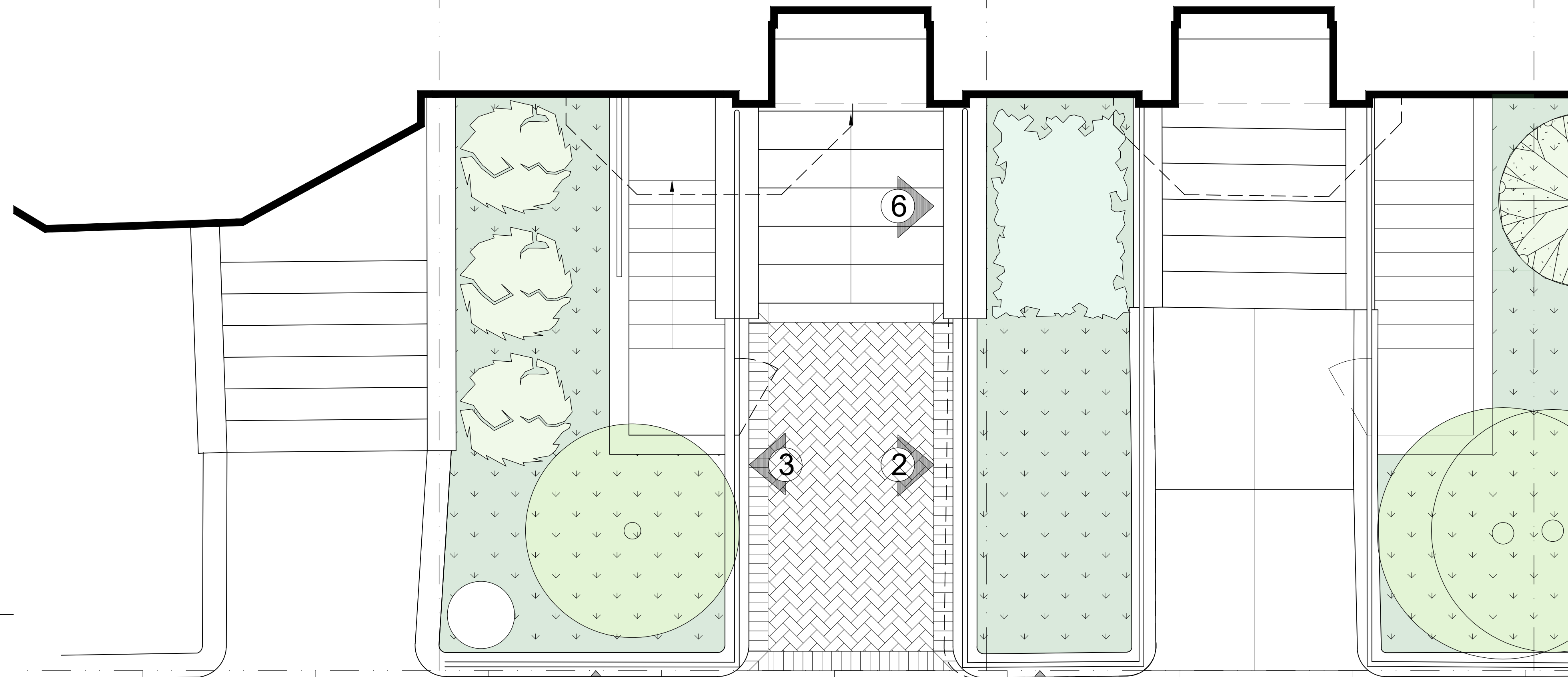
4 PROPOSED GARDEN RAILING (STREET LEFT)
3/4" = 1'-0"



5 PROPOSED GARDEN RAILING (STREET RIGHT)
3/4" = 1'-0"



6 PROPOSED GARDEN RAILING (ENTRY STAIR)
3/4" = 1'-0"



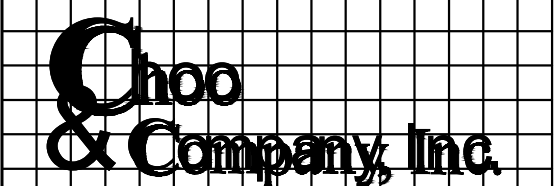
1. NEW MASONRY STAIRS TO MATCH ADJACENT IN KIND
2. NEW BRICK PAVERS TO MATCH TYPICAL ADJACENT
3. PLANTING BED TO REMAIN
4. EXISTING MATURE ELM STREET TO REMAIN
5. RE-USE OR NEW MASONRY CURBING TO MATCH
6. NEW WROUGHT IRON OR STEEL FENCE, PTD. BLACK
7. NEW HEDGE BORDER
8. SEASONAL PLANTINGS
9. NEW ORNAMENTAL TREE
10. NEW SHRUBS
11. EXISTING YEWE TO REMAIN (NOT IN SCOPE)

NOTE: ALL PLANTINGS TO BE REVIEWED AND APPROVED BY THE BACK BAY GARDEN CLUB

1 PROPOSED FRONT GARDEN PLAN
3/8" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

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Drawn By: DF

Drawing Name
PROPOSED METAL FENCING & GAURDAILING

Sheet No.
L-2

GENERAL NOTES:

**CONTRACTOR RESPONSIBILITY-
CONTRACTOR IS SOLELY RESPONSIBLE FOR:**

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

REQUEST FOR INFORMATION -

ONLY RFIS SENT THROUGH BY THE OWNER AND AWARDED CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFIS THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDED CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFIS AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE, NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:
 - FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT

- FLOORS

- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT

WITH SNOW DRIFT

WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217

S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

FOUNDATION NOTES:

- THE FOUNDATION HAS BEEN DESIGNED FOR 4000 PSF ALLOWABLE SOIL BEARING CAPACITY.
- ALL BACKFILL UNDER STRUCTURAL SLABS, MATS, AND FOOTINGS WILL BE ENGINEERED BACKFILL COMPACTED IN SPECIFIC LIFTS TO 95 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- ALL EMBANKMENTS AND BACKFILL COMPACTED IN SPECIFIED LIFTS TO 90 PERCENT OF MAXIMUM DRY DENSITY, UNLESS OTHERWISE INDICATED OR SPECIFIED.
- PROVIDE SHEETING, BRACING, AND UNDERPINNING AS REQUIRED TO PRESERVE ADJACENT STRUCTURES.
- FOUNDATIONS SHALL NOT BE POURED IN WATER OR ON FROZEN GROUND.
- VERIFY LOCATIONS AND REQUIREMENTS FOR INSERTS, SLEEVES, CONDUITS, EMBEDMENT AND PENETRATIONS WITH RESPECTIVE TRADES BEFORE PLACING CONCRETE.
- DOWELS FROM FOUNDATIONS INTO PIERS, COLUMNS, BUTTRESSES OR WALLS SHALL BE THE SAME SIZE AND NUMBER AS REINFORCEMENT IN PIERS, COLUMNS, BUTTRESSES OR WALLS ABOVE, EXCEPT AS OTHERWISE SHOWN.
- CONTRACTOR SHALL PROVIDE CONTINUOUS DRAINAGE BY MECHANICAL METHODS TO CONTROL SURFACE AND UNDERGROUND WATER, AS REQUIRED DURING CONSTRUCTION.
- CONTRACTOR SHALL ENSURE THAT GROUND WATER LEVELS UNDER ADJACENT STRUCTURES AND PROPERTIES ARE NOT ALTERED.
- ALL FOUNDATION UNITS (PIERS) SHALL BE CENTERED SUPPORT MEMBERS, UNLESS OTHERWISE NOTED ON PLANS.
- COORDINATE UNDER FLOOR AND PERIMETER DRAIN REQUIREMENTS WITH ARCHITECTURAL, CIVIL AND PLUMBING DRAWINGS AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- ALL BEARING MATERIALS SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL DETERMINE THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINAL FINISHED GRADE FOR FROST PROTECTION.
- FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR & SLAB AT TOP AND BOTTOM ARE IN PLACE.
- WHERE FOUNDATION WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.
- SEE THE REQUIREMENTS OF THE SPECIFICATIONS FOR BACKFILLING UNDER OR ADJACENT TO ANY PORTION OF THE BUILDING.
- PROTECT IN-PLACE FOUNDATIONS, SLABS AND ADJACENT STRUCTURES, NEW CONSTRUCTION, STREET UTILITIES FROM FROST PENETRATION OR DAMAGE FROM CONSTRUCTION ACTIVITIES UNTIL THE PROJECT IS COMPLETED.
- SLAB ON GRADE SHALL BEAR DIRECTLY ON A MIN. 12" THICK LAYER OF COMPACTED STRUCTURAL FILL, OR MIN. 6" THICK LAYER OF CRUSHED STONE, PLACED ABOVE PROOFROLLED AND COMPACTED EXISTING FILL, OR ABOVE UNDISTURBED NATURAL TILL. SHOULD BEDROCK BE ENCOUNATED AT OR WITHIN 12" OF BOTTOM OF SLAB, BEDROCK SHALL BE OVER EXCAVATED A MIN. OF 12" BELOW BOTTOM OF SLAB.
- WHERE BEDROCK IS ENCOUNATED AT OR WITHIN 12" OF DESIGN FOOTING GRADE, IT SHOULD BE OVER EXCAVATED A MIN. OF 12" BELOW THE BOTTOM OF PROPOSED FOOTING. BEDROCK EXCAVATIONS SHOULD EXTEND A MIN. OF 12" BEYOND FOOTING EDGE. LOOSE ROCK PIECES SHOULD BE REMOVED WITHIN THE FOOTING BEARING ZONE, AND OPEN BEDROCK JOINTS SHOULD BE CHOKED WITH CRUSHED STONE OR FILLED WITH CONCRETE PRIOR TO PLACING THE SOIL CUSHION.

CONCRETE NOTES:

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:
 - 3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

REINFORCING NOTES:

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:

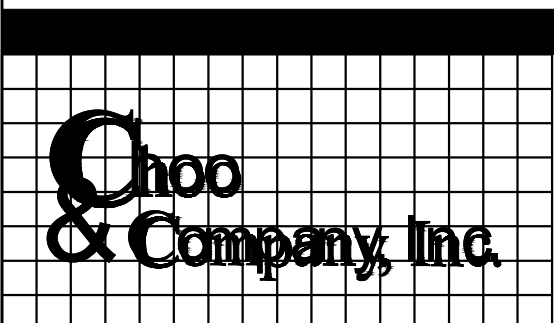
A. FOOTINGS	3 INCHES
B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE	2 INCHES
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER	1-1/2 INCHES
D. TOP STEEL OF INTERIOR SLABS	1 INCHES
- MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

REMOVALS NOTES:

- DEMOLITION CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING UTILITIES. CONTRACTOR SHALL ARRANGE ALL TEMPORARY POWER.
- ALL DEMOLISHED MECHANICAL AND ELECTRICAL ITEMS SHALL BE REMOVED INCLUDING MAIN RUNS AND SERVICE LINES TO SOURCE. ALL SYSTEM LINES ARE NOT SHOWN ON CONSTRUCTION DOCUMENTS.
- VERIFY EXTENT OF ALL CONDITIONS OF DEMOLITION WITH FLOOR PLANS AND SCHEDULED CONSTRUCTION PRIOR TO DEMOLITION. DISCREPANCIES BETWEEN DESIGN CONDITIONS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT.
- ALL WALLS, SUBSTRUCTURAL FRAMES, PARTITIONS, EQUIPMENT, ETC. INDICATED BY DASHED LINES (---) SHALL BE REMOVED. ALL MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES WHICH ARE CONTAINED IN THE AREA TO BE REMOVED SHALL ALSO BE REMOVED OR REROUTED. CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH NEW CONSTRUCTION BEFORE STARTING DEMOLITION.
- ALL EXISTING UNUSED WALL PENETRATIONS IN INTERIOR AND EXTERIOR WALLS ALONG WITH PENETRATIONS LEFT AFTER SELECTIVE DEMOLITION ACTIVITIES SHALL BE INFILLED TO MATCH ADJACENT WALL FINISHES AND THICKNESS AS DIRECTED.
- MAINTAIN CLEAR EXIT PATHS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- STRUCTURAL ELEMENTS SHALL BE PROTECTED DURING DEMOLITION.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER.
- PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE BEFORE THIS WORK IS CONCLUDED.
- CONTRACTOR IS TO VERIFY UTILITY LINE LOCATIONS AND MAINTAIN THOSE THAT SERVE OTHER PARTS OF THE BUILDING THAT ARE NOT AFFECTED BY THE DEMOLITION.
- ALL WORK WILL BE PERFORMED IN THE BEST WORKMANSHIP POSSIBLE IN ACCORDANCE WITH THAT TRADE'S BEST INDUSTRY STANDARDS.

Location

**PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

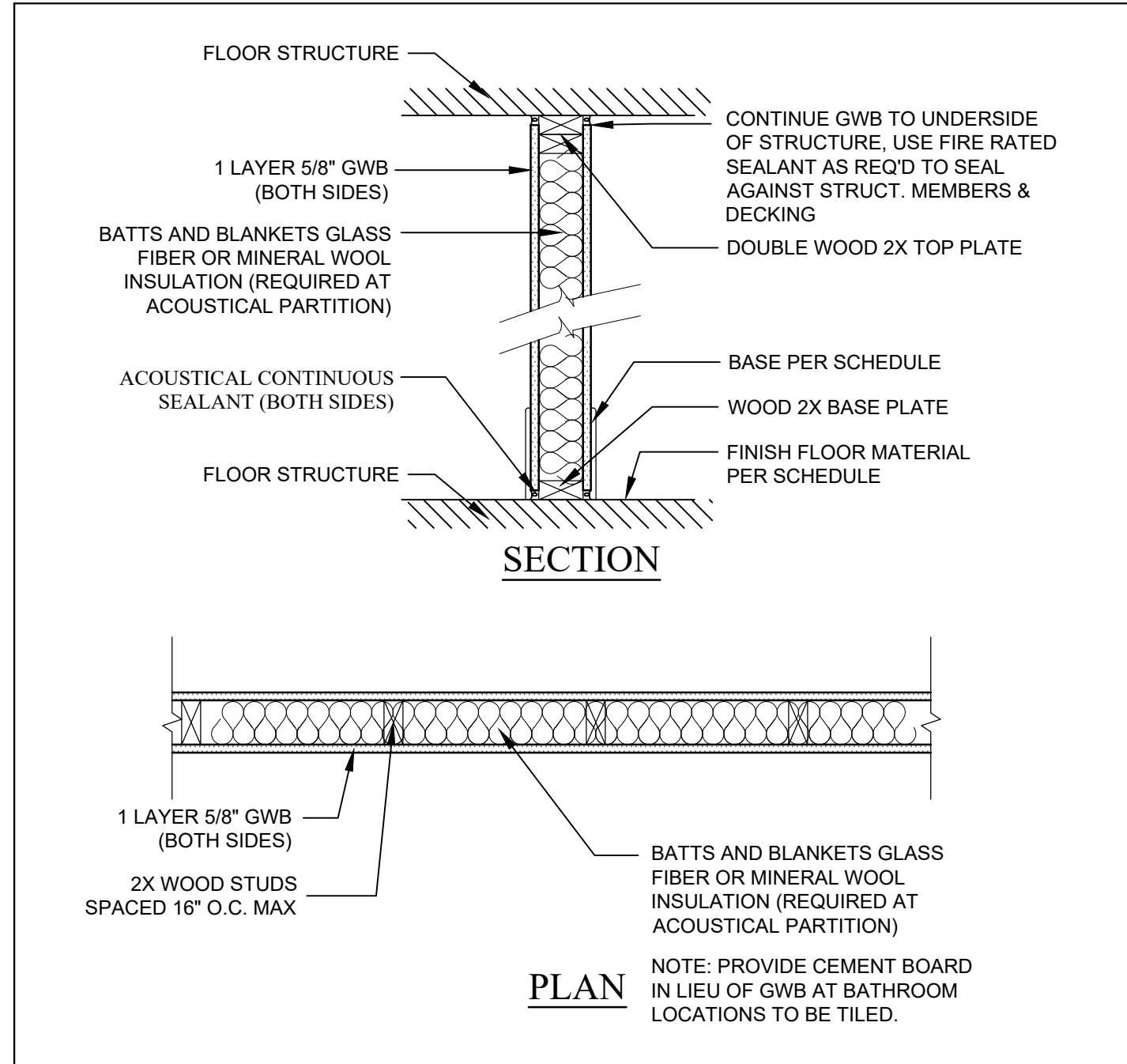
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Drawing Name
GENERAL NOTES

Sheet No.
A-0.1

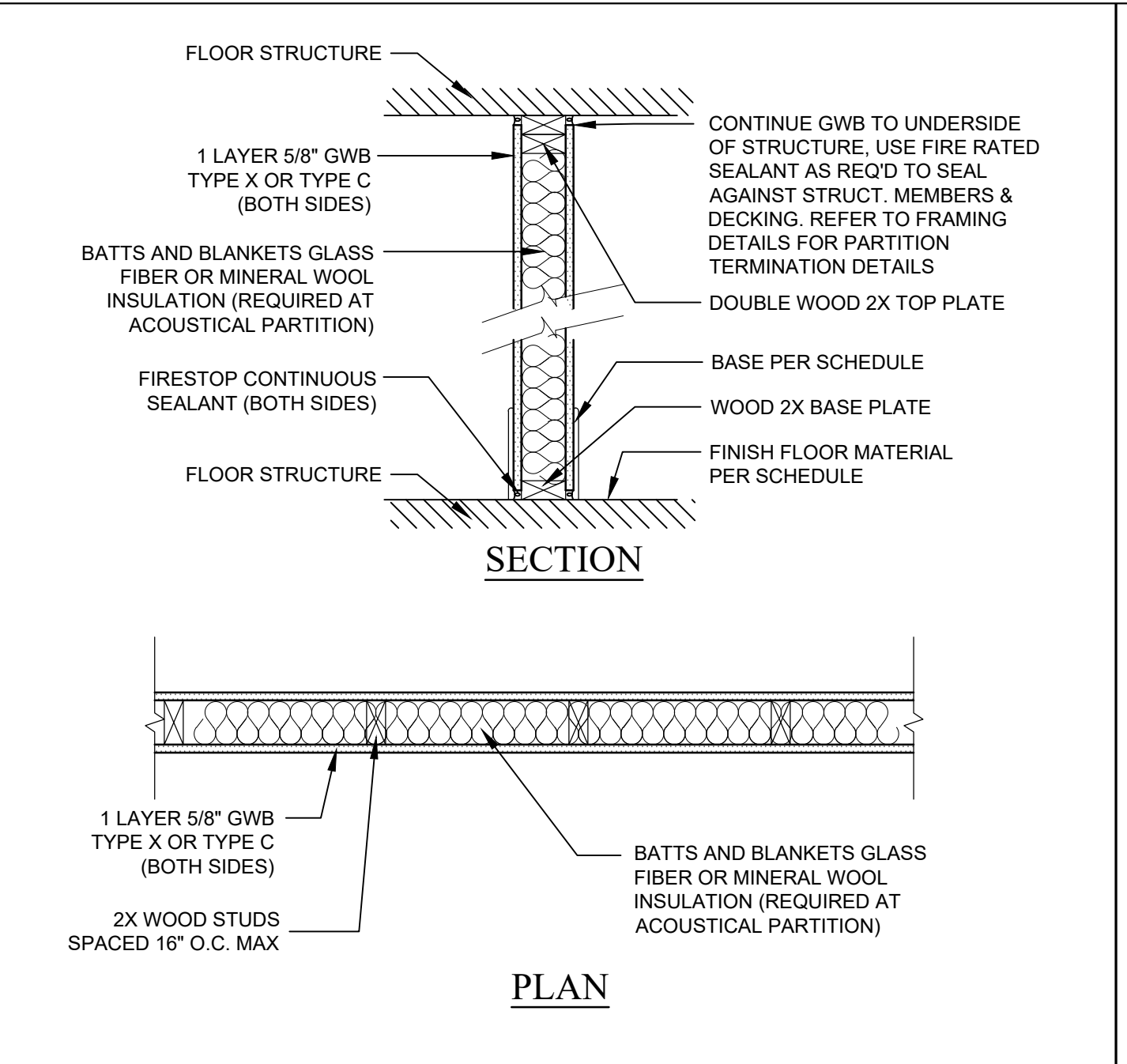
Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



0 HR INTERIOR NON LOAD BEARING N/A

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

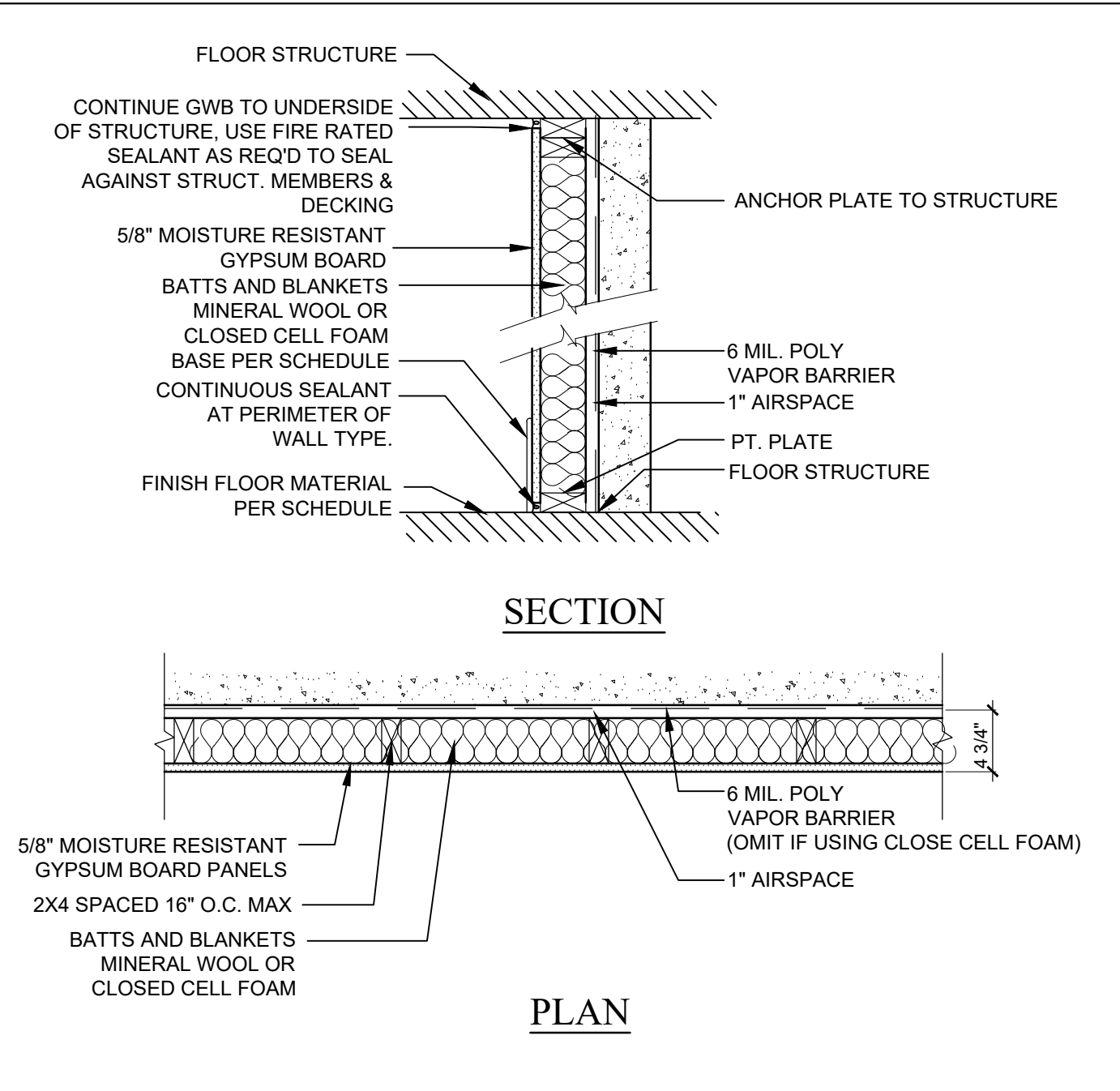
- 0 2X4 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)
- 0A 2X6 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL)



1 HR INTERIOR LOAD BEARING UL #: U305

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

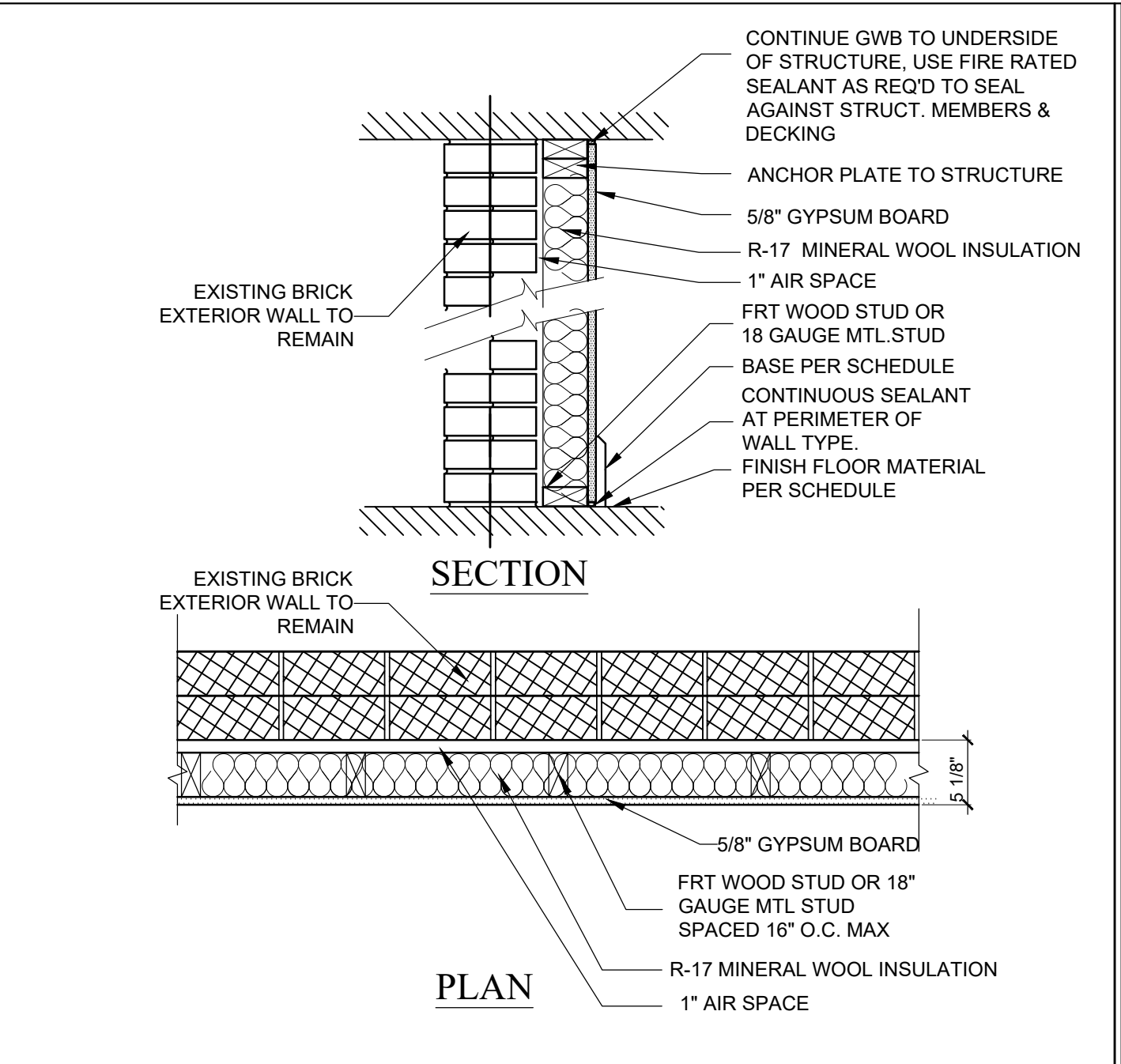
- 1 2X4 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL) 1HR. FIRE RATED (STC 36)
- 1A 2X6 WOOD STUDS W/ SOUND BATTS (UNIT INTERIOR WALL) 1HR. FIRE RATED (STC 38)



0 HR INTERIOR LOAD BEARING/ NON LOAD BEARING

USED AT BASEMENT EXTERIOR FOUNDATION WALL
 SEE STRUCTURAL DRAWINGS FOR ALL STUD SIZE /SPACING

- 2 2X4 WOOD STUDS W/ SOUND BATTS (FURRED WALL)
- 2A 2X6 WOOD STUDS W/ SOUND BATTS (FURRED WALL)

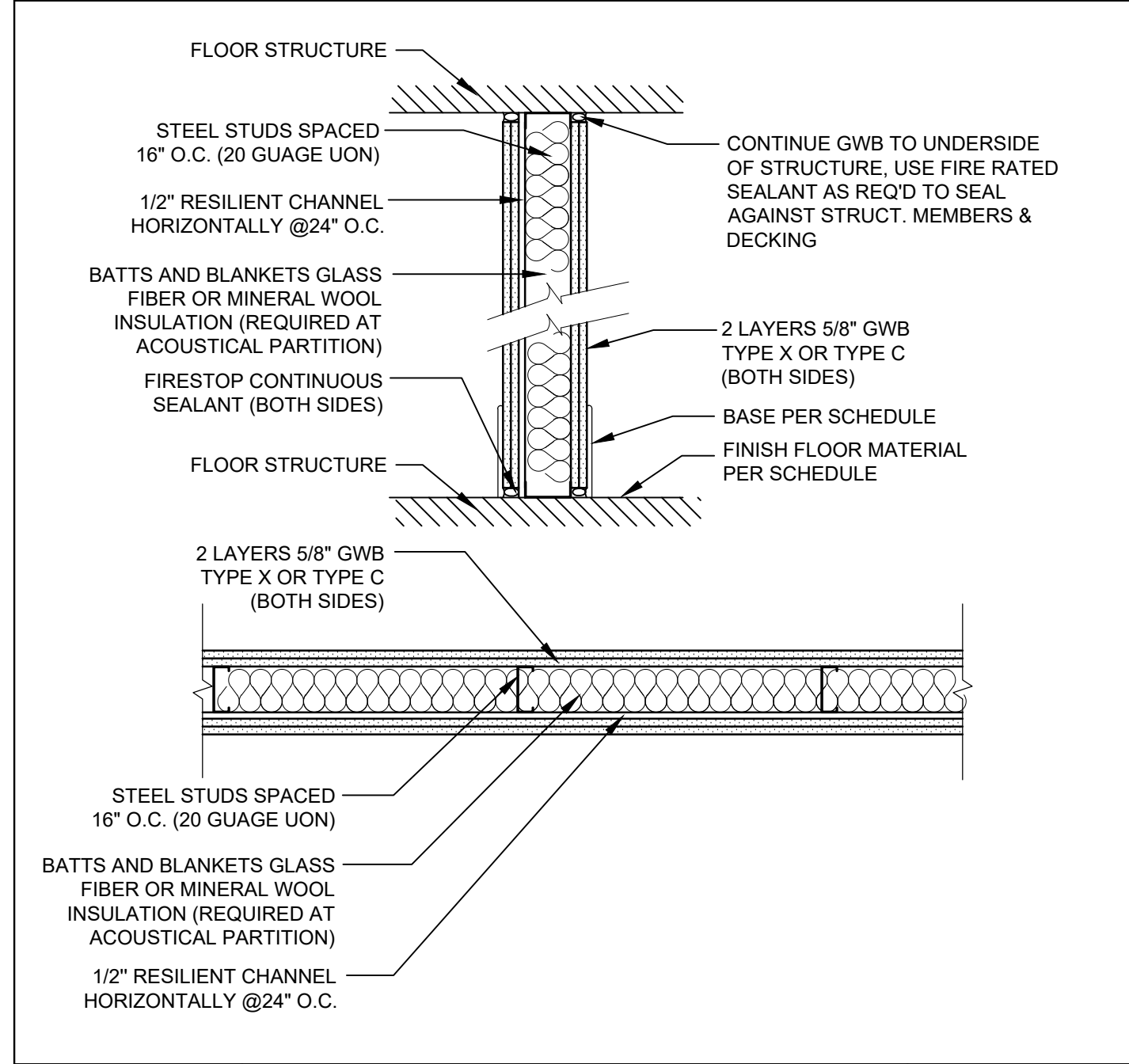


0 HR INTERIOR LOAD BEARING/ NON LOAD BEARING

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

- 3 2X4 WOOD STUDS (UNIT INTERIOR WALL)

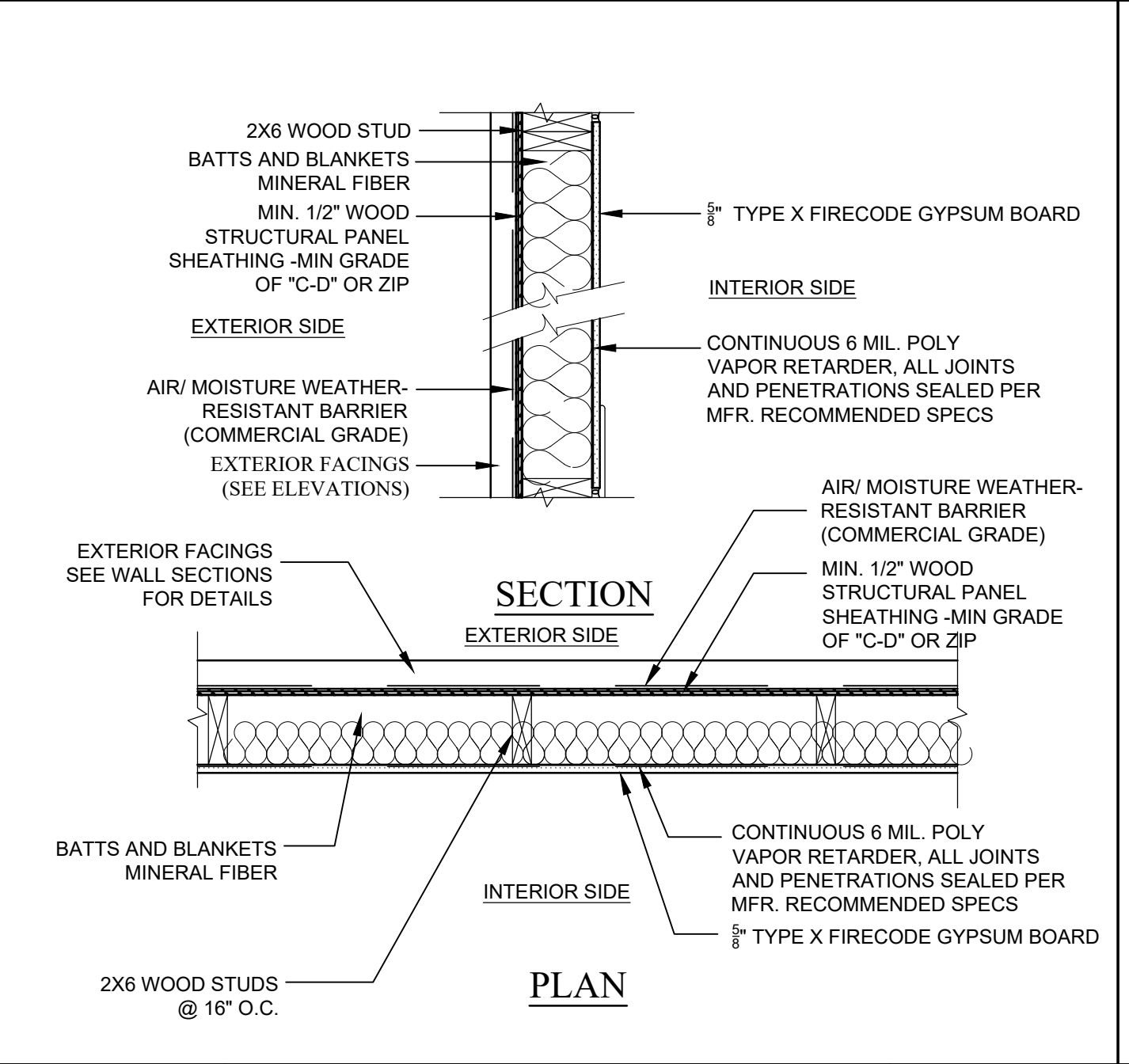
Choo & Company, Inc.
 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715



2 HR INTERIOR LOAD BEARING/ NON LOAD BEARING UL #: U411

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

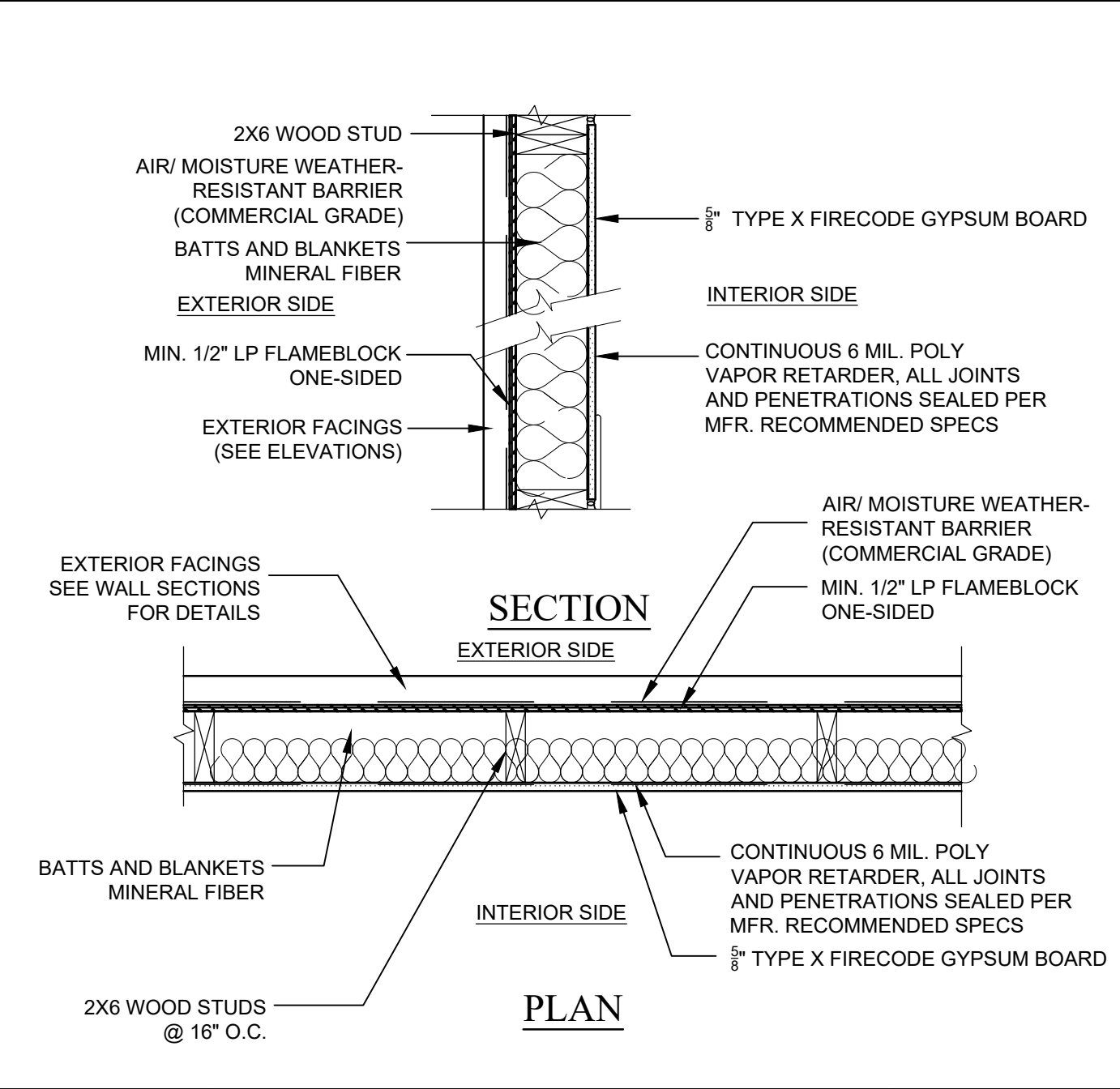
- 4 6" METAL STUDS W/ SOUND BATTS (ELEVATOR SHAFT WALL) 2HR. FIRE RATED (STC 60)



1 HR EXTERIOR LOAD BEARING/ NON LOAD BEARING UL #: U356

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

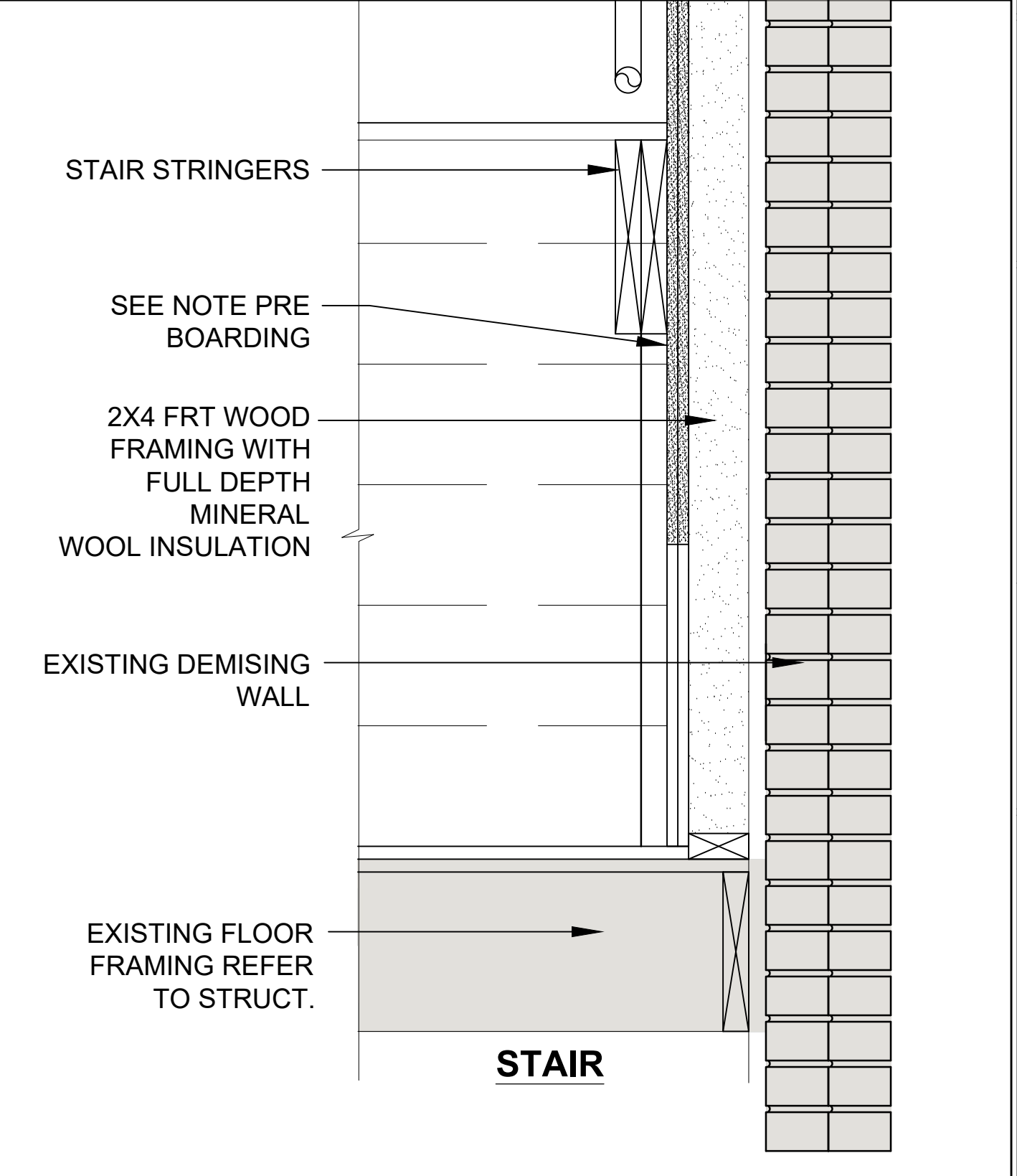
- E EXTERIOR NON BEARING WALL 1 HR. FIRE RATED FROM INTERIOR SIDE ONLY (FSD > 10'-0") UL DES. U356



1 HR EXTERIOR LOAD BEARING/ NON LOAD BEARING UL #: V340

SEE STRUCTURAL DRAWINGS FOR ALL SHEATHING AND STUD SIZES/SPACING

- E-1 EXTERIOR NON BEARING WALL 1 HR. FIRE RATED FROM BOTH SIDES (FSD < 10'-0") UL DES. V340

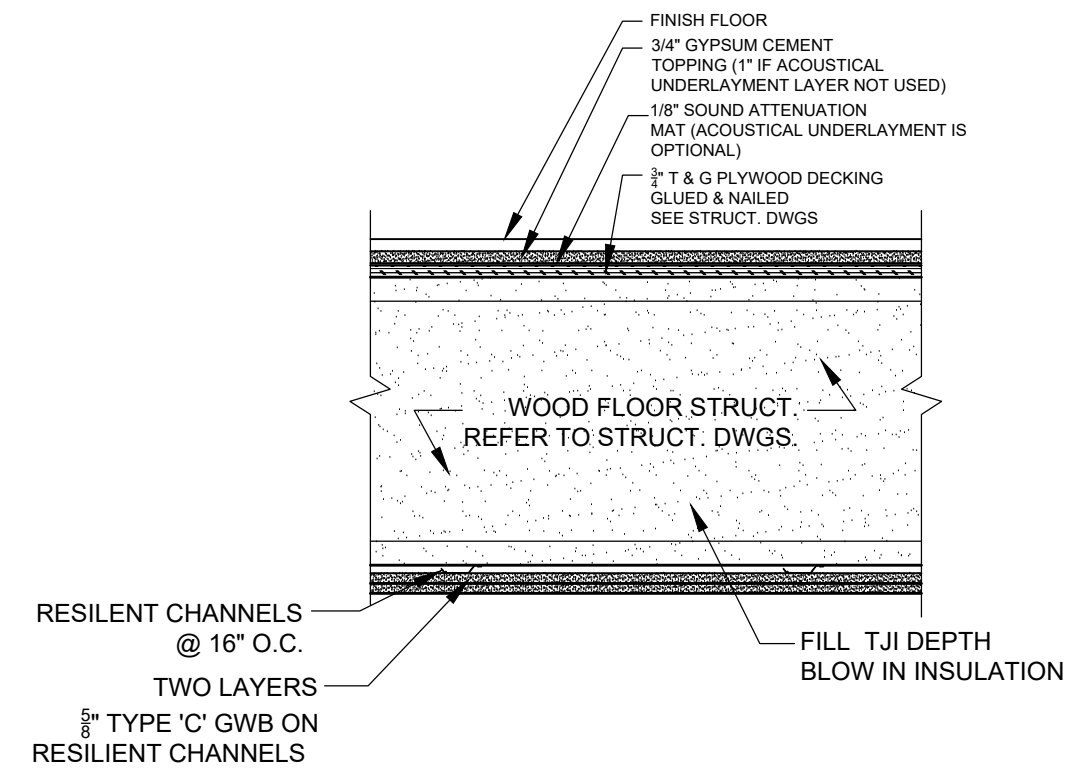


No.	Revision Date

Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
PARTITION & WALL TYPES

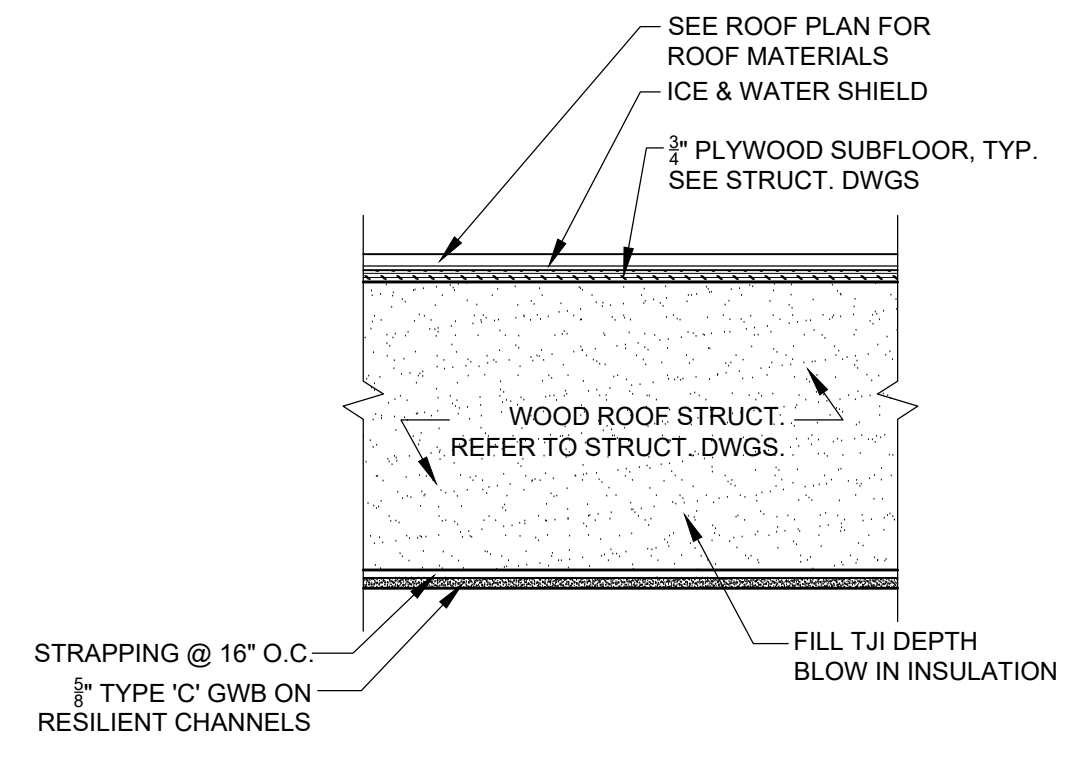
Sheet No.
A-0.2



RESILIENT CHANNELS @ 16" O.C. TWO LAYERS TYPE 'C' GWB ON RESILIENT CHANNELS

NOTES:

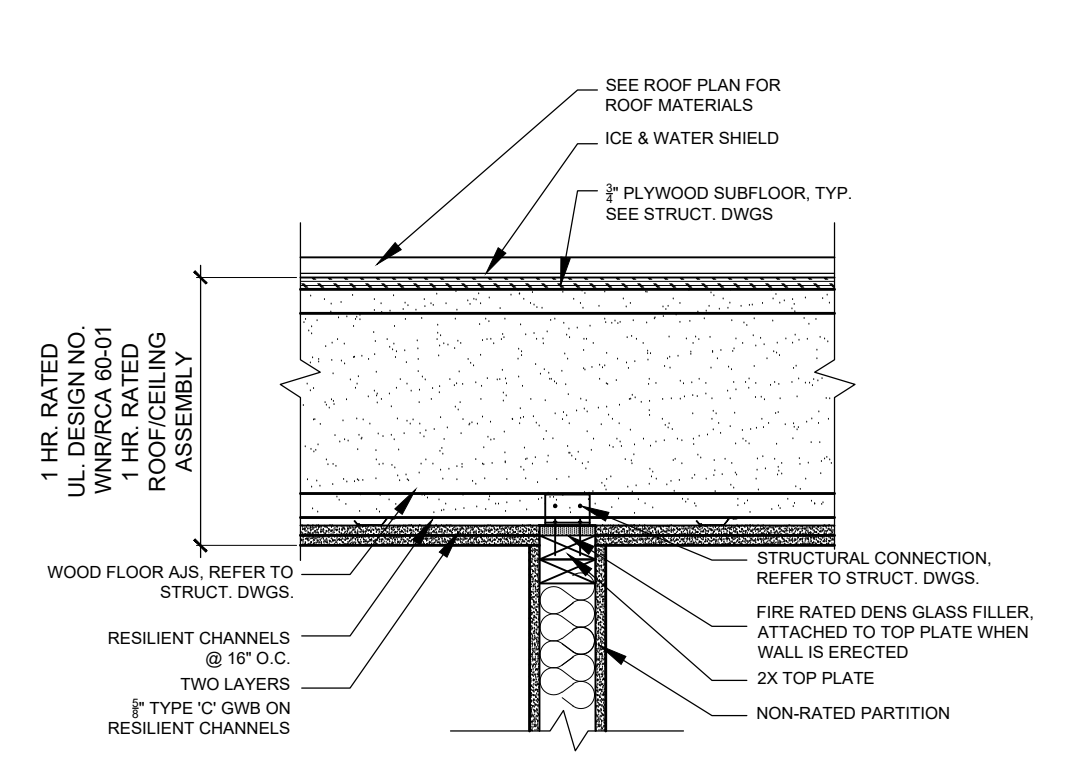
- ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.



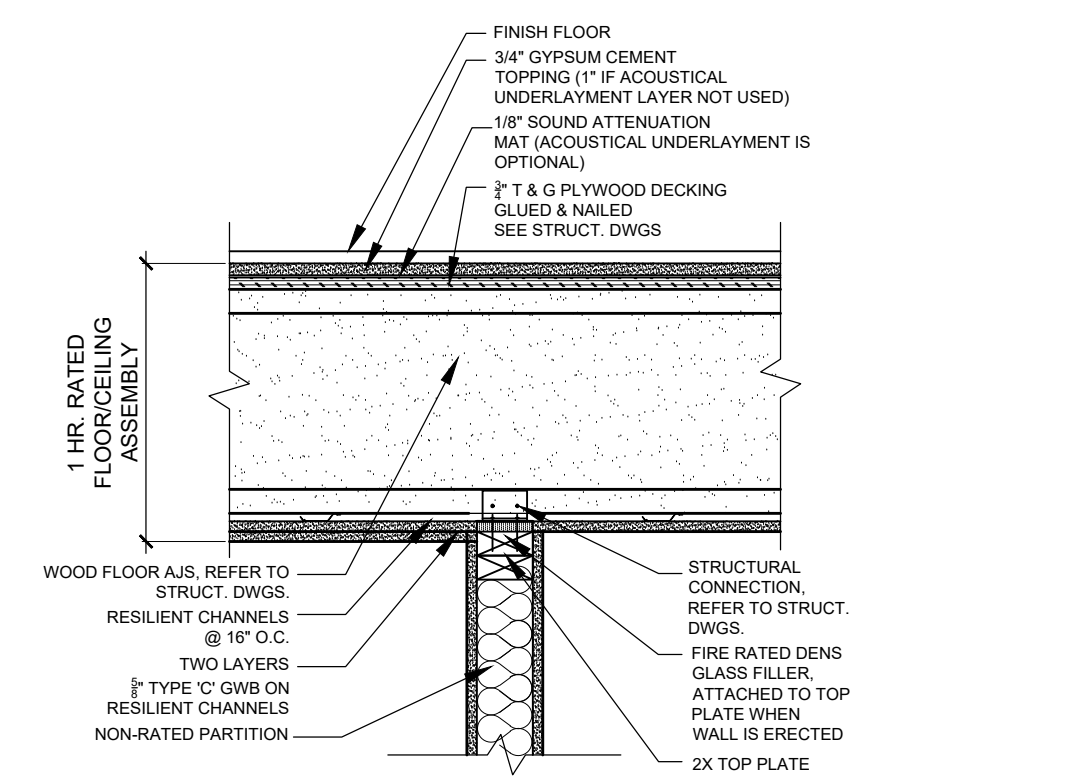
STRAPPING @ 16" O.C. TYPE 'C' GWB ON RESILIENT CHANNELS

NOTES:

- ALL PENETRATIONS TO BE SEALED WITH FIRE STOP SYSTEM SEALANTS, TAPES AND COMPONENTS AS REQUIRED TO MAINTAIN HOURLY RATING. PROVIDE USG FIRE STOP SYSTEM OR EQUAL.



2 NON-RATED WALL DETAIL @ ROOF
SCALE: 1 1/2"=1'-0"



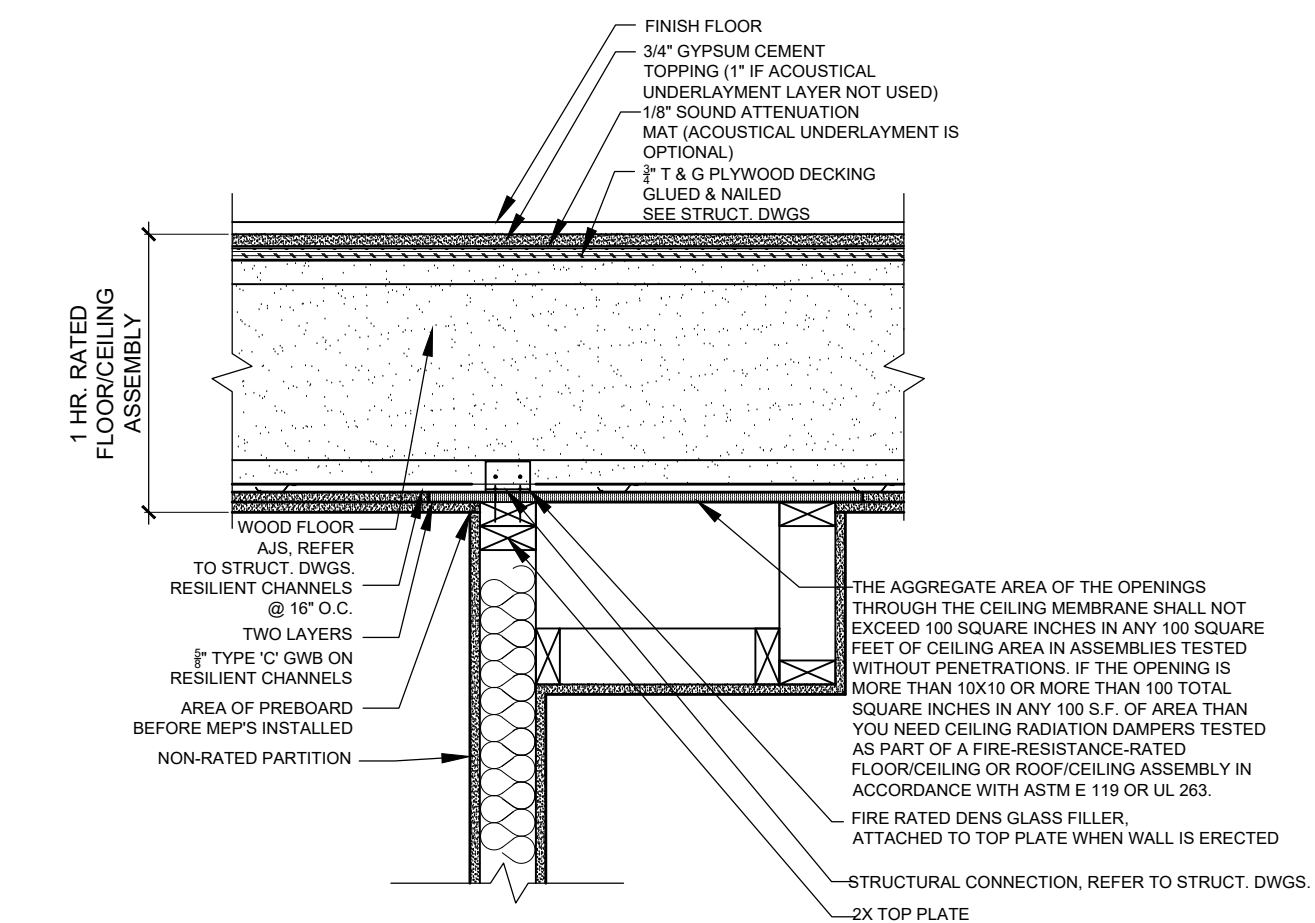
4 NON-RATED WALL DETAIL
SCALE: 1 1/2"=1'-0"

1 HR	TYPICAL TJI FLOOR/CEILING ASSEMBLY	UL L570
SEE STRUCTURAL DRAWINGS FOR DESIGN DETAILS		

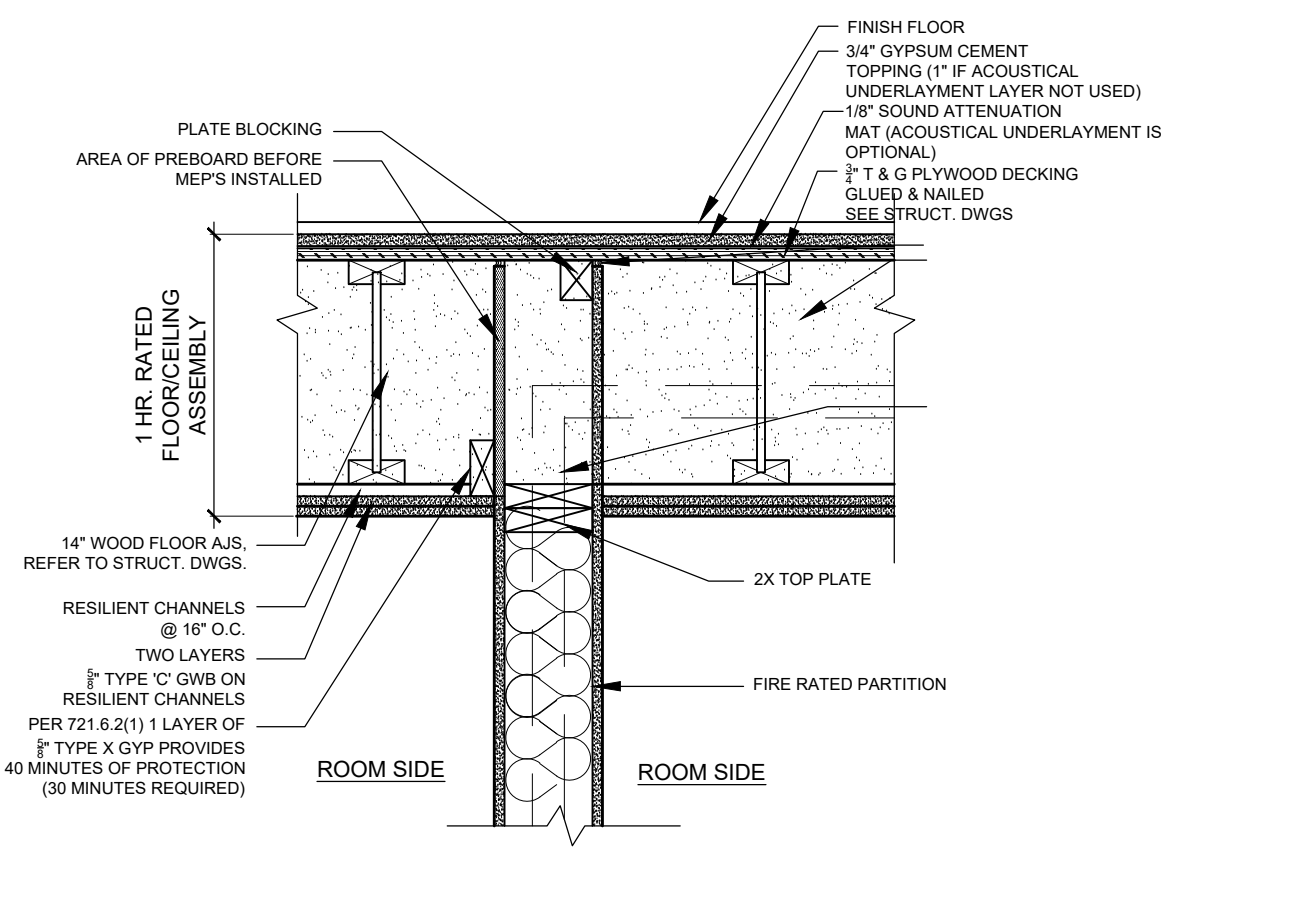
1 HR	ROOF/CEILING ASSEMBLY	
SEE STRUCTURAL DRAWINGS FOR DESIGN DETAILS		

1 WOOD TRUSS FLOOR/CEILING ASSEMBLY (UPPER FLOOR)
1HR. FIRE RATED - UL DES. L570 (STC 59)

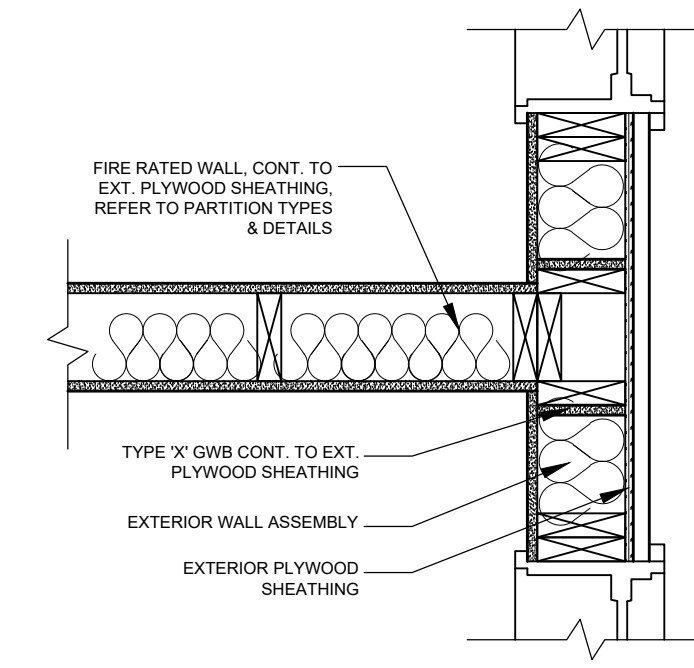
1R WOOD TRUSS ROOF/CEILING ASSEMBLY (ROOF ASSEMBLY)
1HR. FIRE RATED -



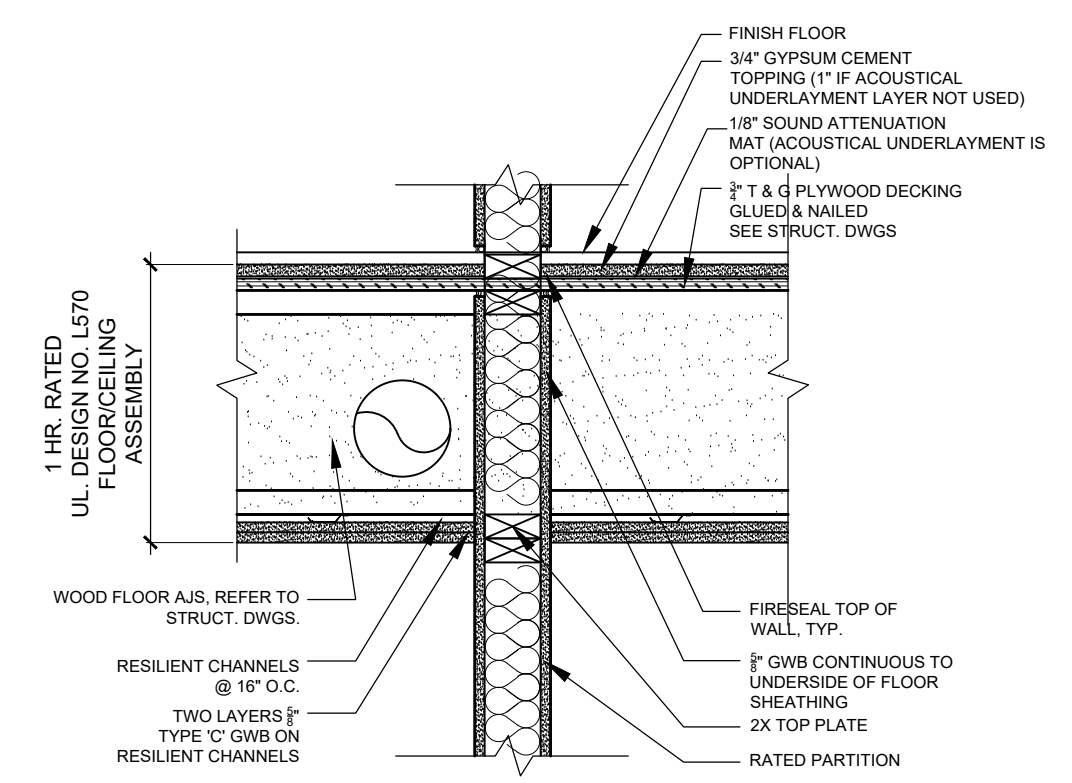
1 FIRE RATED CEILING NON-RATED WALL SOFFIT DETAIL
SCALE: 1 1/2"=1'-0"



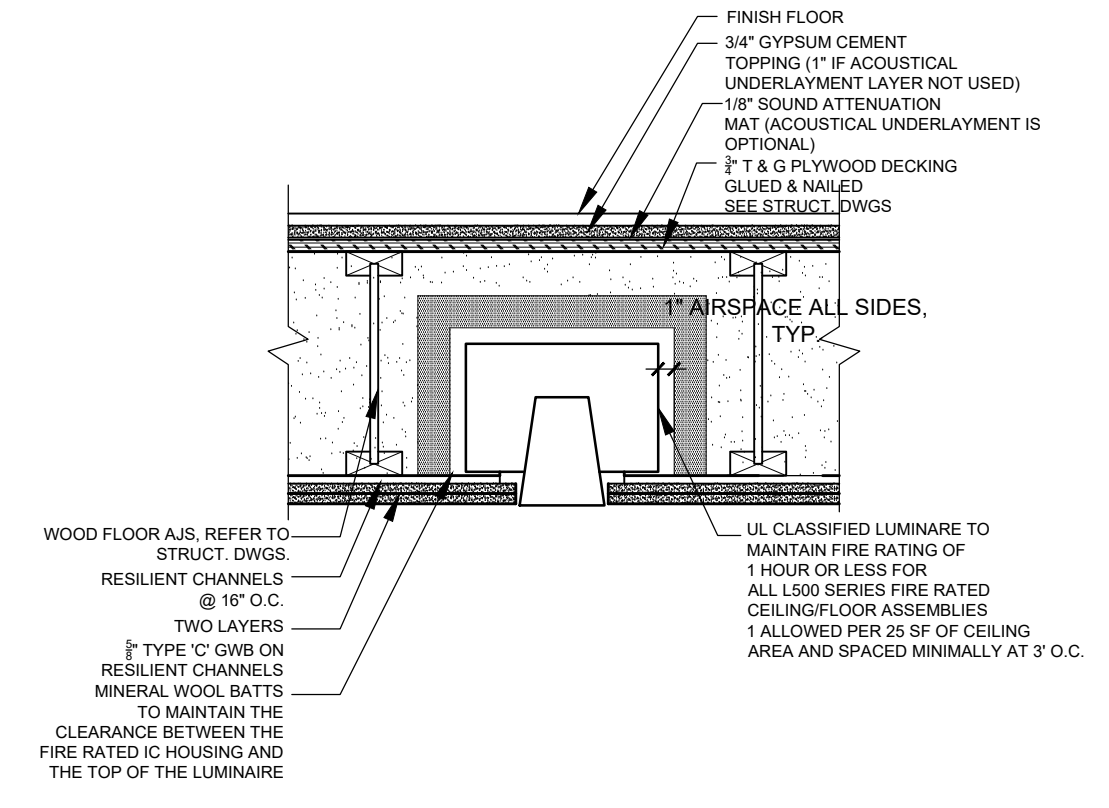
1 FIRE PARTITION WALL DEMISING WALL PARALLEL WITH FLOOR JOISTS PREBOARDING WITH INT 5/8" TYPE X GYP BOARD AFTER BUILDING WATER TIGHT NON-RATED WALL DETAIL
SCALE: 1 1/2"=1'-0"



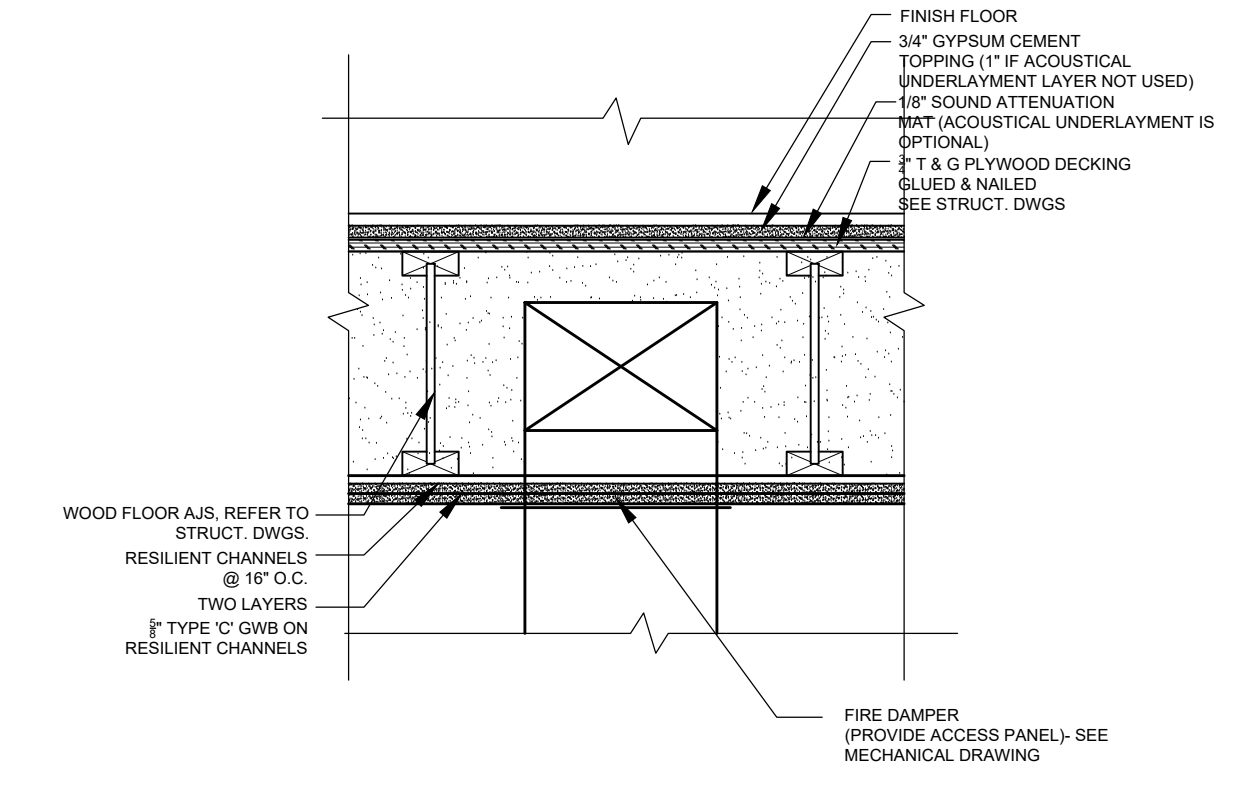
5 WALL INT. PLAN DETAIL
SCALE: 1 1/2"=1'-0"



3 RATED WALL DETAIL
SCALE: 1 1/2"=1'-0"



4 1 HOUR FIRE RATED CEILING RECESSED LIGHT FIXTURES RATED CEILING
SCALE: 1 1/2"=1'-0"



6 DUCT DETAIL
SCALE: 1 1/2"=1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

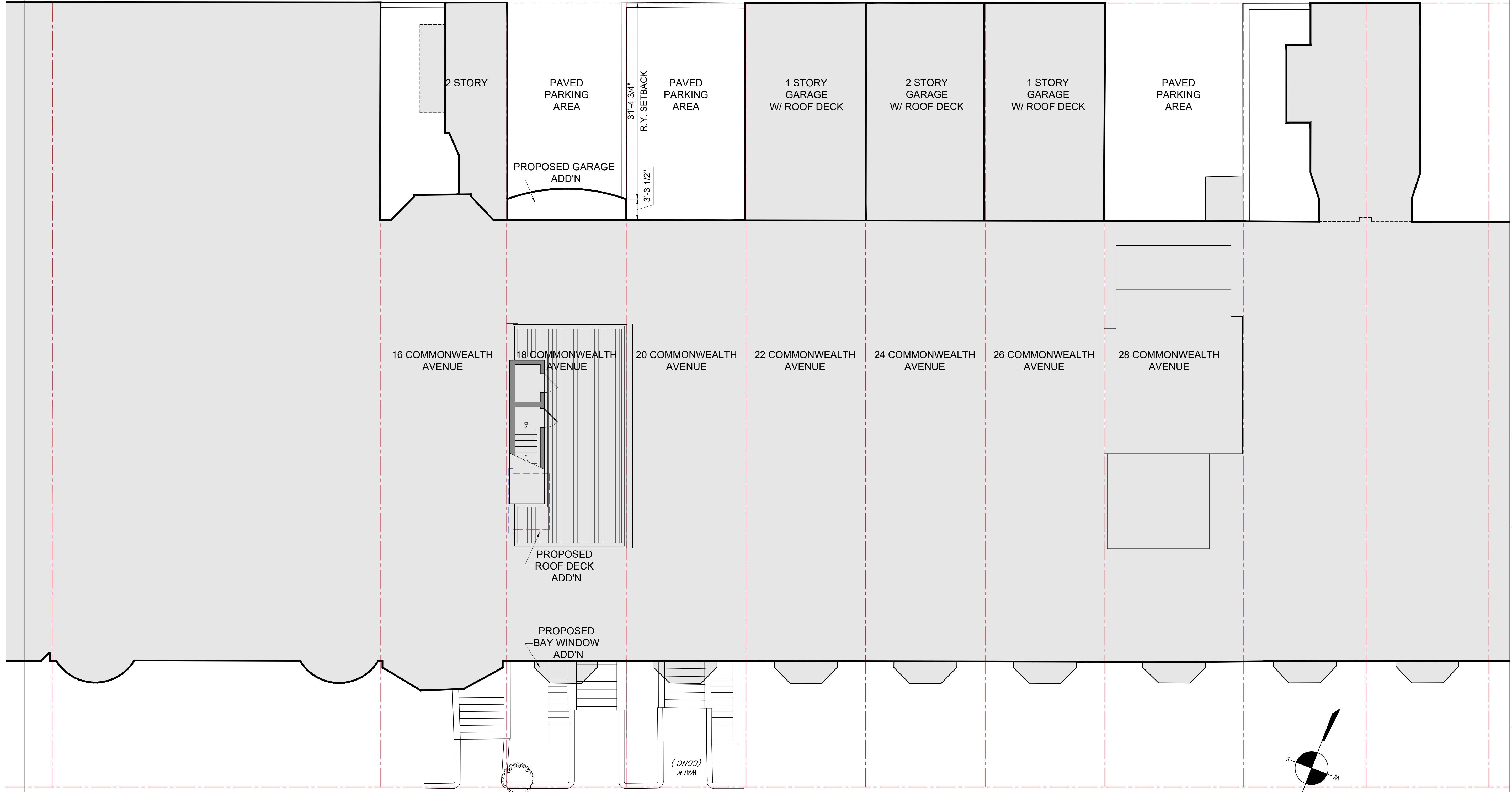
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One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
HORIZONTAL ASSEMBLIES

Sheet No.
A-0.3



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.
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No.	Revision Date

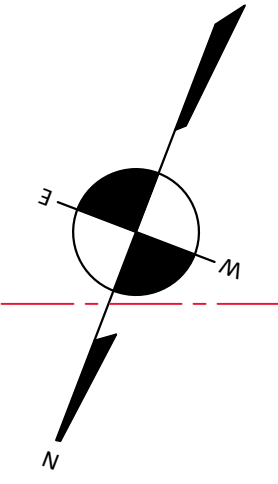
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
PROPOSED ARCHITECTURAL SITE PLAN

Sheet No.
A-0.5

COMMONWEALTH AVENUE

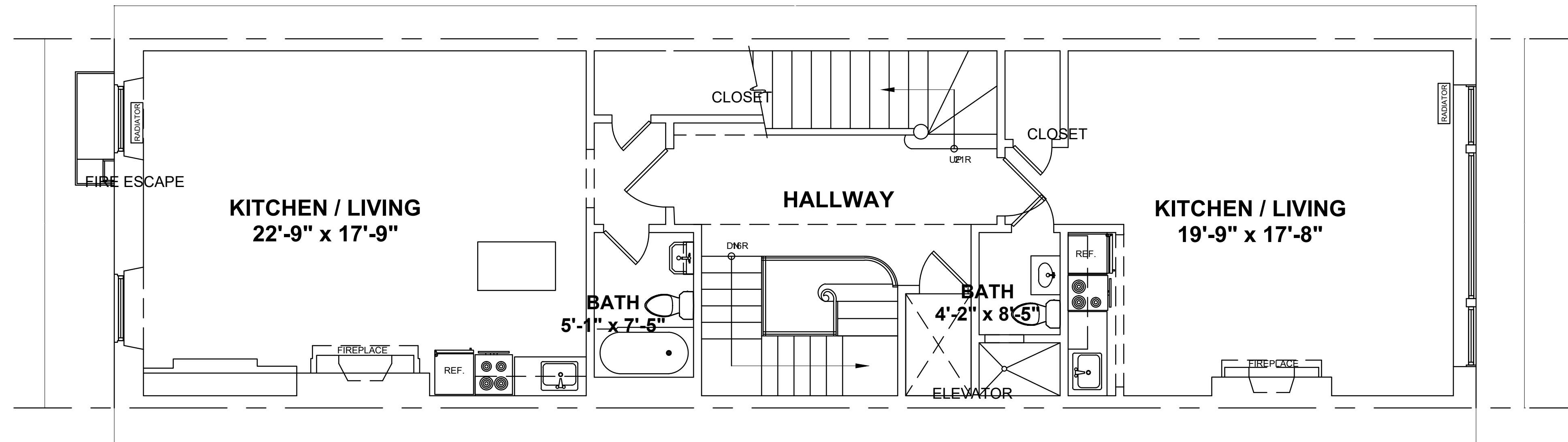
1 PROPOSED ARCHITECTURAL SITE PLAN
 1/8" = 1'-0"



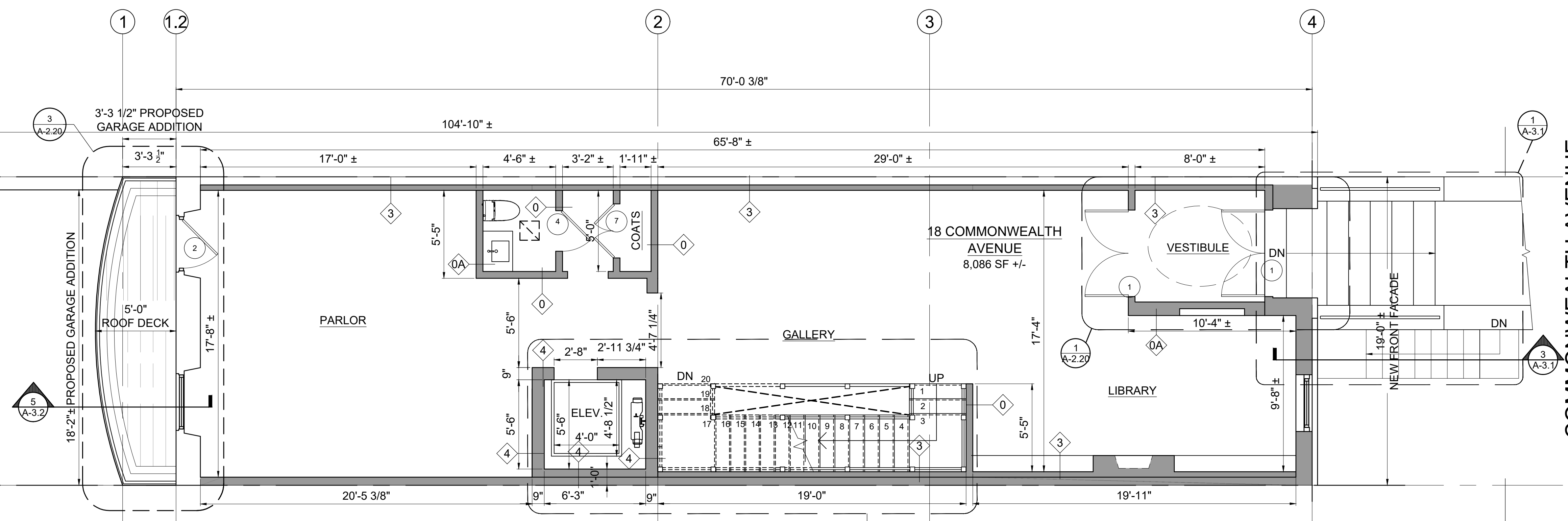
219.00'



WALK (CONC.)

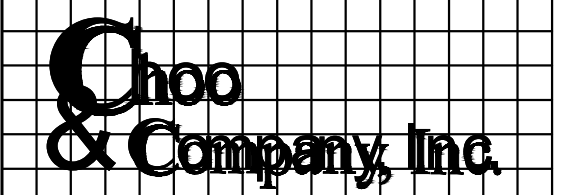


1 EXISTING FIRST LEVEL PLAN
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



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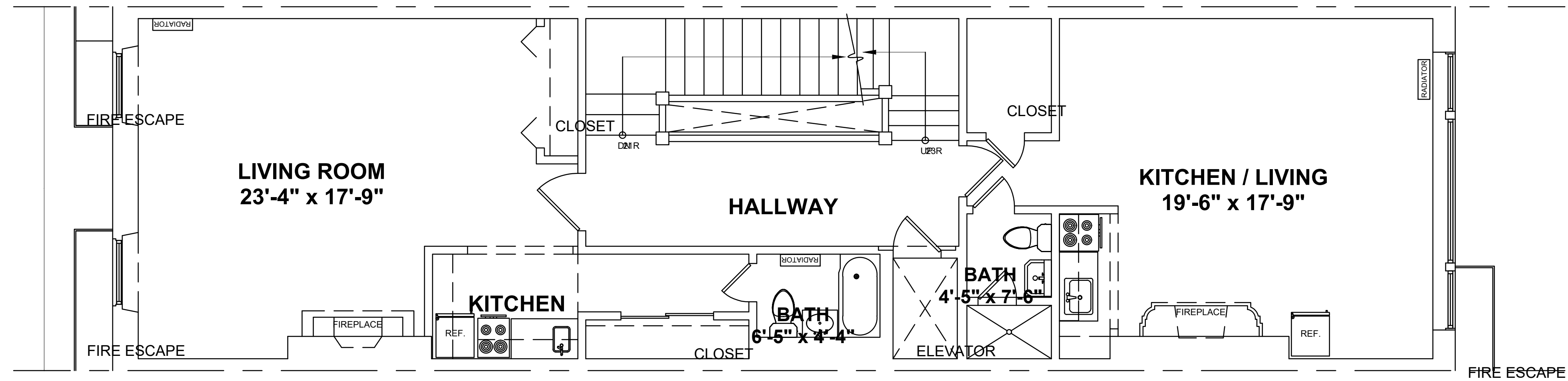
No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

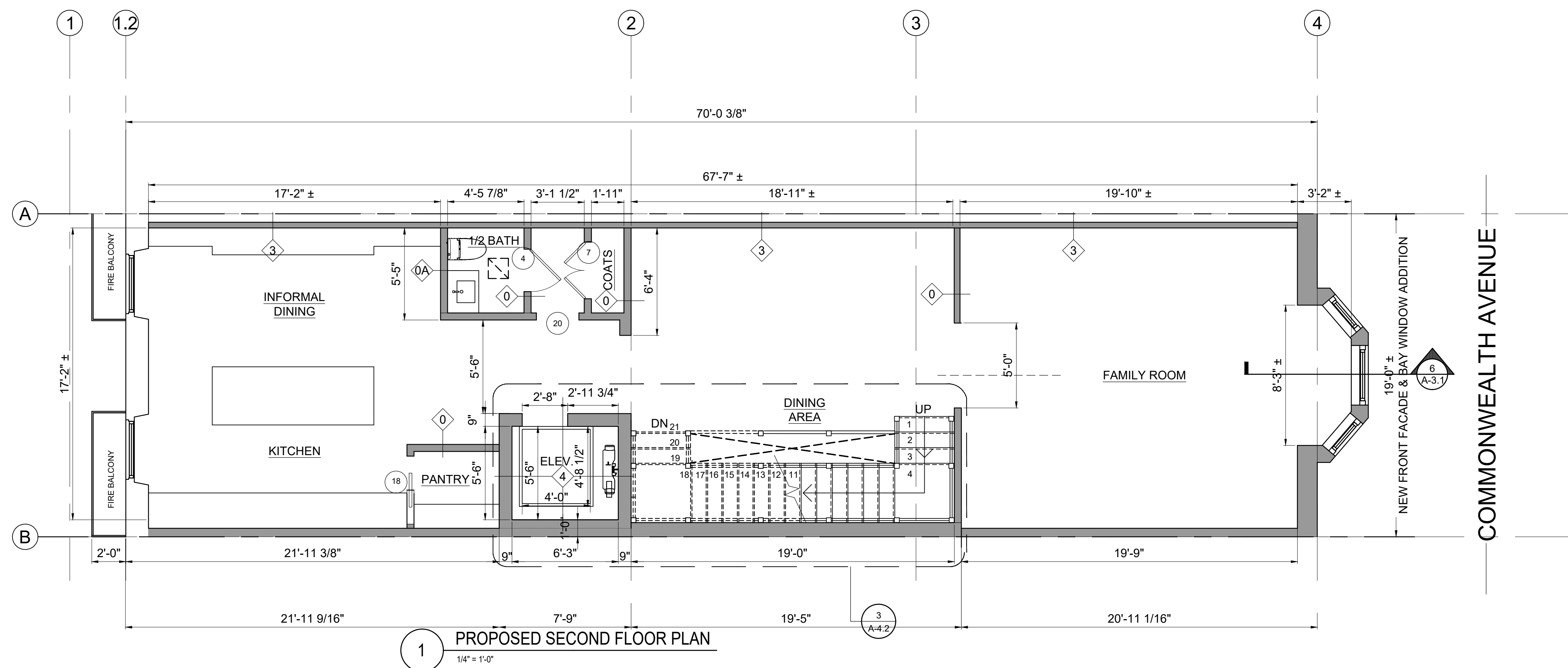
Drawing Name
EXISTING & PROPOSED FIRST FLOOR PLANS

Sheet No.

A-1.2



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

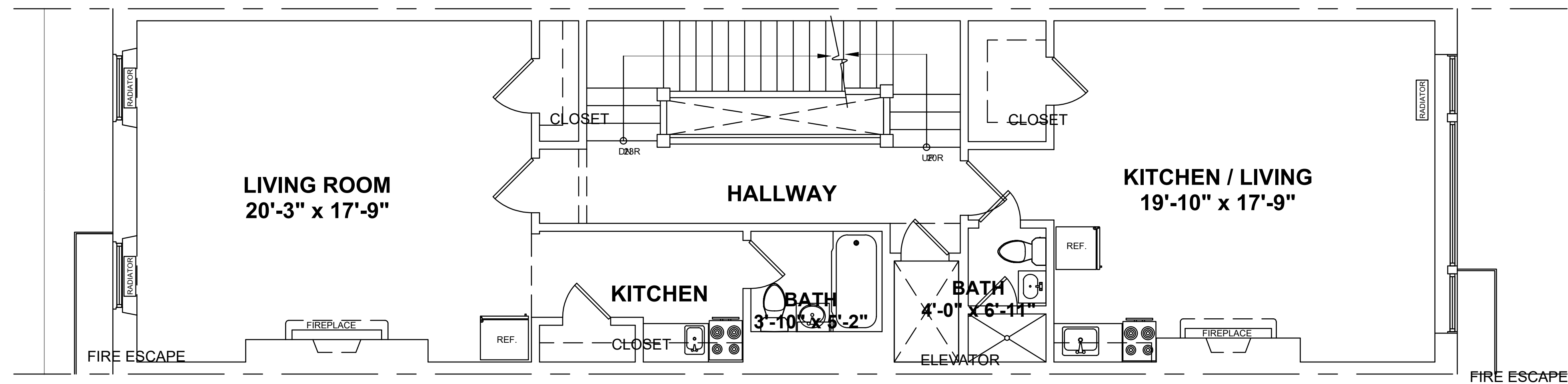
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No.	Revision Date

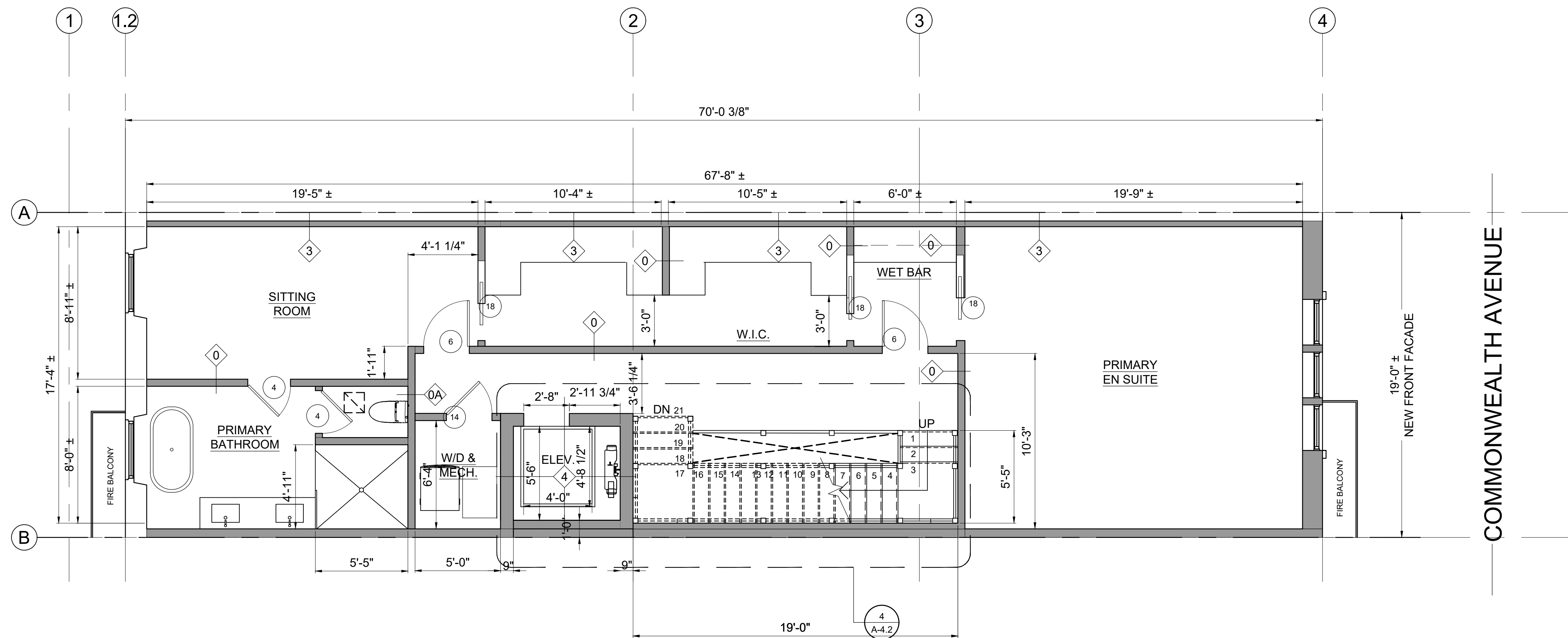
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
EXISTING & PROPOSED SECOND FLOOR PLANS

Sheet No.
A-1.3



2 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

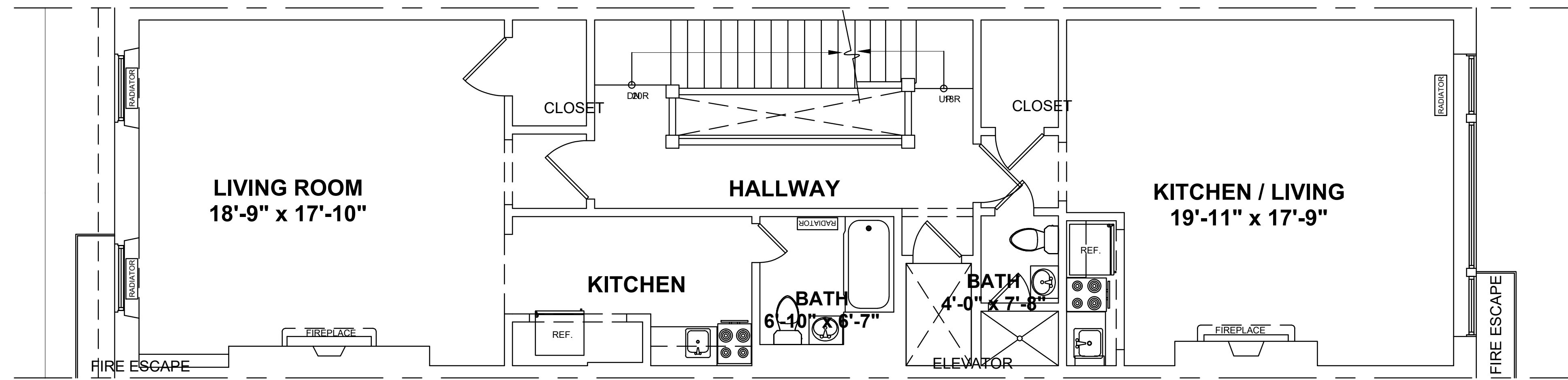
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No.	Revision Date

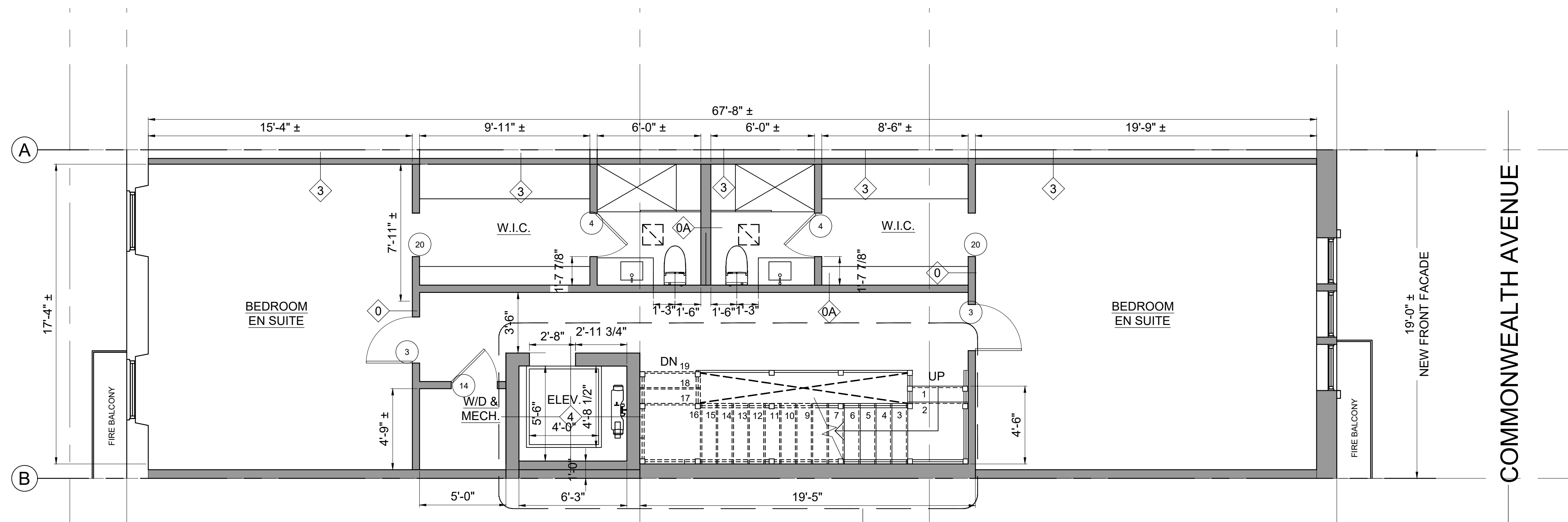
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
EXISTING & PROPOSED THIRD FLOOR PLANS

Sheet No.
A-1.4



2 EXISTING FOURTH FLOOR PLAN
1/4" = 1'-0"



1 PROPOSED FOURTH FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

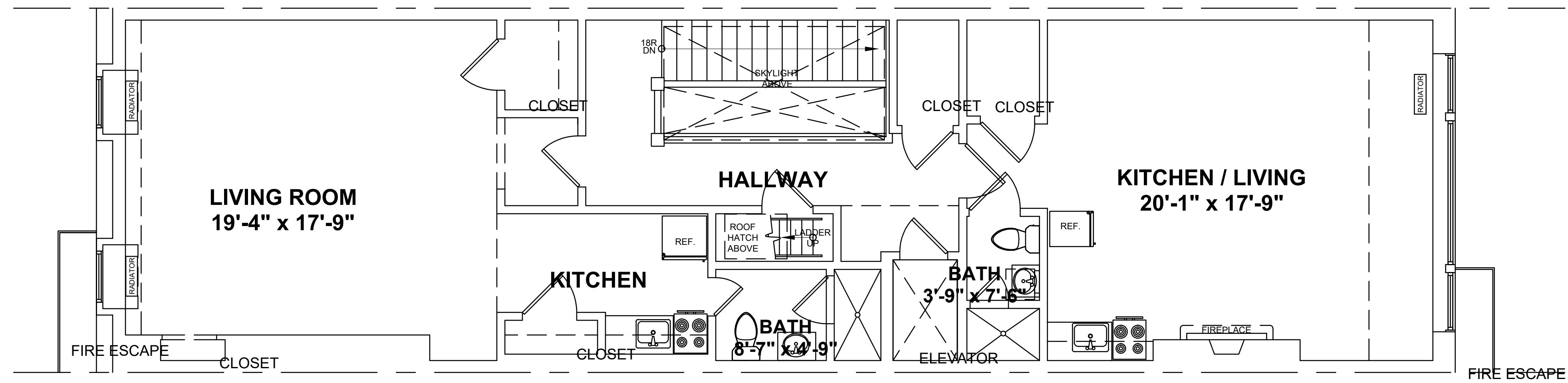
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No.	Revision Date

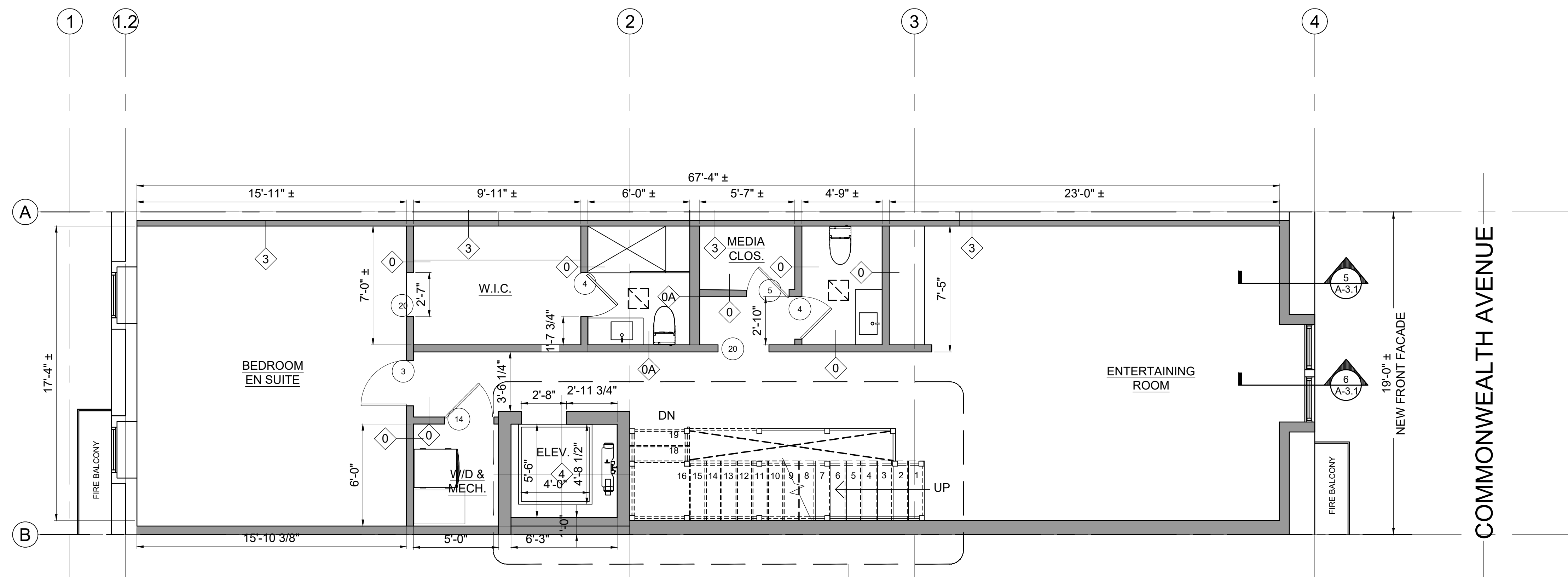
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
EXISTING & PROPOSED FOURTH FLOOR PLANS

Sheet No.
A-1.5



2 EXISTING FIFTH FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED FIFTH FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

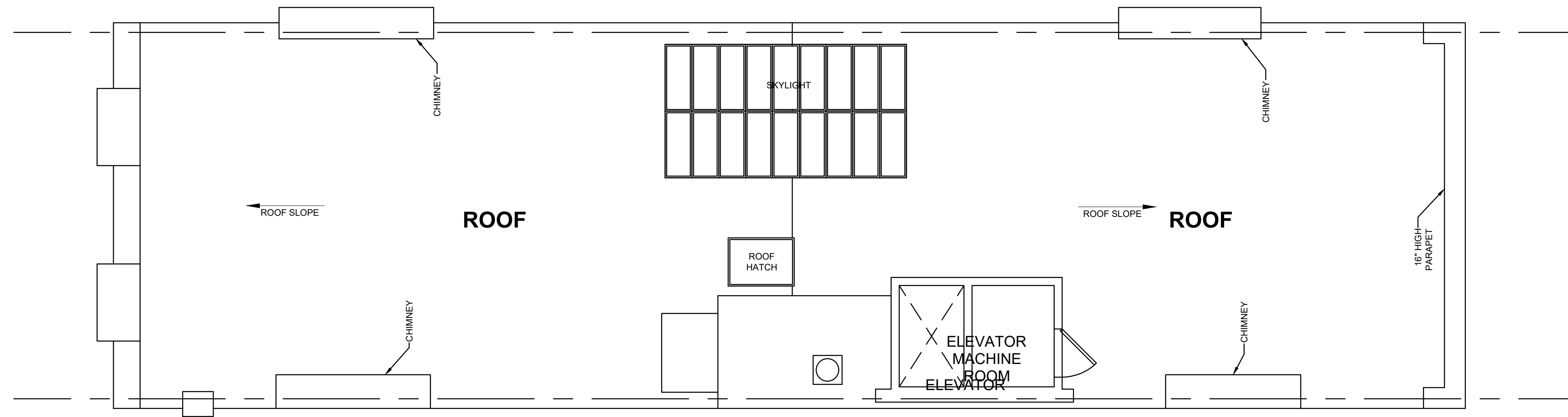
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No.	Revision Date

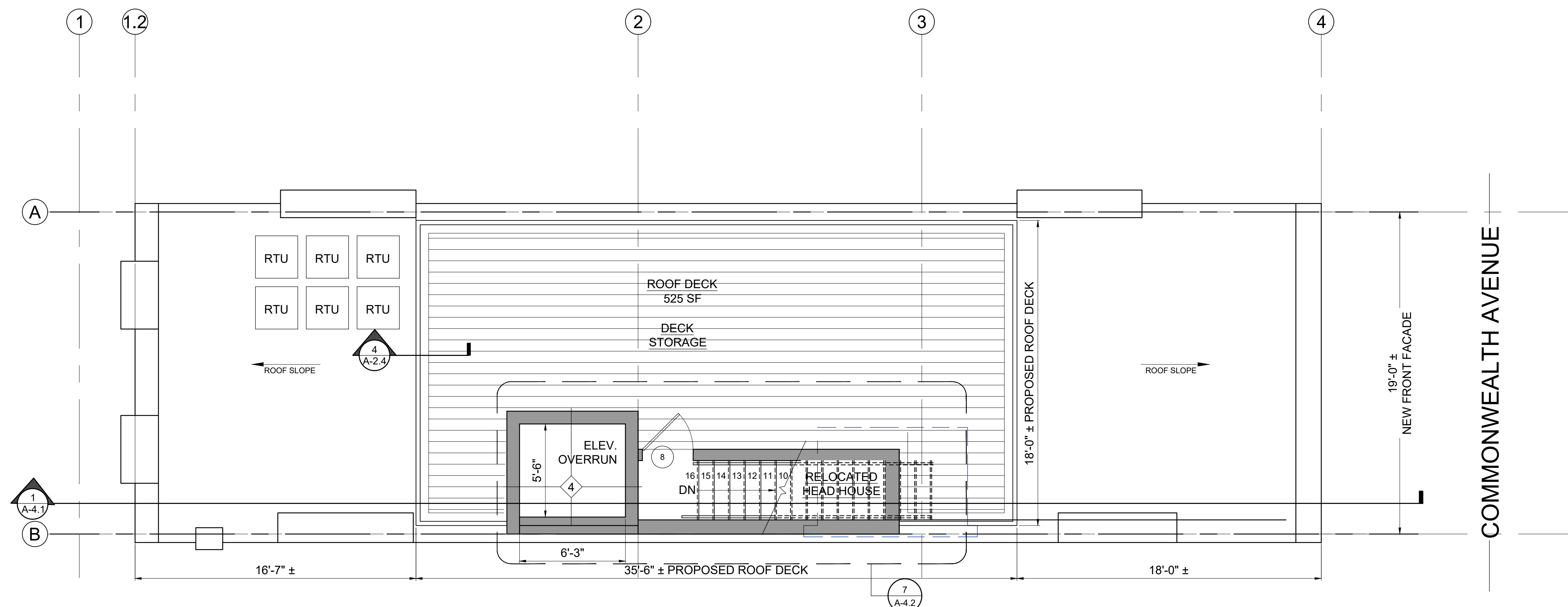
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
EXISTING & PROPOSED FIFTH FLOOR PLANS

Sheet No.
A-1.6



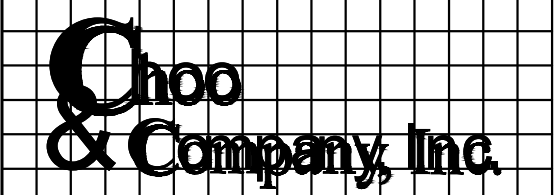
2 EXISTING ROOF PLAN
1/4" = 1'-0"



3 PROPOSED ROOF PLAN
1/4" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



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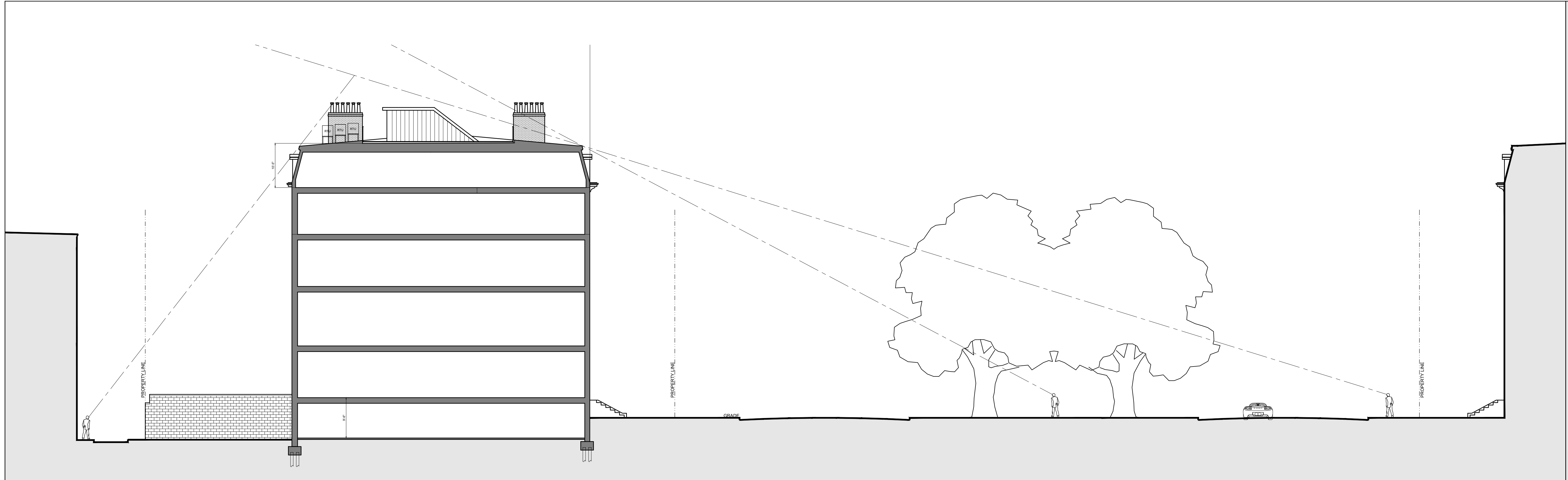
No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
EXISTING & PROPOSED ROOF PLANS

Sheet No.

A-1.7



1 SITE SECTION THROUGH COMMONWEALTH AVENUE MALL
3/16" = 1'-0"



2 EXISTING FRONT ELEVATION 16-28 COMMONWEALTH AVENUE
3/32" = 1'-0"



3 PROPOSED FRONT ELEVATION 16-28 COMMONWEALTH AVENUE
3/32" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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No.	Revision Date

Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
**SITE SECTION ;
 EXISTING &
 PROPOSED
 FRONT ELEV.**

Sheet No.
A-2.0



16 COMMONWEALTH AVE 18 COMMONWEALTH AVE 20 COMMONWEALTH AVE 22 COM

1 EXISTING COMMONWEALTH AVENUE ELEVATION
3/16" = 1'-0"



16 COMMONWEALTH AVE 18 COMMONWEALTH AVE 20 COMMONWEALTH AVE 22 COM

2 PROPOSED COMMONWEALTH AVENUE ELEVATION
3/16" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
EXISTING & PROPOSED FRONT ELEVATIONS

Sheet No.
A-2.1

1. REPAIR / REPLACE COPPER GUTTERS & DOWNSPOUTS IN KIND
2. REPAIR / REPLACE WOOD TRIM IN KIND
3. REPLACE DAMAGED SLATES IN KIND
4. REMOVE FIRE BALCONIES AS PERMITTED BY BUILDING CODE
5. CLEAN ALL MASONRY W/ WATER & GENTLE DETERGENT
- RE-POINT BRICK AS REQUIRED *
6. NEW DOUBLE HUNG WINDOWS

* MORTAR MIX
 1 PART CEMENT
 2 PARTS LIME
 7-9 PARTS SAND



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

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 One Billings Road Quincy, MA 02171
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No.	Revision Date

Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
EXISTING & PROPOSED REAR ELEVATIONS

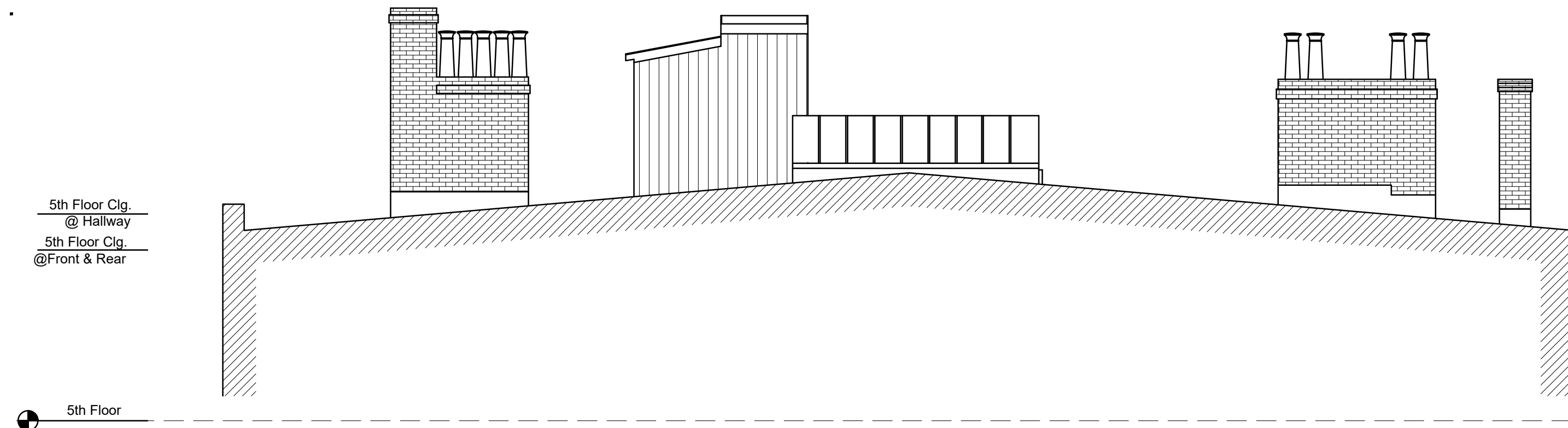
Sheet No.
A-2.2

1 EXISTING REAR ELEVATION
 3/16" = 1'-0"

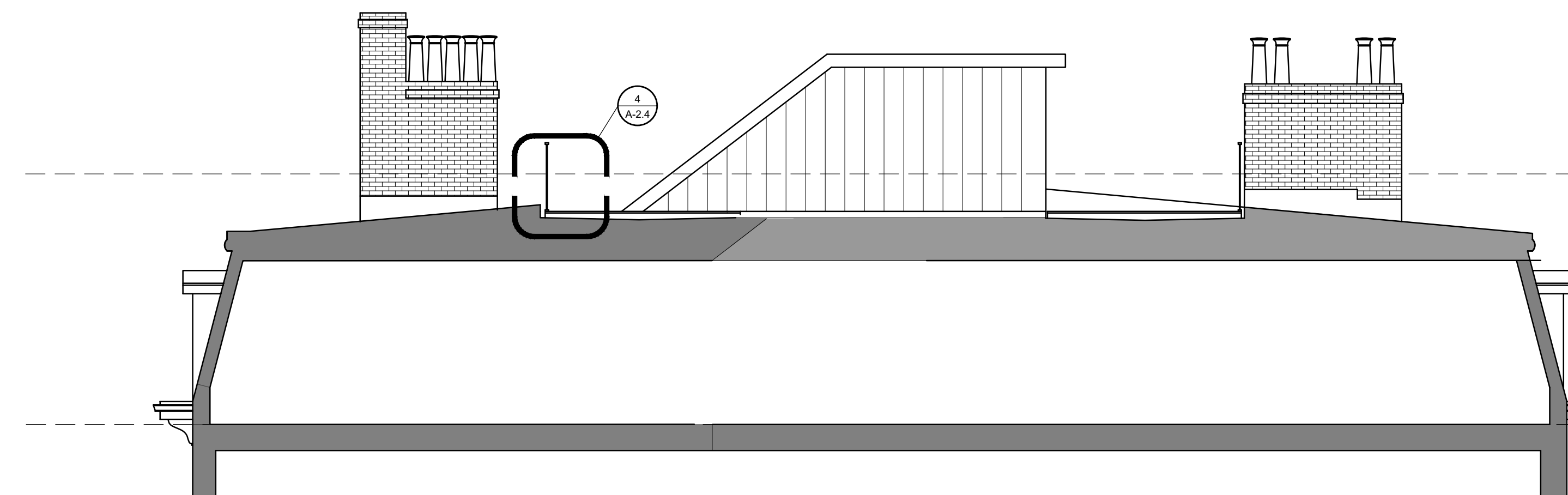
2 PROPOSED REAR ELEVATION
 3/16" = 1'-0"



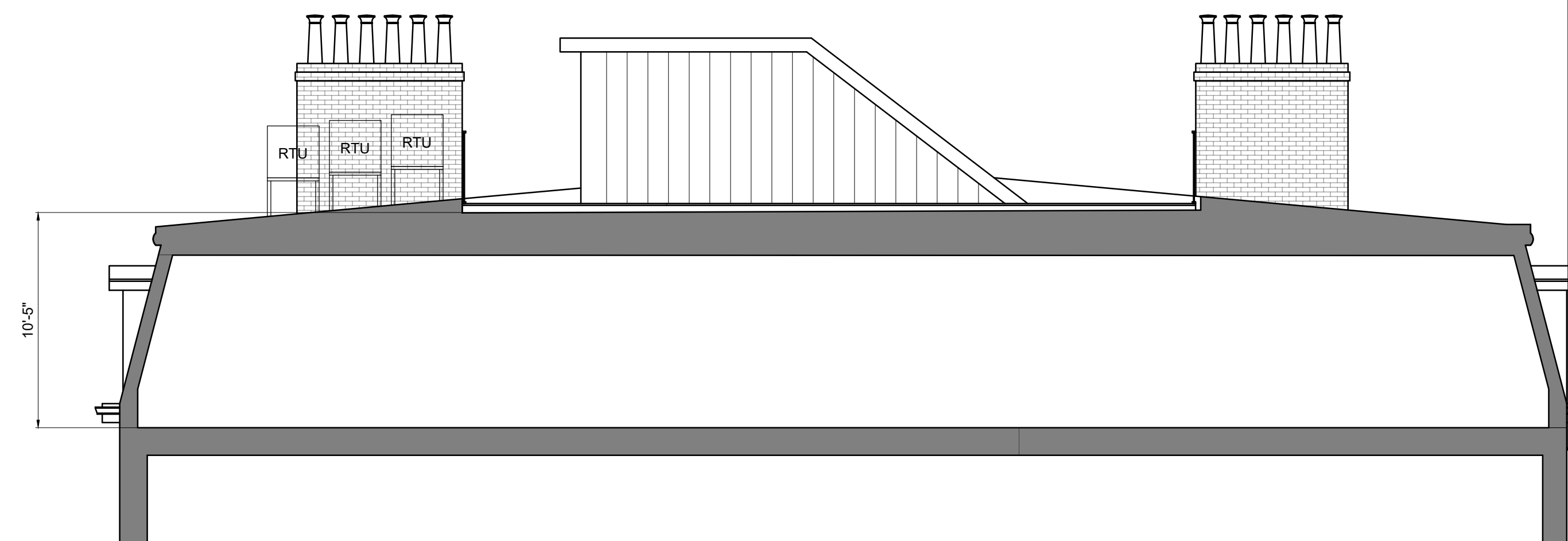
GOOGLE MAPS IMAGE



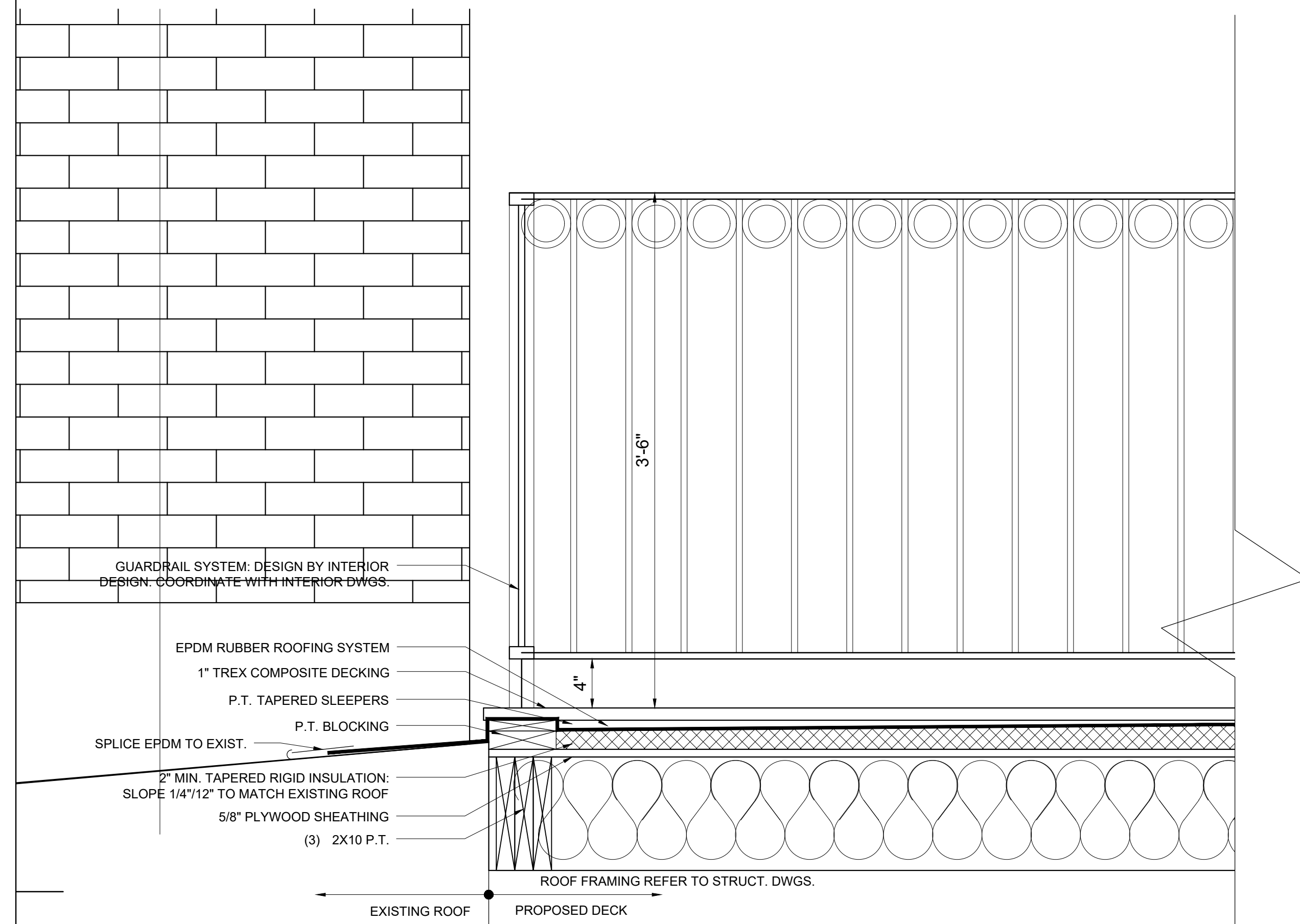
1 EXISTING SECTION (LEFT SIDE ELEVATION)
3/16" = 1'-0"



2 PROPOSED SECTION (LEFT SIDE ELEVATION)
3/16" = 1'-0"



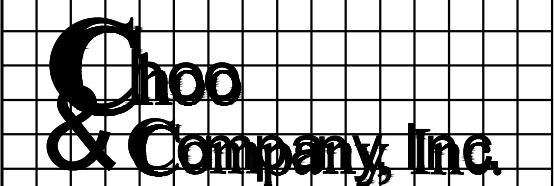
3 PROPOSED SECTION (RIGHT SIDE ELEVATION)
3/16" = 1'-0"



4 PROPOSED SECTION (ROOF DECKING)
1-1/2" = 1'-0"

Location

**PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED SECTIONS & ROOF DECK SECTION

Sheet No.
A-2.3

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

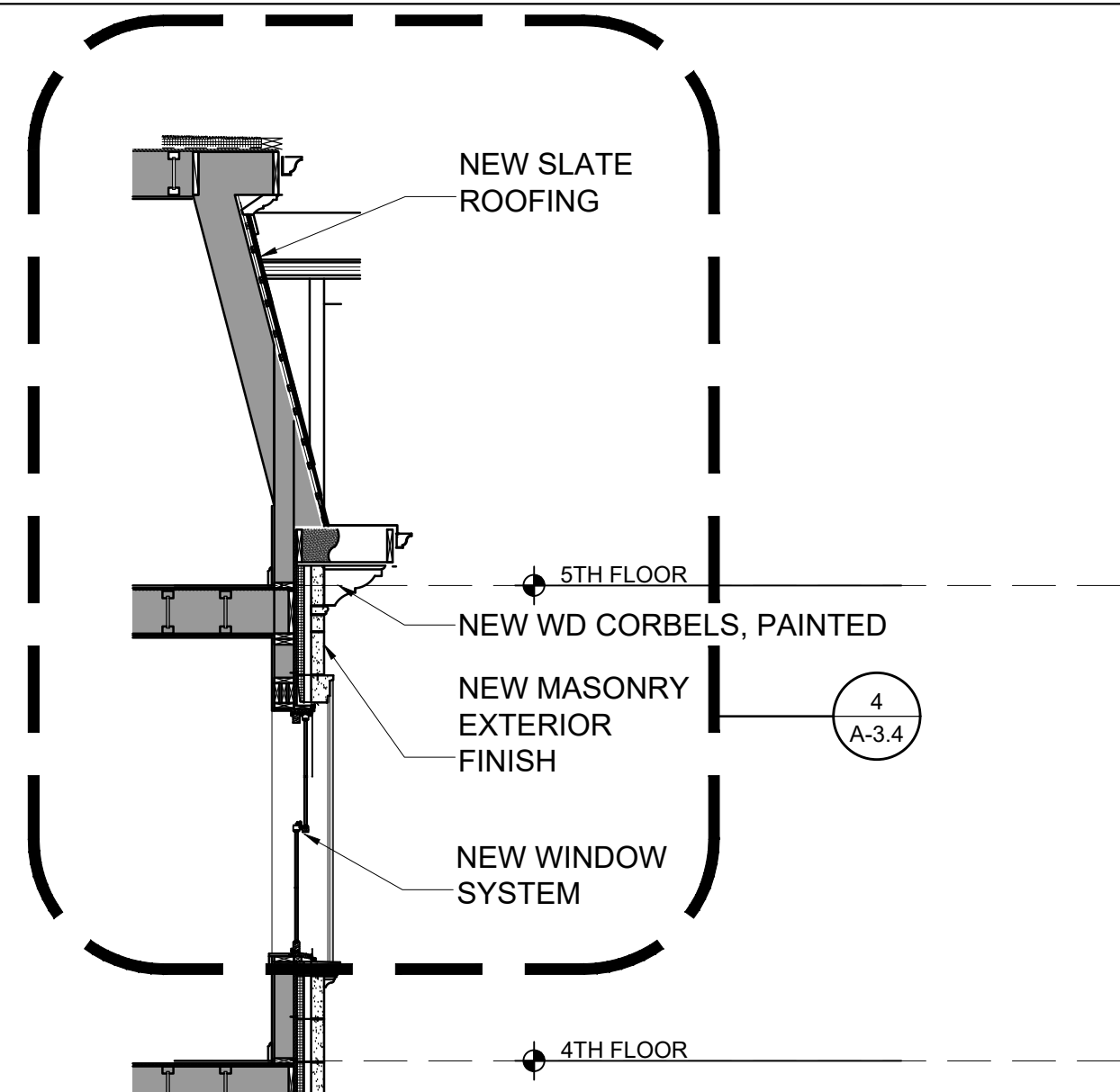
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No.	Revision Date

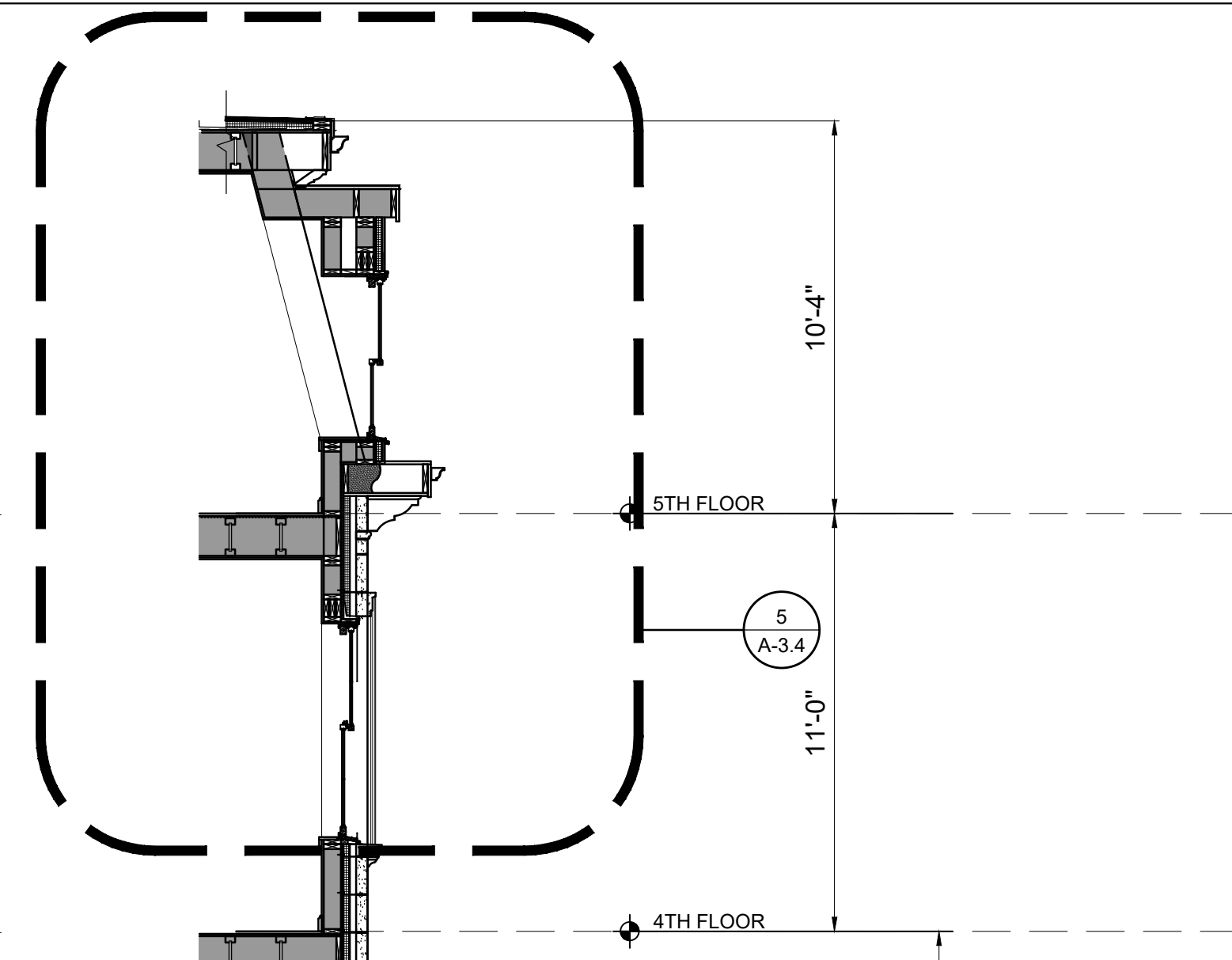
Project No: 2024121
Scale: AS NOTED
Date: 09-30-2024
Drawn By: DF

Drawing Name
PROPOSED WALL SECTIONS & DETAILS

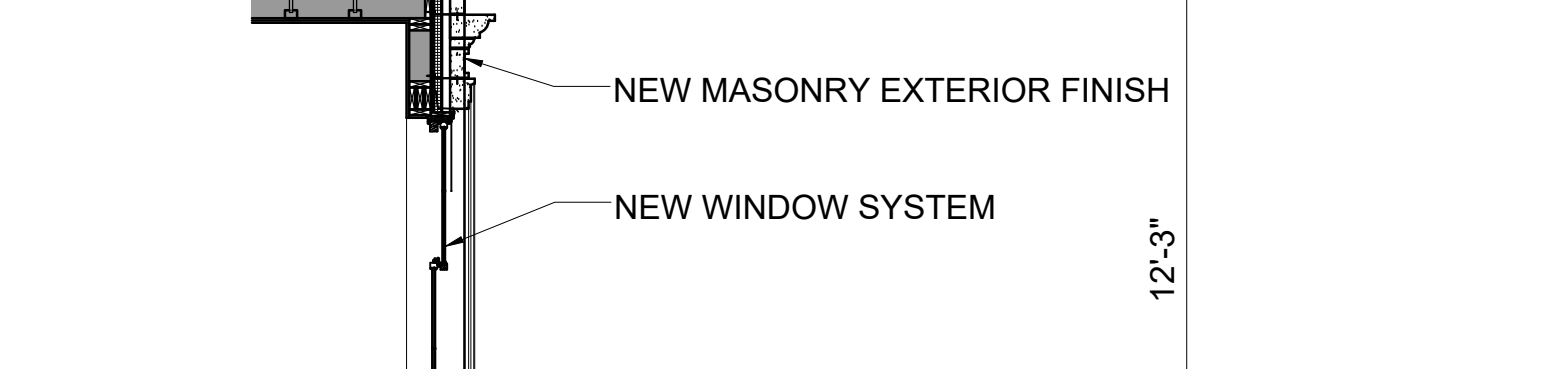
Sheet No.
A-3.0



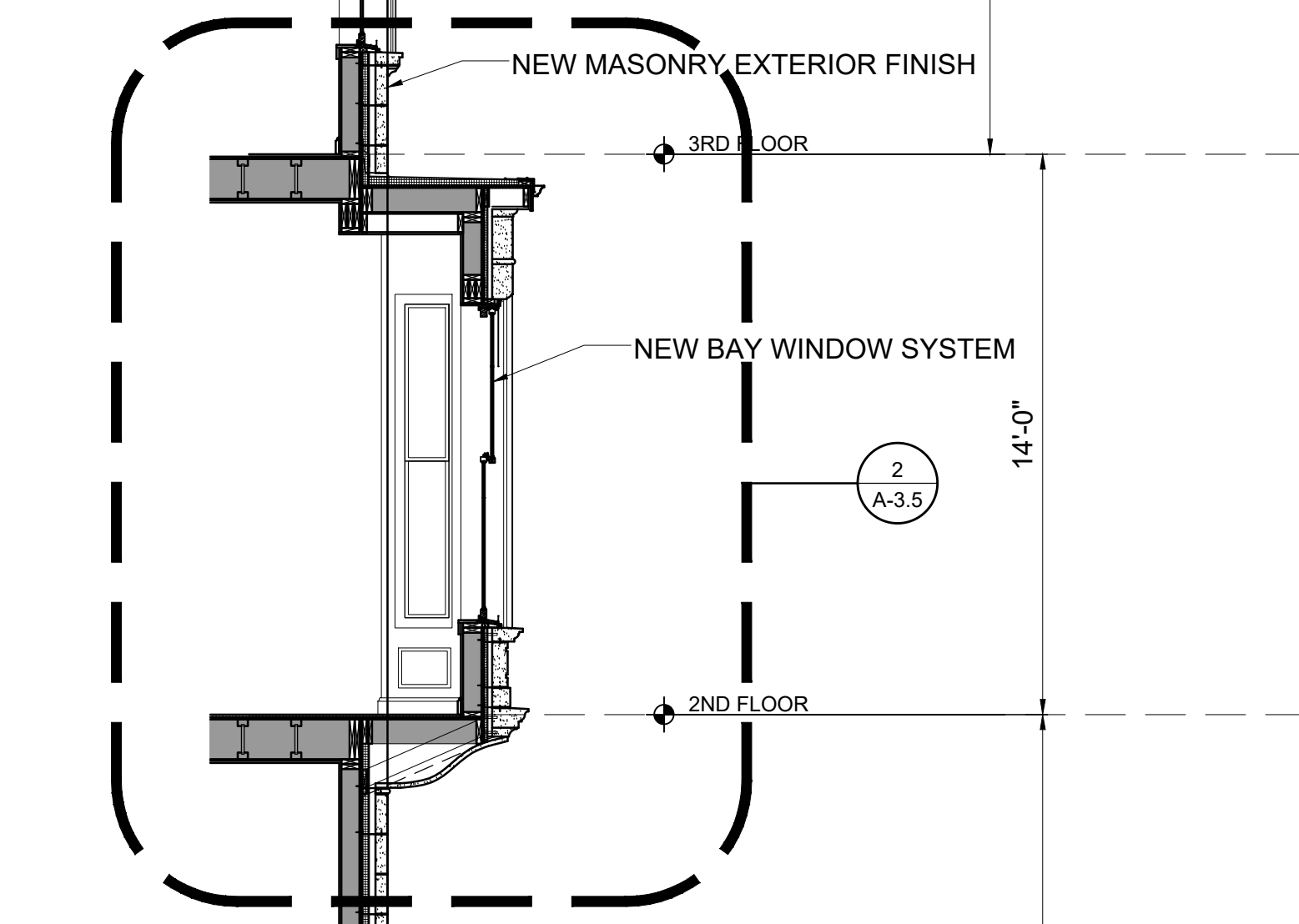
2 PROPOSED SECTION
1/4" = 1'-0"



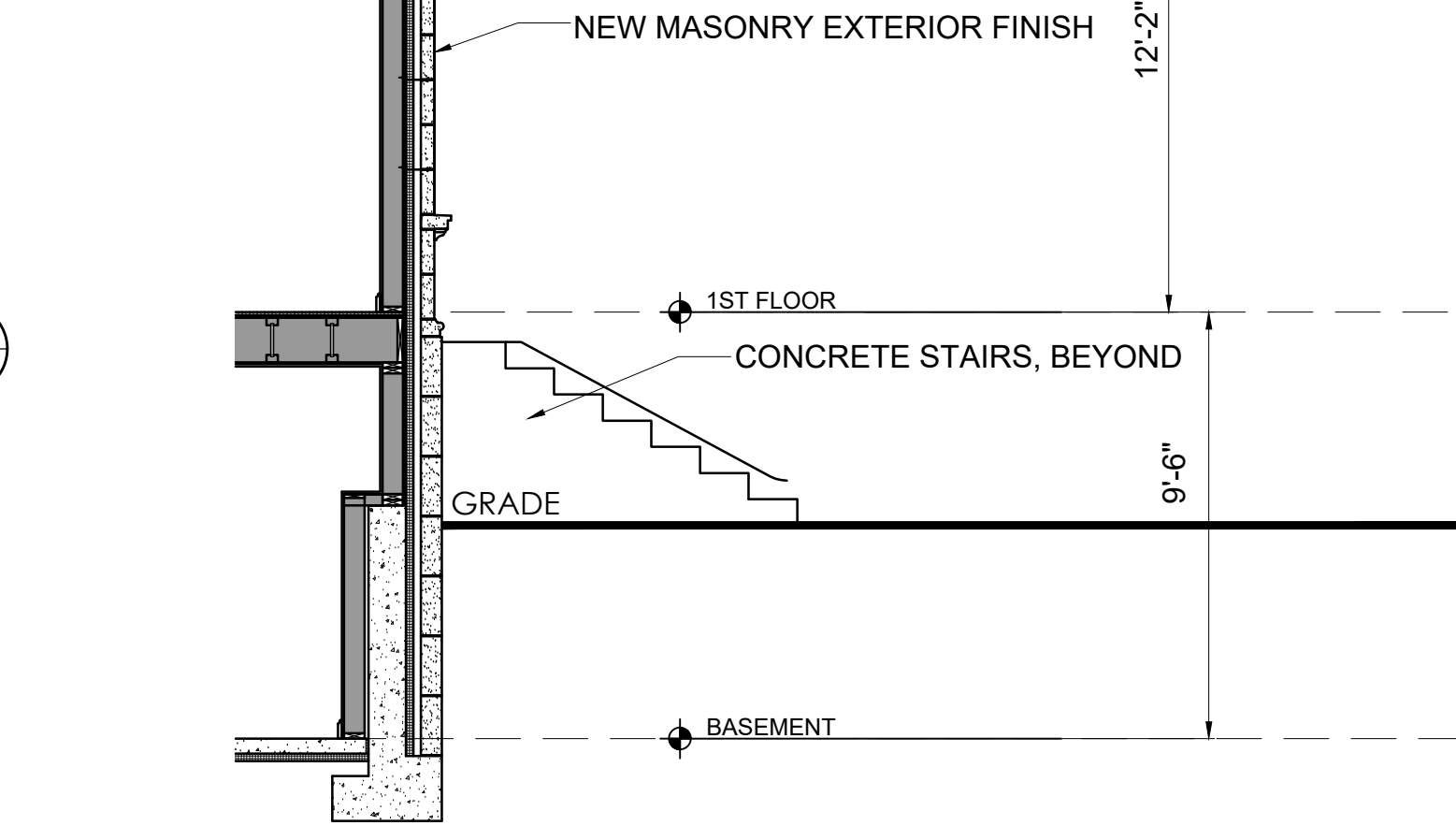
10'-4"
11'-0"



12'-3"



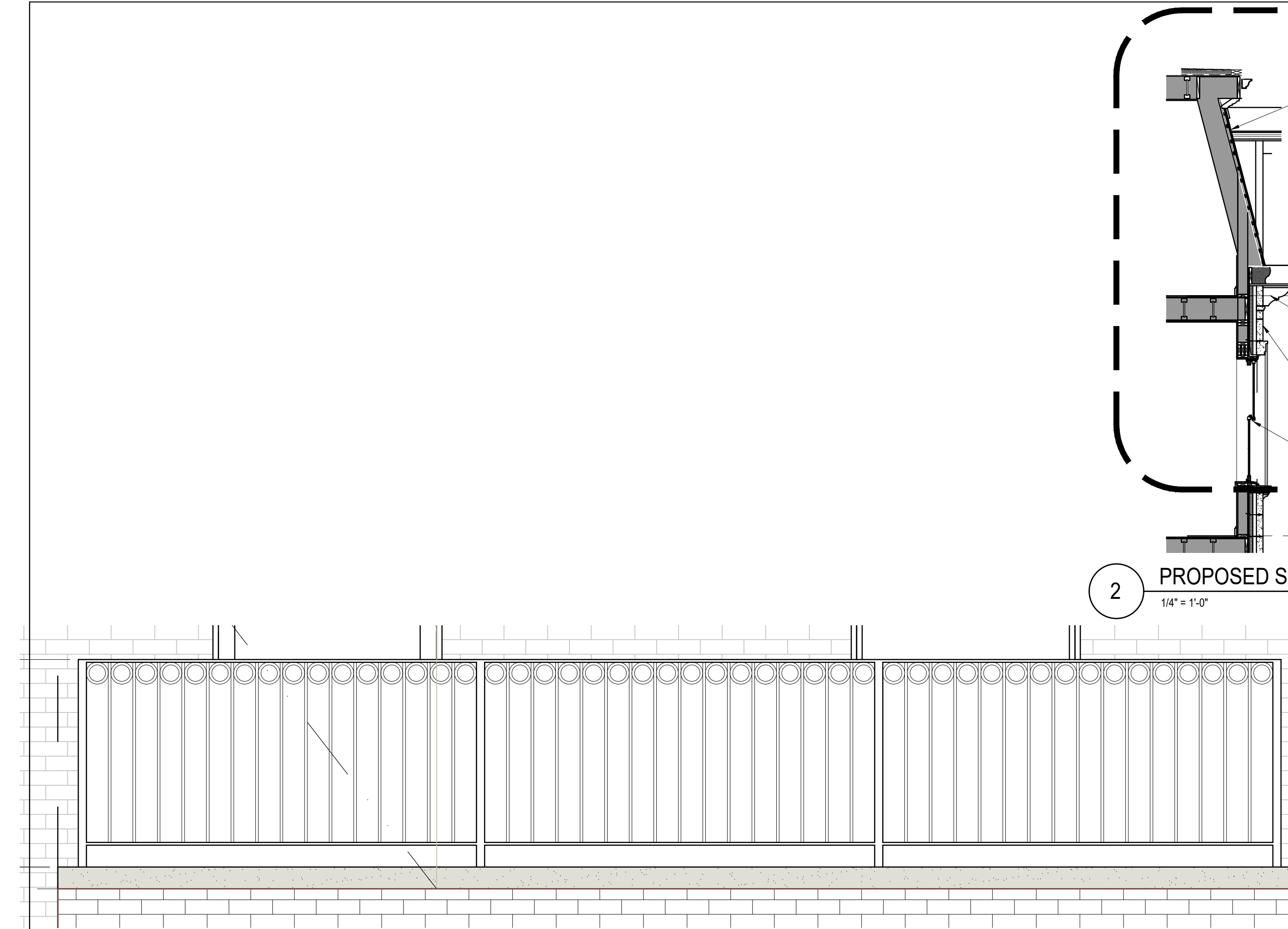
14'-0"



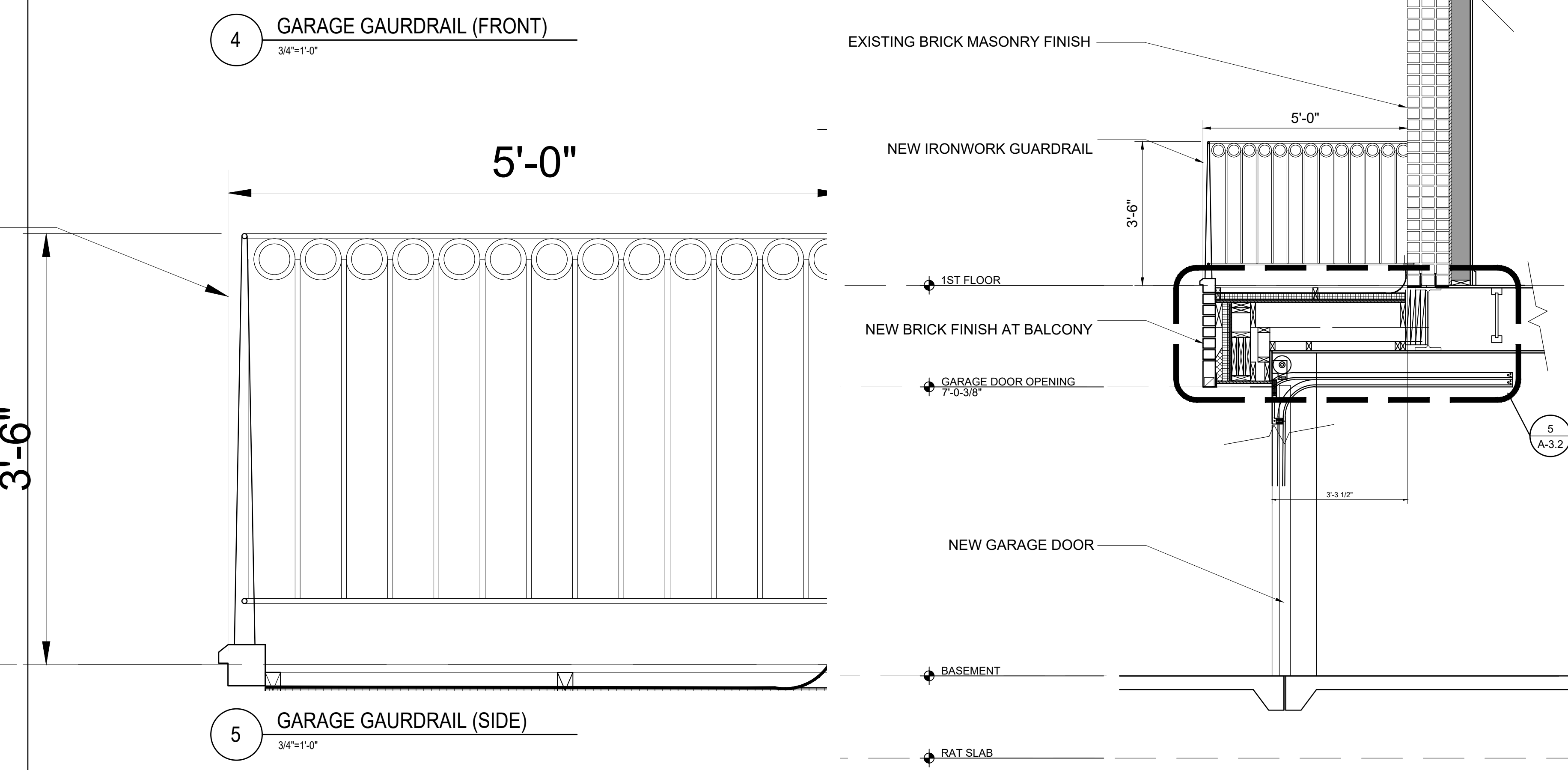
12'-2"

9'-6"

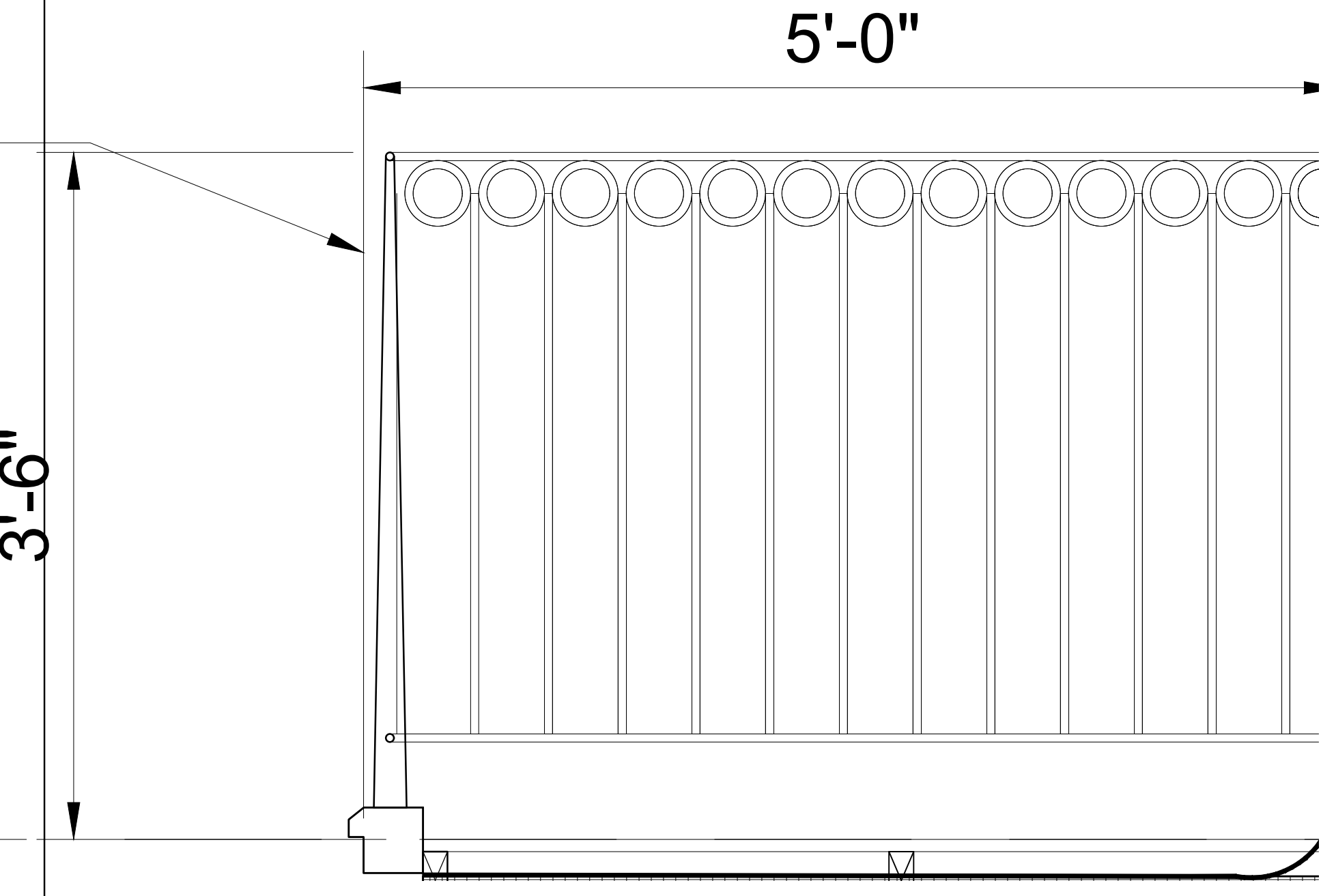
1 PROPOSED SECTION
1/4" = 1'-0"



4 GARAGE GAURDRAIL (FRONT)
3/4" = 1'-0"



3 PROPOSED SECTION (GARAGE)
1/2" = 1'-0"



5 GARAGE GAURDRAIL (SIDE)
3/4" = 1'-0"

3'-6"

5'-0"

5'-0"

3'-6"

3'-3 1/2"

EXISTING BRICK MASONRY FINISH

NEW IRONWORK GUARDRAIL

1ST FLOOR

NEW BRICK FINISH AT BALCONY

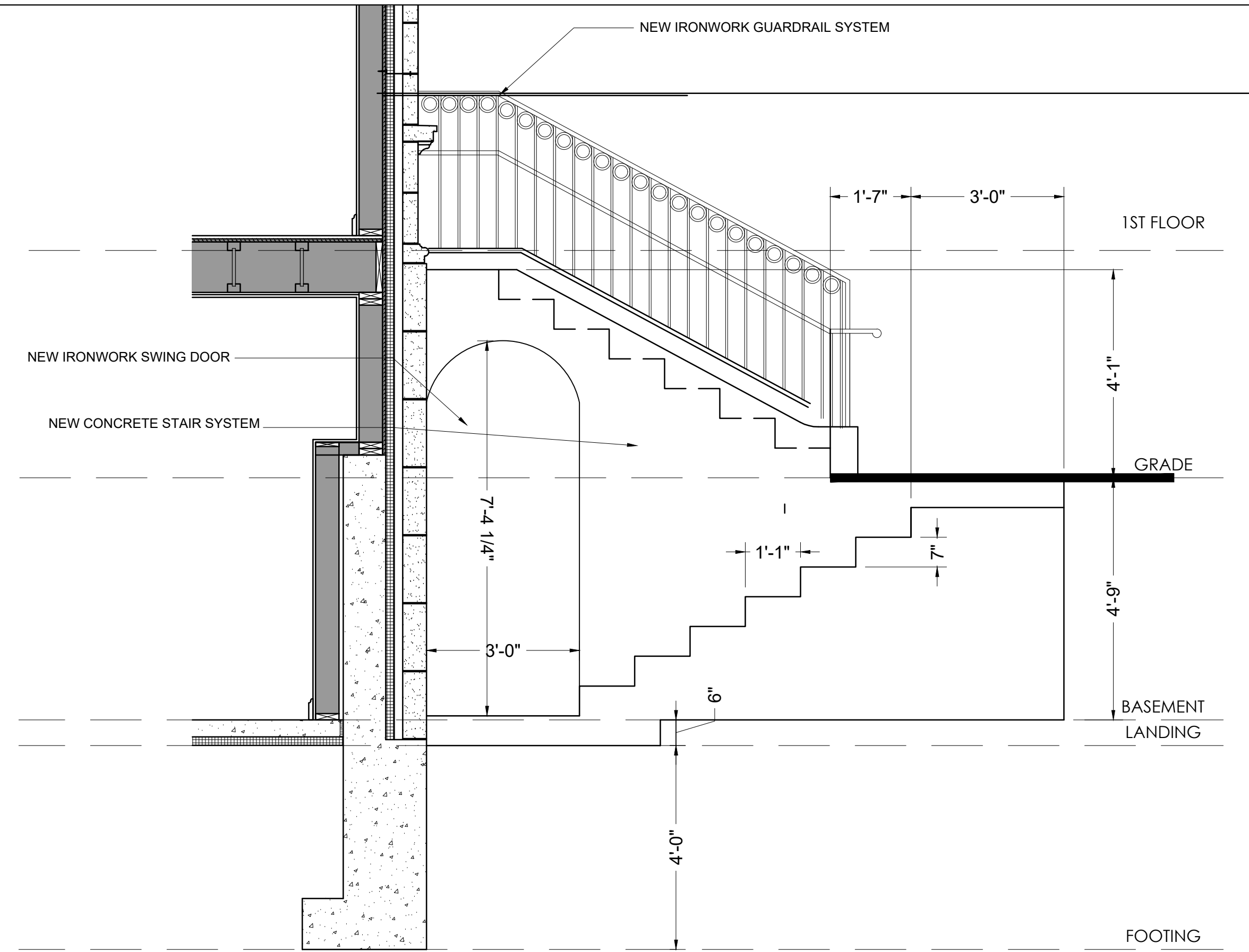
GARAGE DOOR OPENING
7'-0-3/8"

NEW GARAGE DOOR

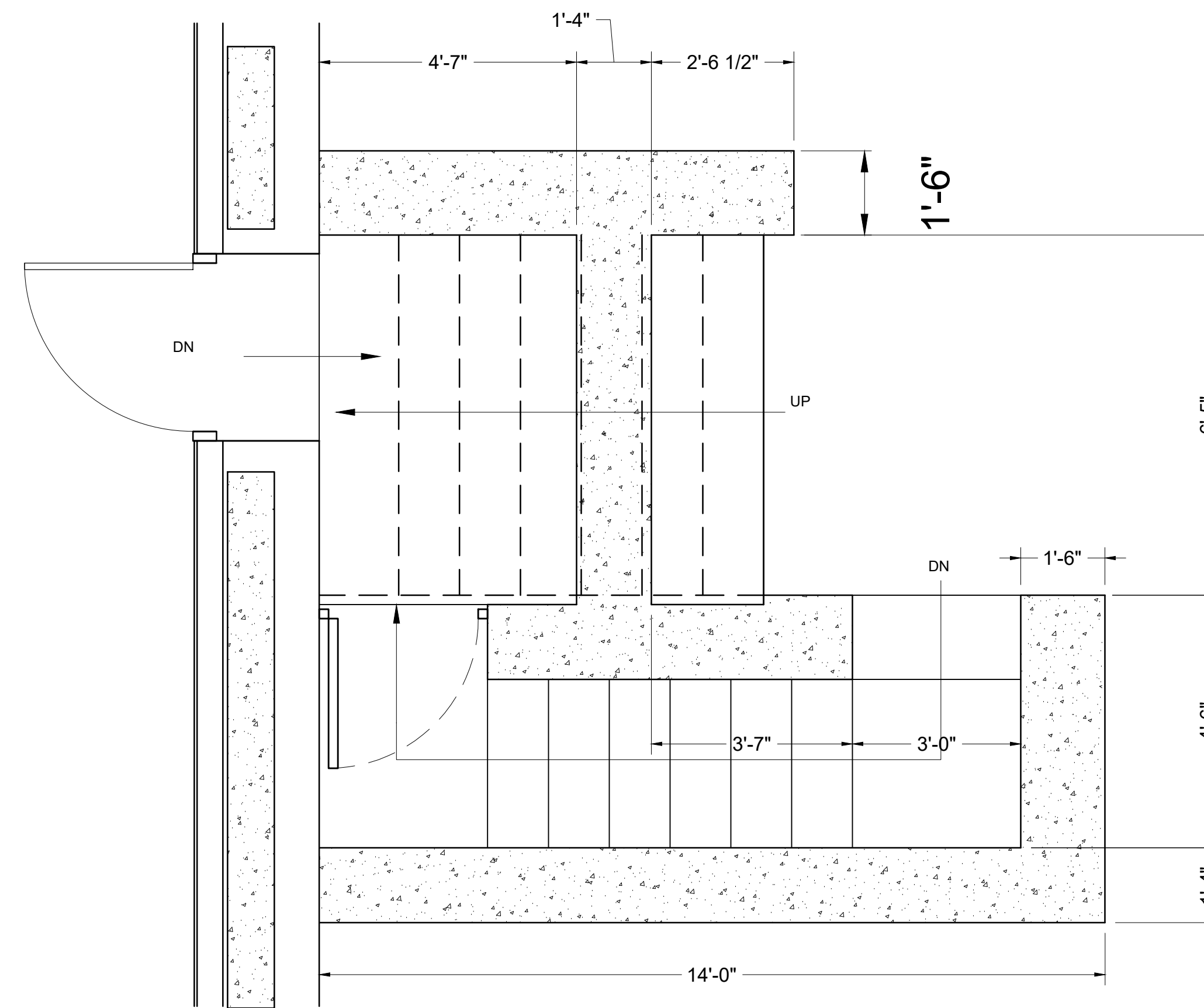
BASEMENT

RAT SLAB

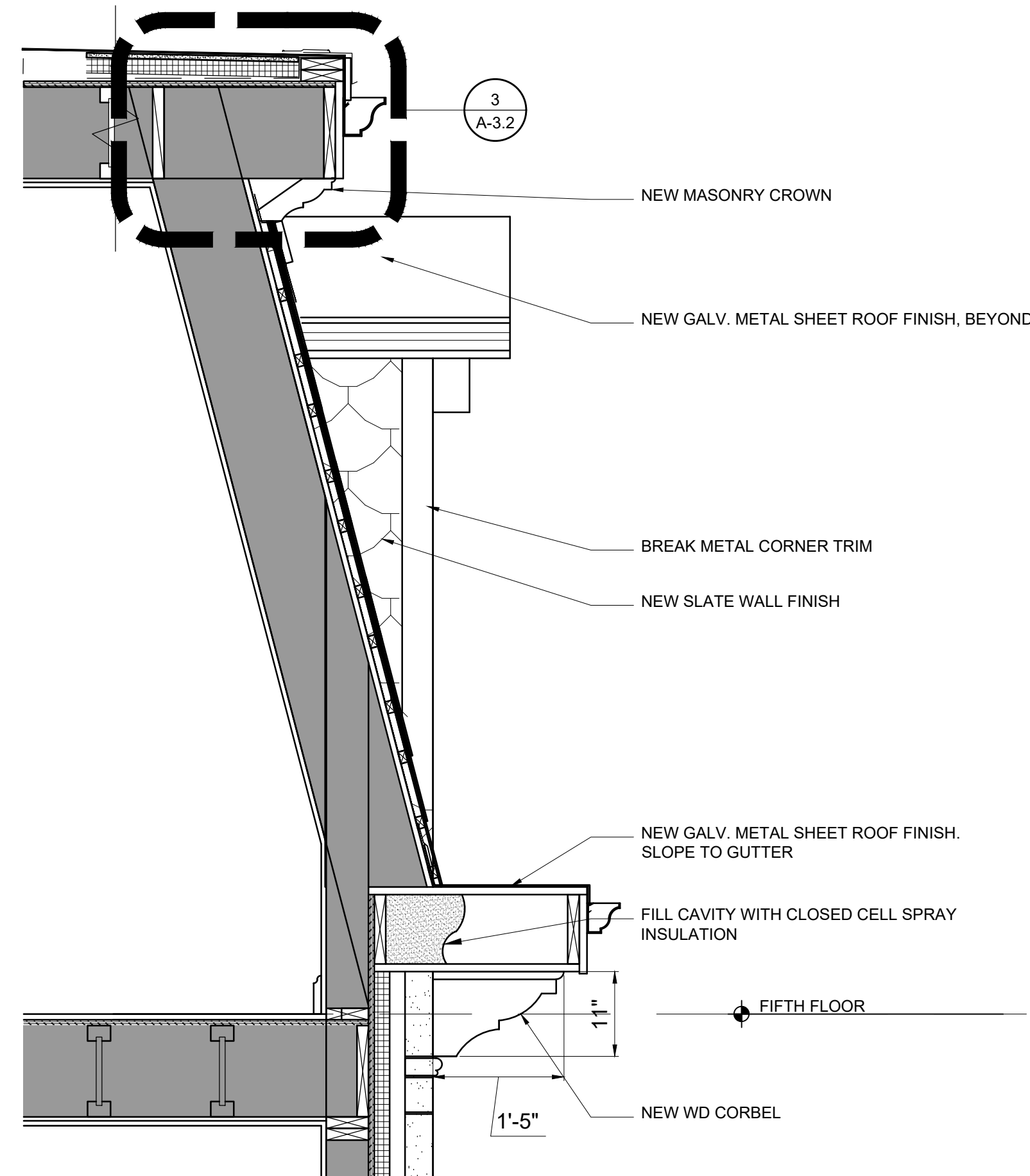
5
A-3.2



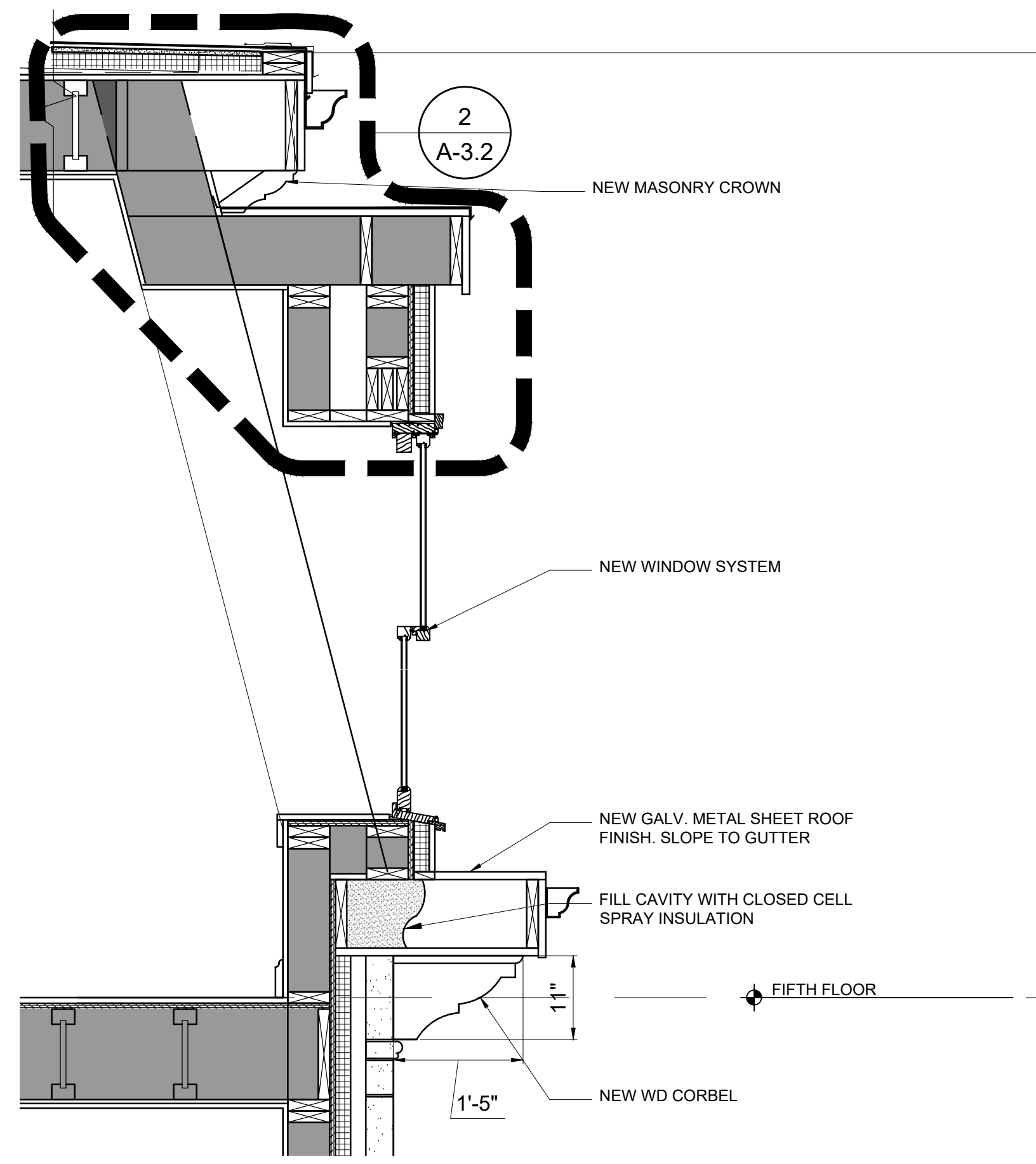
3 PROPOSED SECTION (FRONT STAIRS)
3/4" = 1'-0"



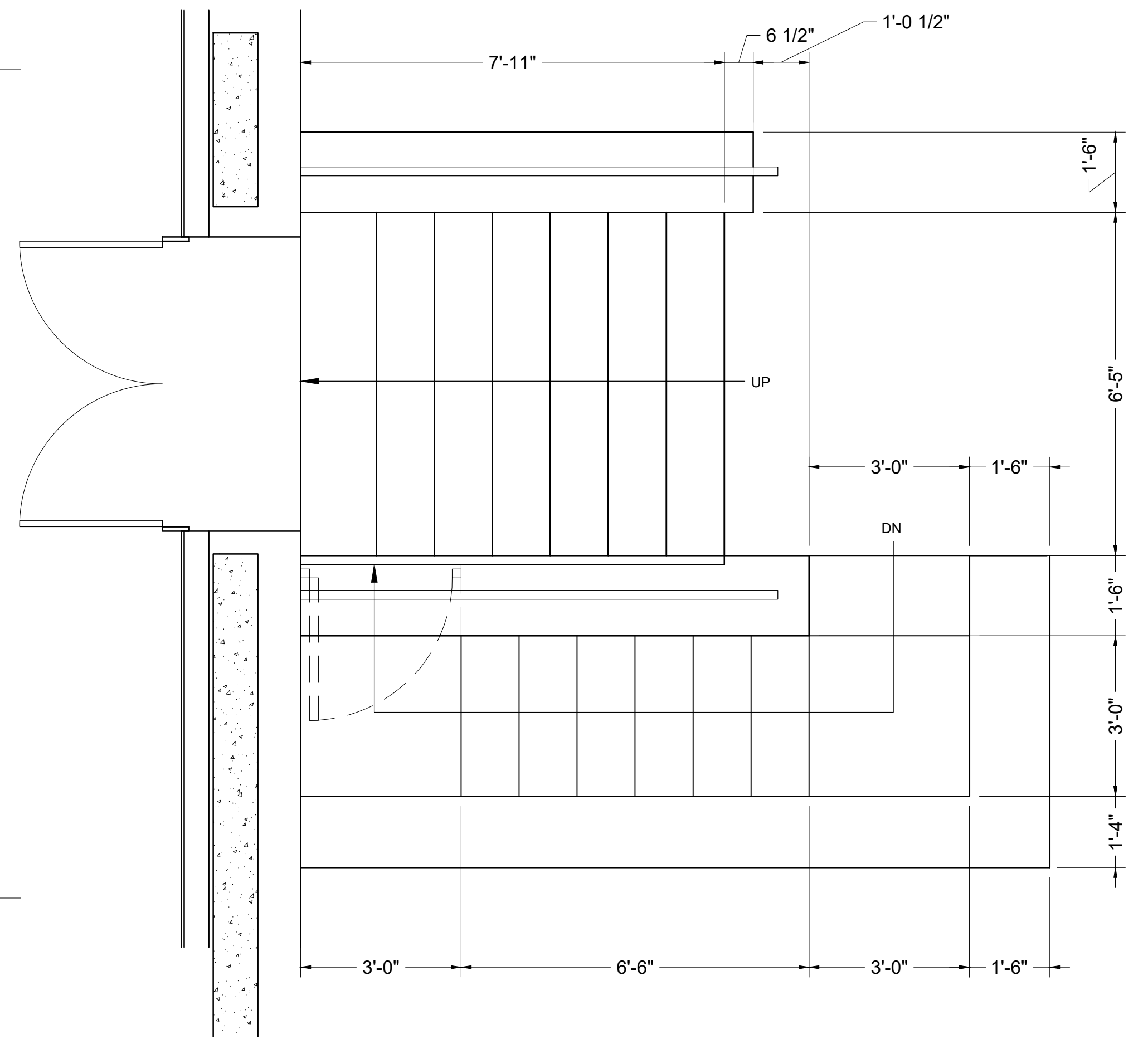
1 PROPOSED PLAN (FRONT STAIRS LOWER)
1/4" = 1'-0"



5 PROPOSED SECTION (FRONT ROOF)
3/4" = 1'-0"



6 PROPOSED SECTION (FRONT DORMER)
3/4" = 1'-0"



2 PROPOSED PLAN (FRONT STAIRS UPPER)
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

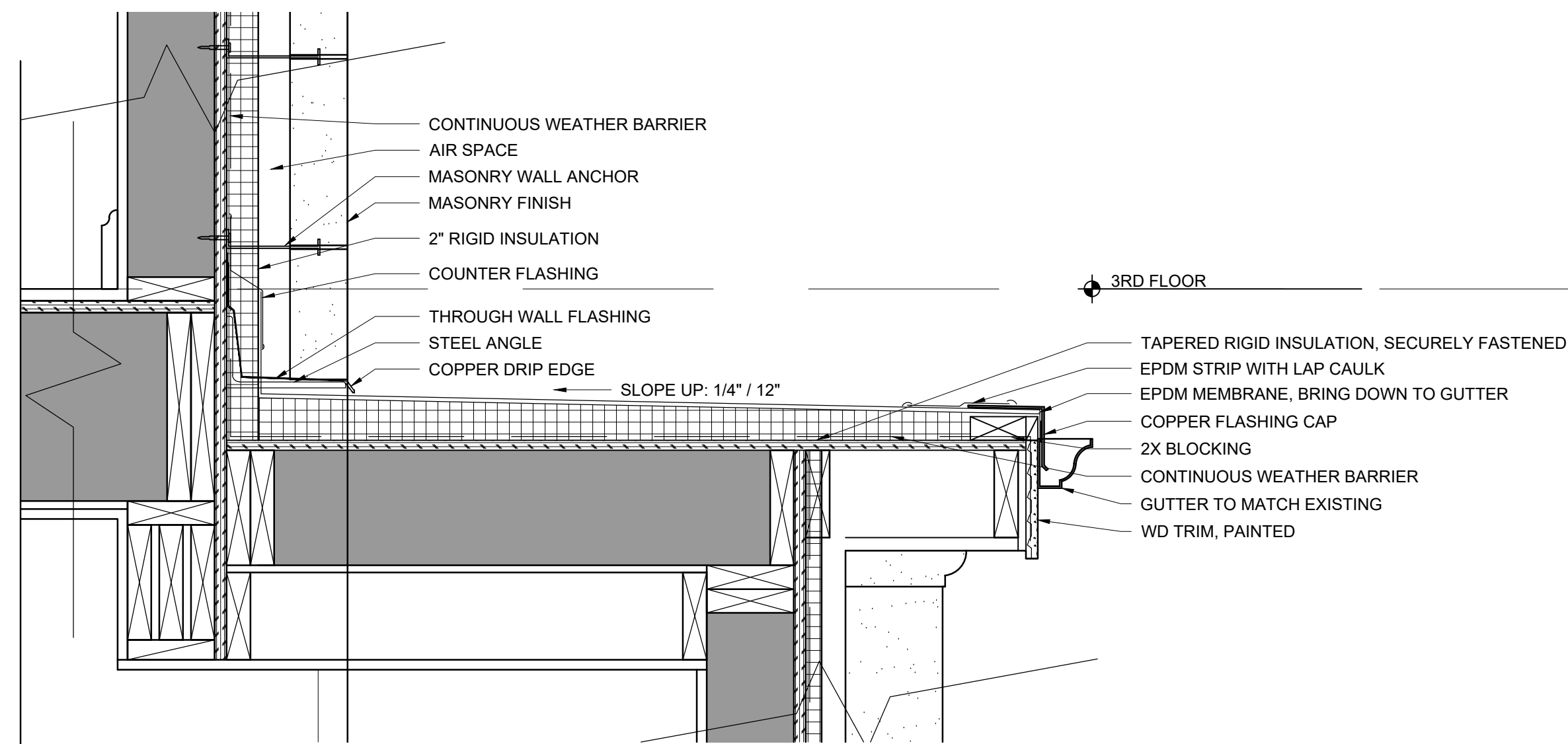
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 617-786-7727 fax 617-786-7715

No.	Revision Date

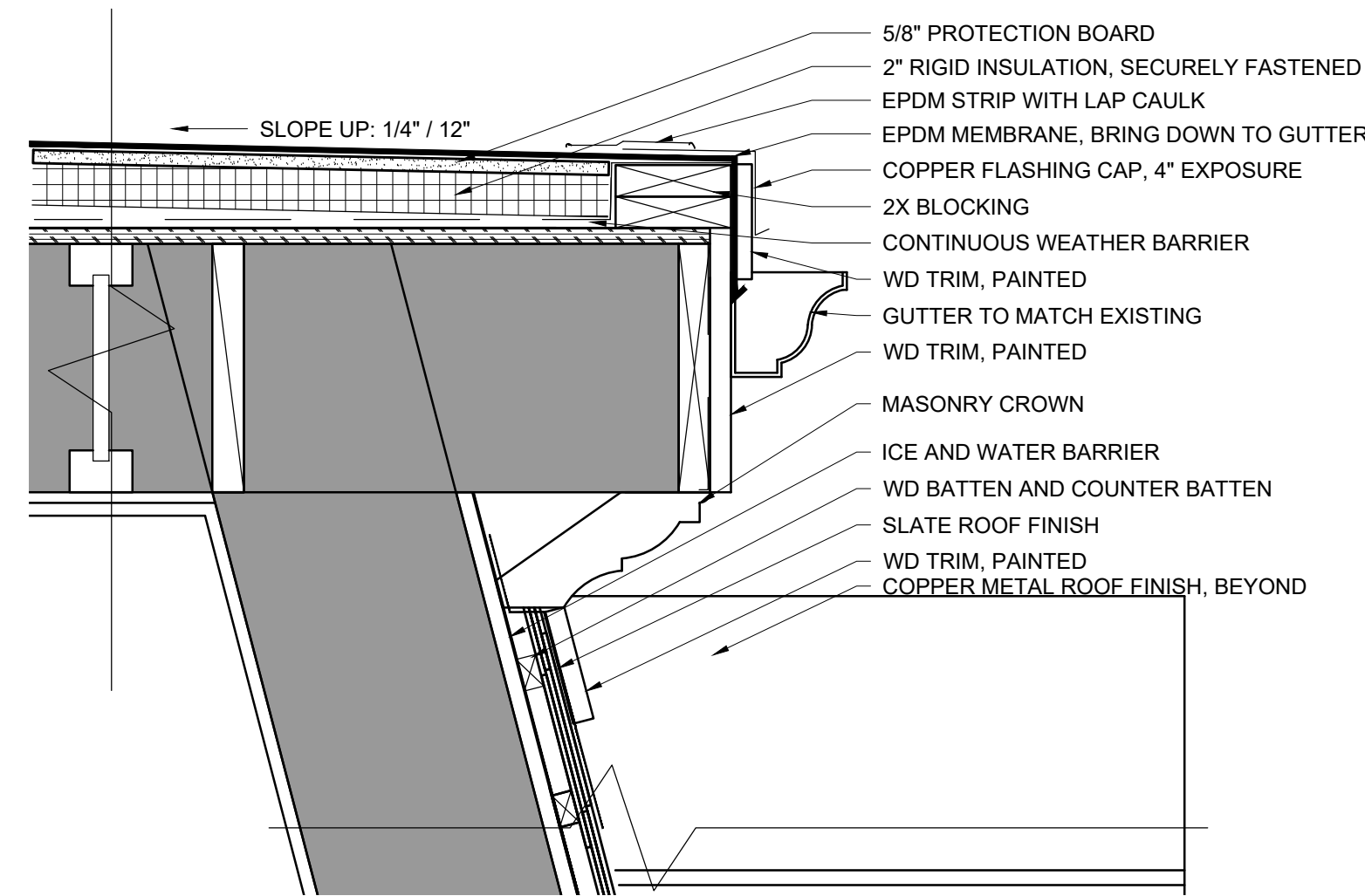
Project No: 2024121
 Scale: AS NOTED
 Date: 09-30-2024
 Drawn By: DF

Drawing Name
PROPOSED SECTIONS & FRONT STAIR PLAN

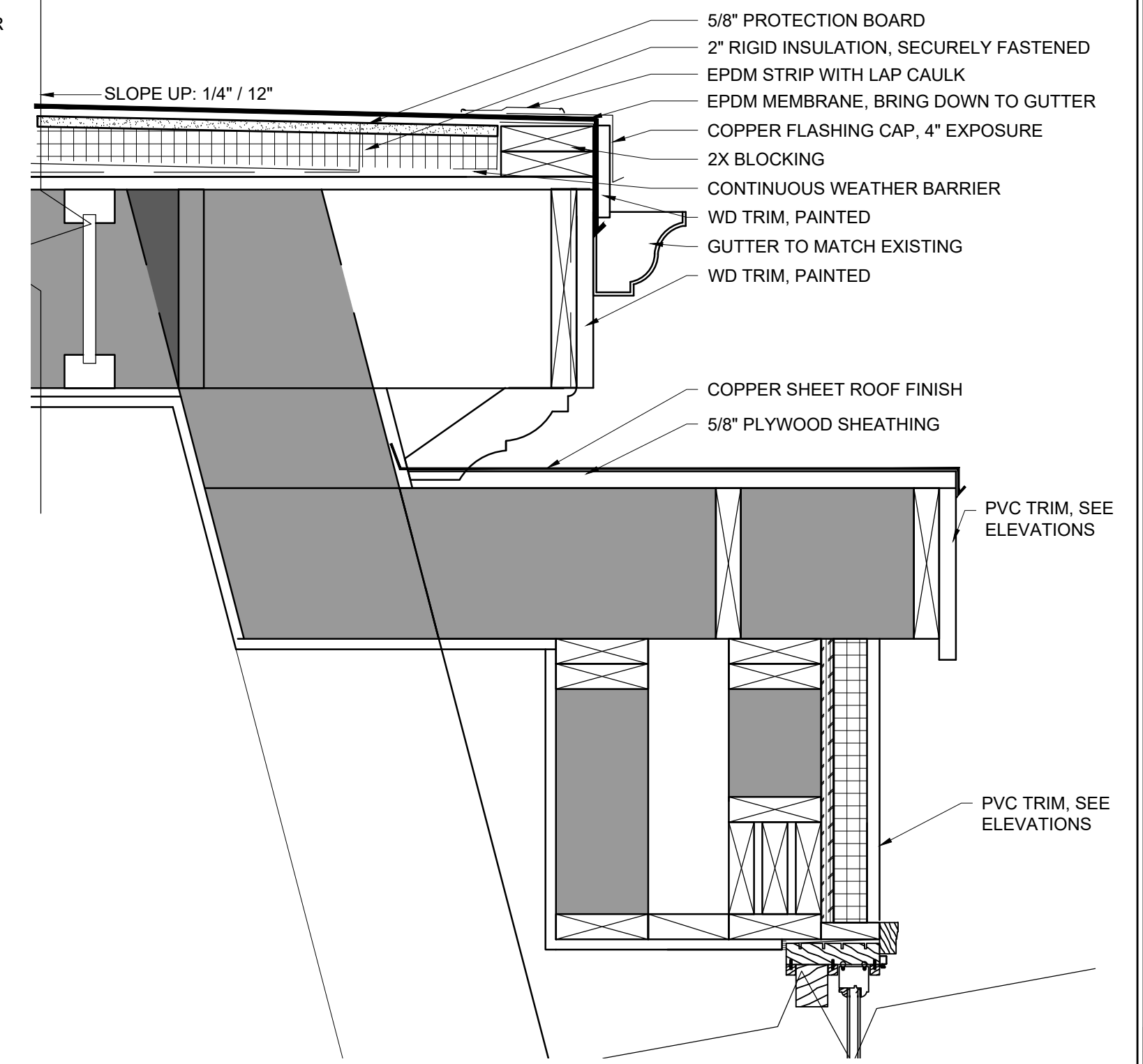
Sheet No.
A-3.1



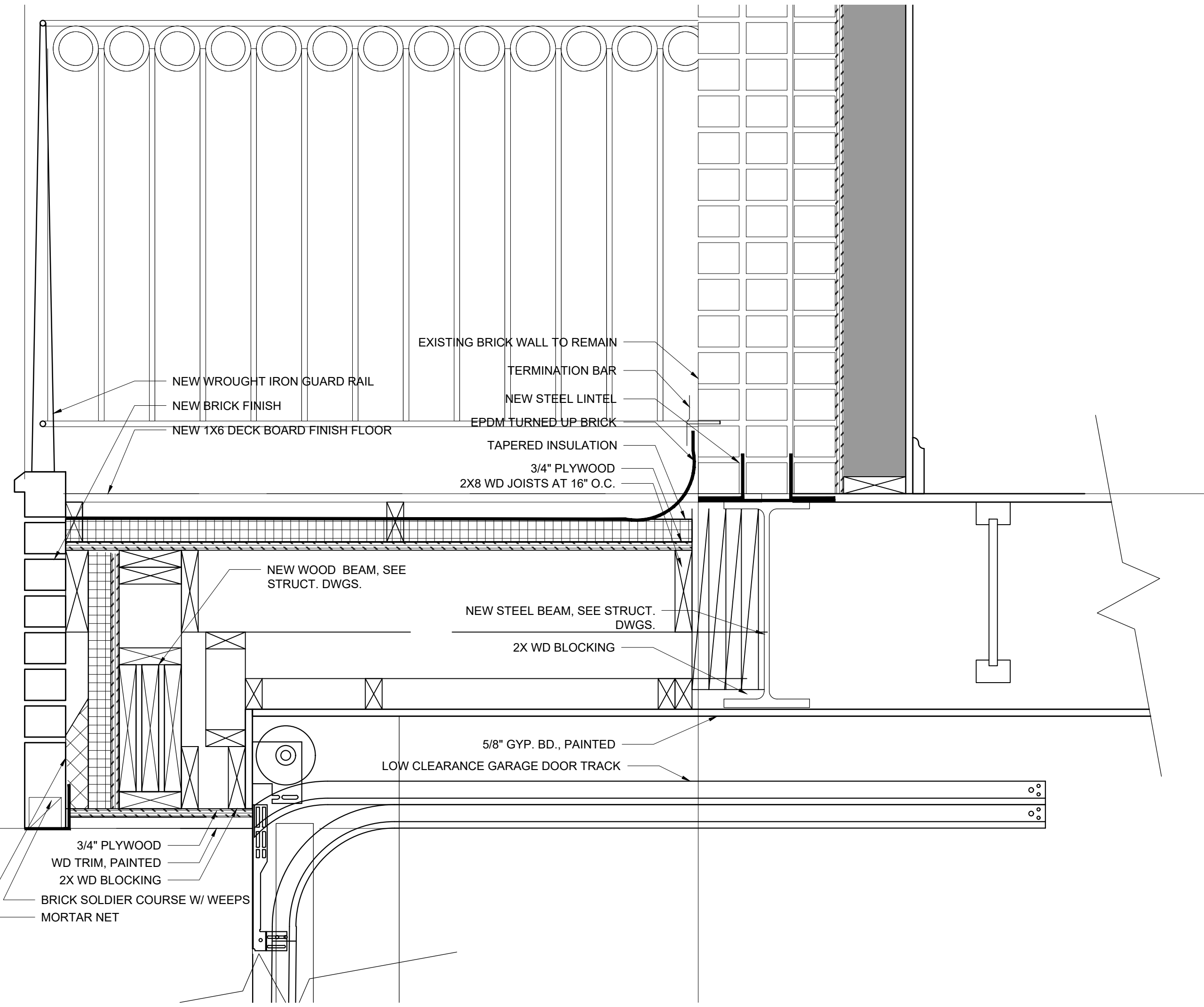
4 PROPOSED ROOF (BAY WINDOW)
1-1/2" = 1'-0"



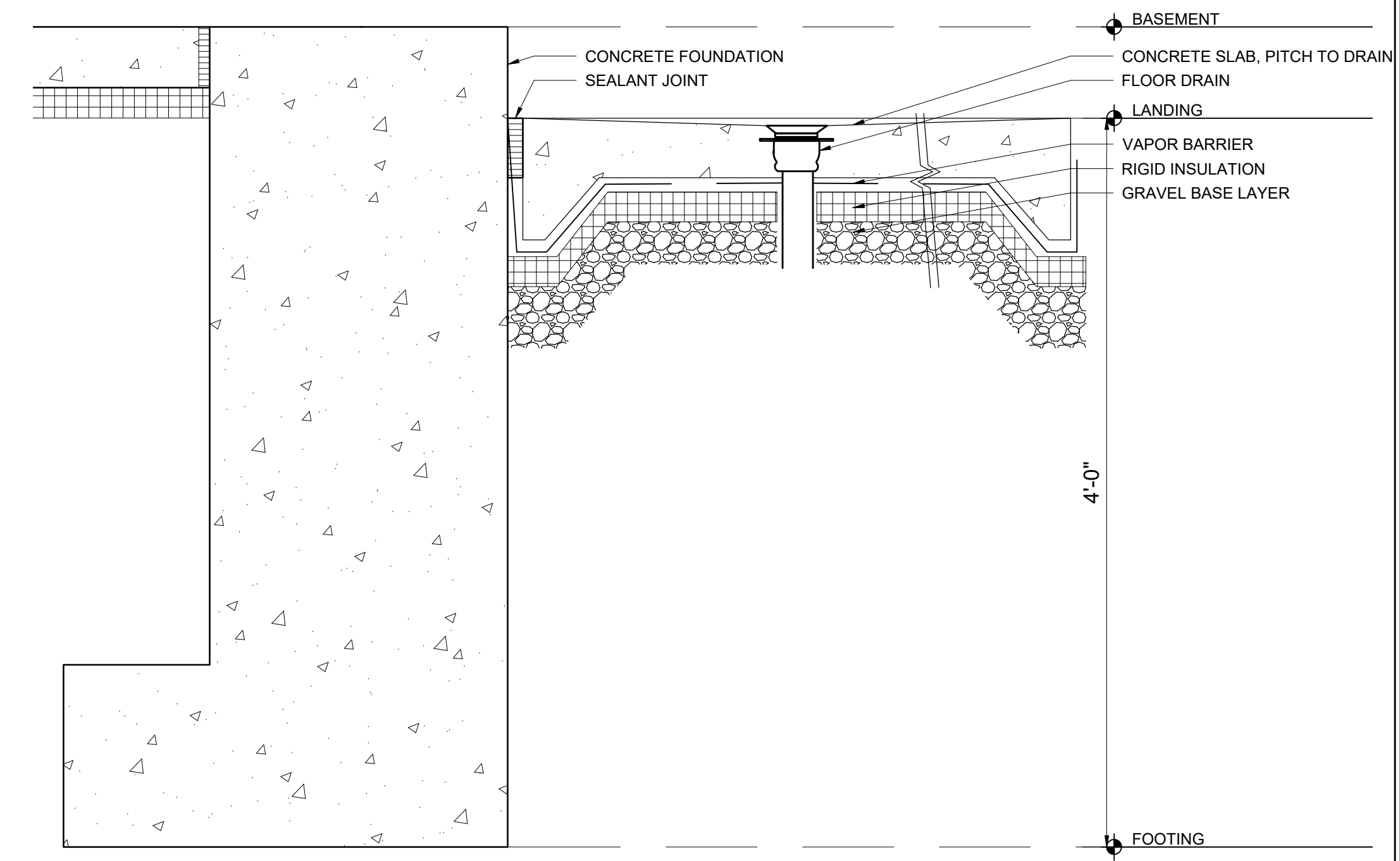
3 PROPOSED SECTION (FRONT ROOF)
1-1/2" = 1'-0"



2 PROPOSED SECTION (FRONT DORMER)
1-1/2" = 1'-0"

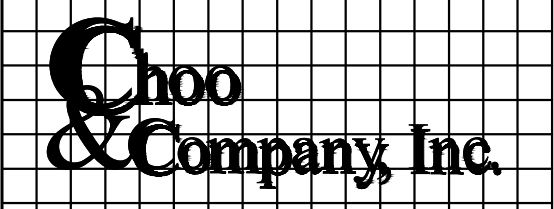


5 PROPOSED SECTION (GARAGE)
1-1/2" = 1'-0"



1 PROPOSED ENTRY (FRONT LOWER STEP)
1-1/2" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



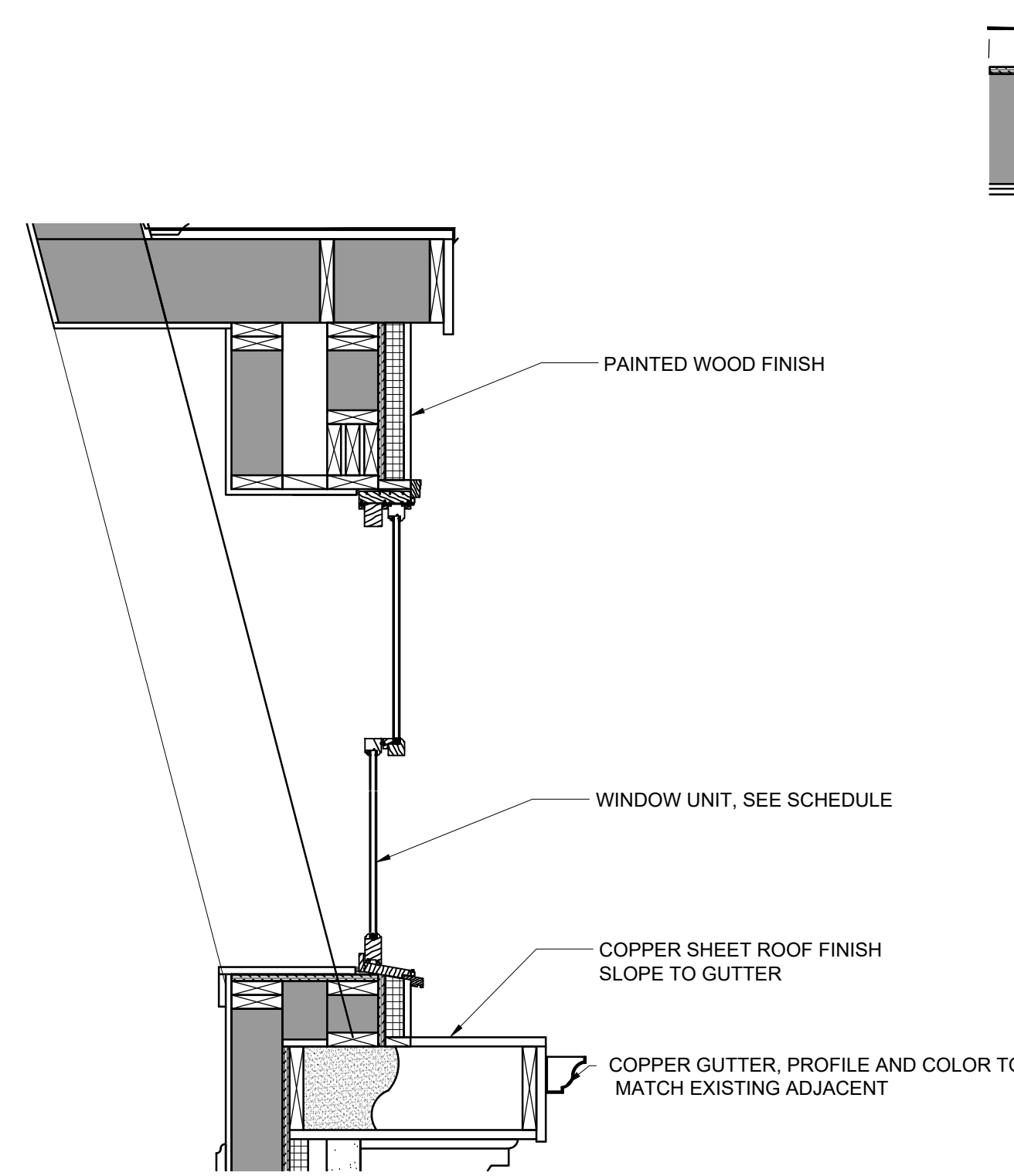
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

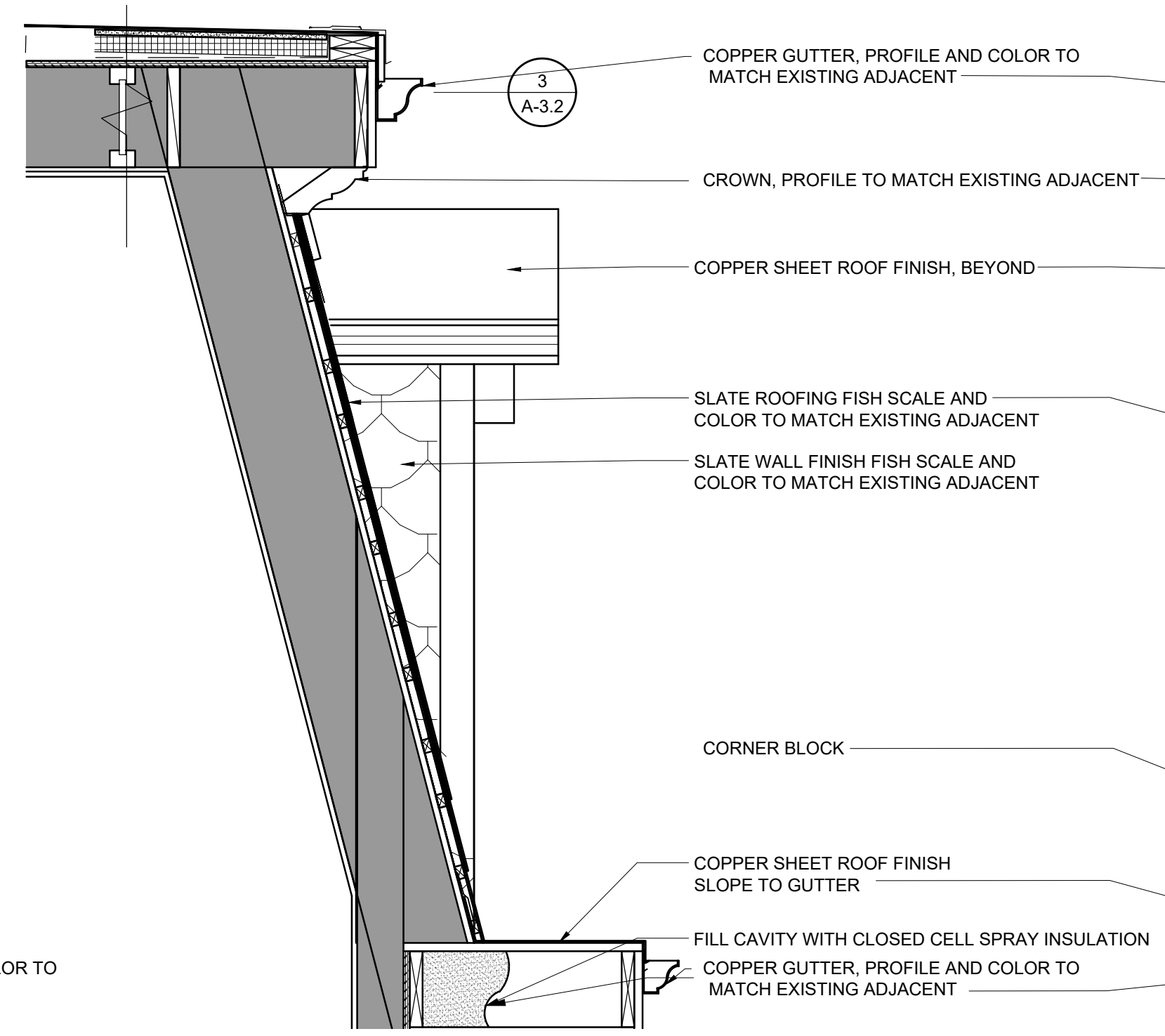
Project No: 2024121
Scale: AS NOTED
Date: 09-30-2024
Drawn By: DF

Drawing Name
PROPOSED ENLARGED DETAILS

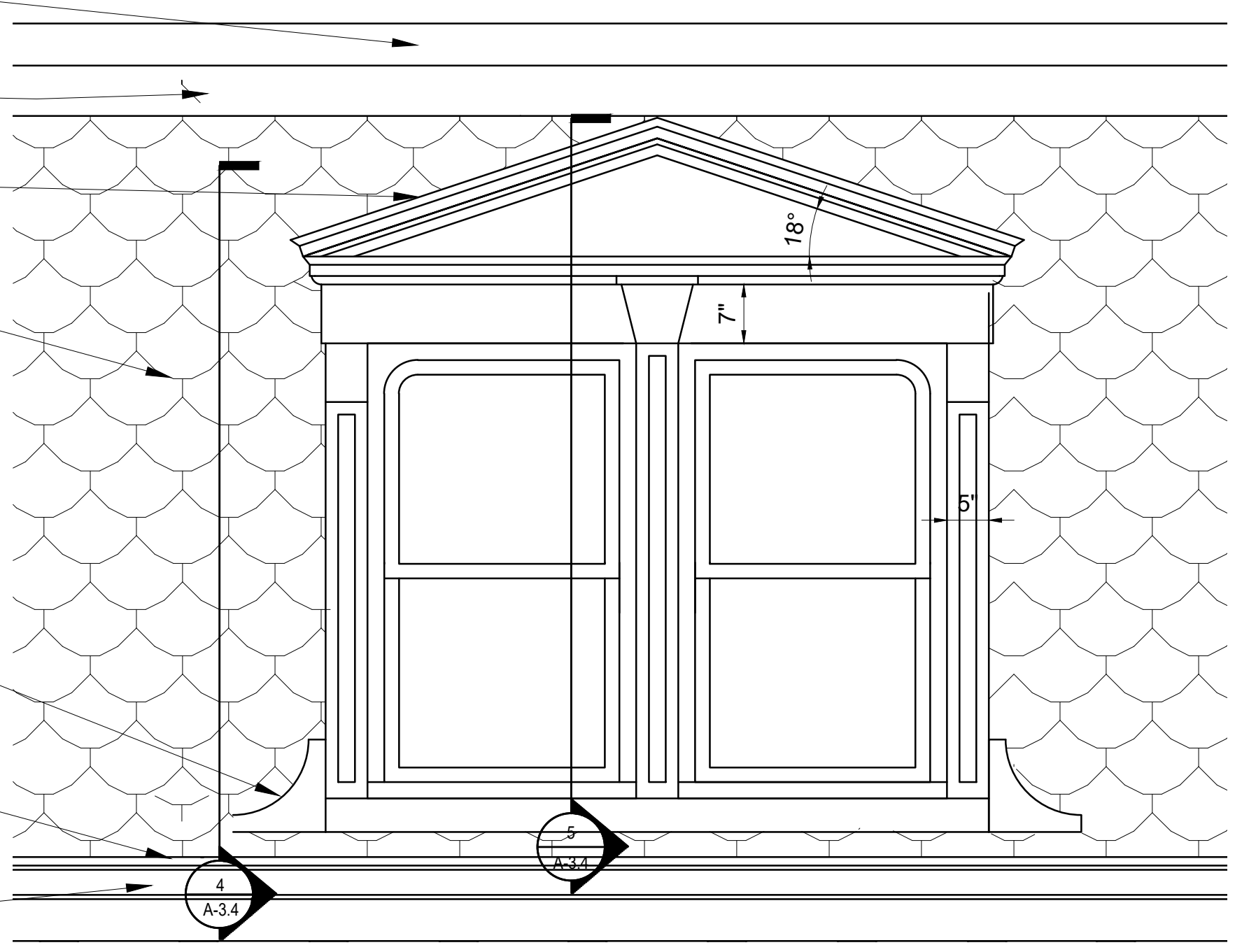
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A-3.2



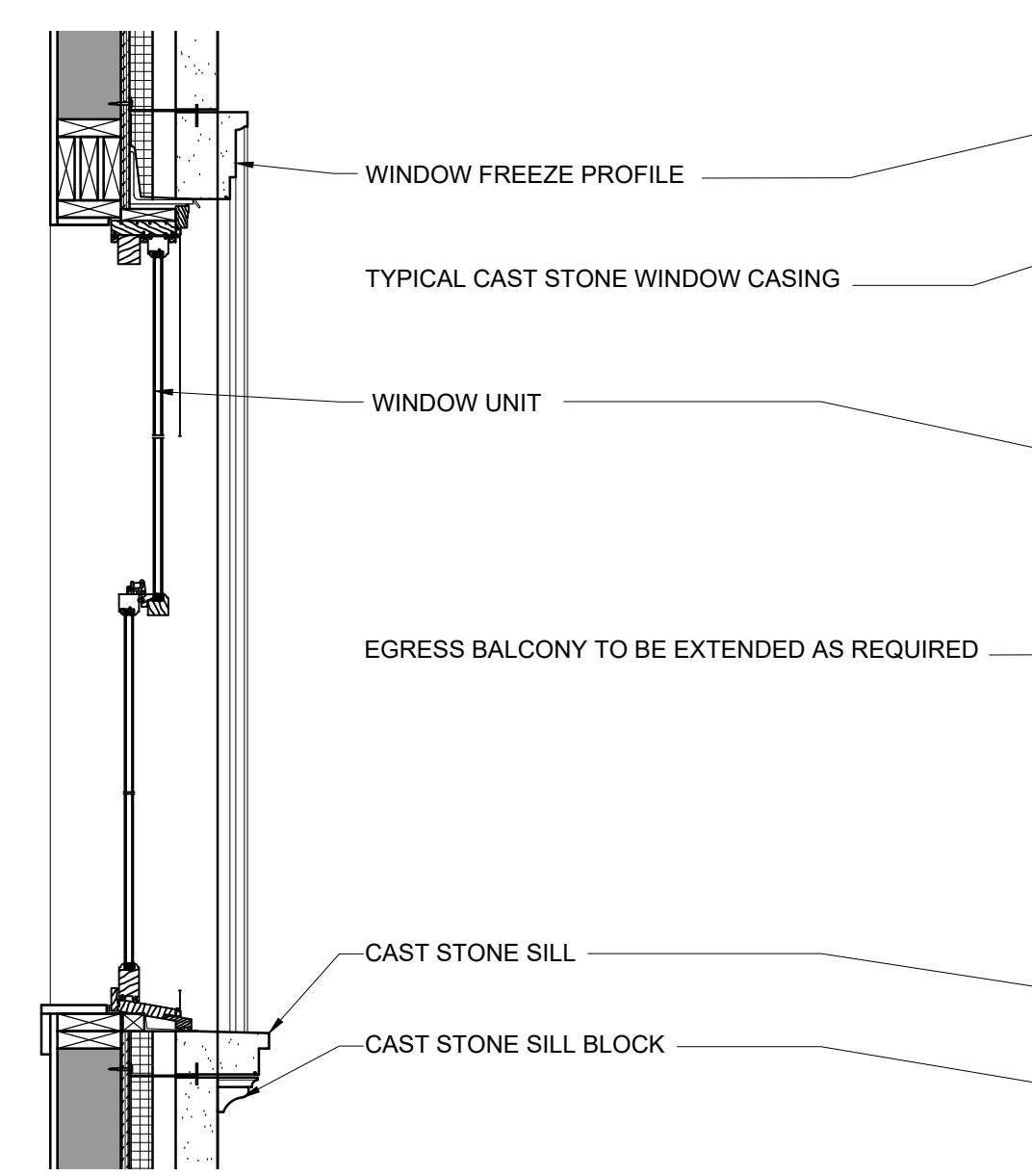
5 PROPOSED SECTION (GABLE)
3/4" = 1'-0"



4 PROPOSED SECTION (GABLE EXTERIOR)
3/4" = 1'-0"



3 PROPOSED ELEVATION (GABLE)
3/4" = 1'-0"



2 PROPOSED SECTION (WINDOW)
3/4" = 1'-0"



1 PROPOSED ELEVATION (WINDOW)
3/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

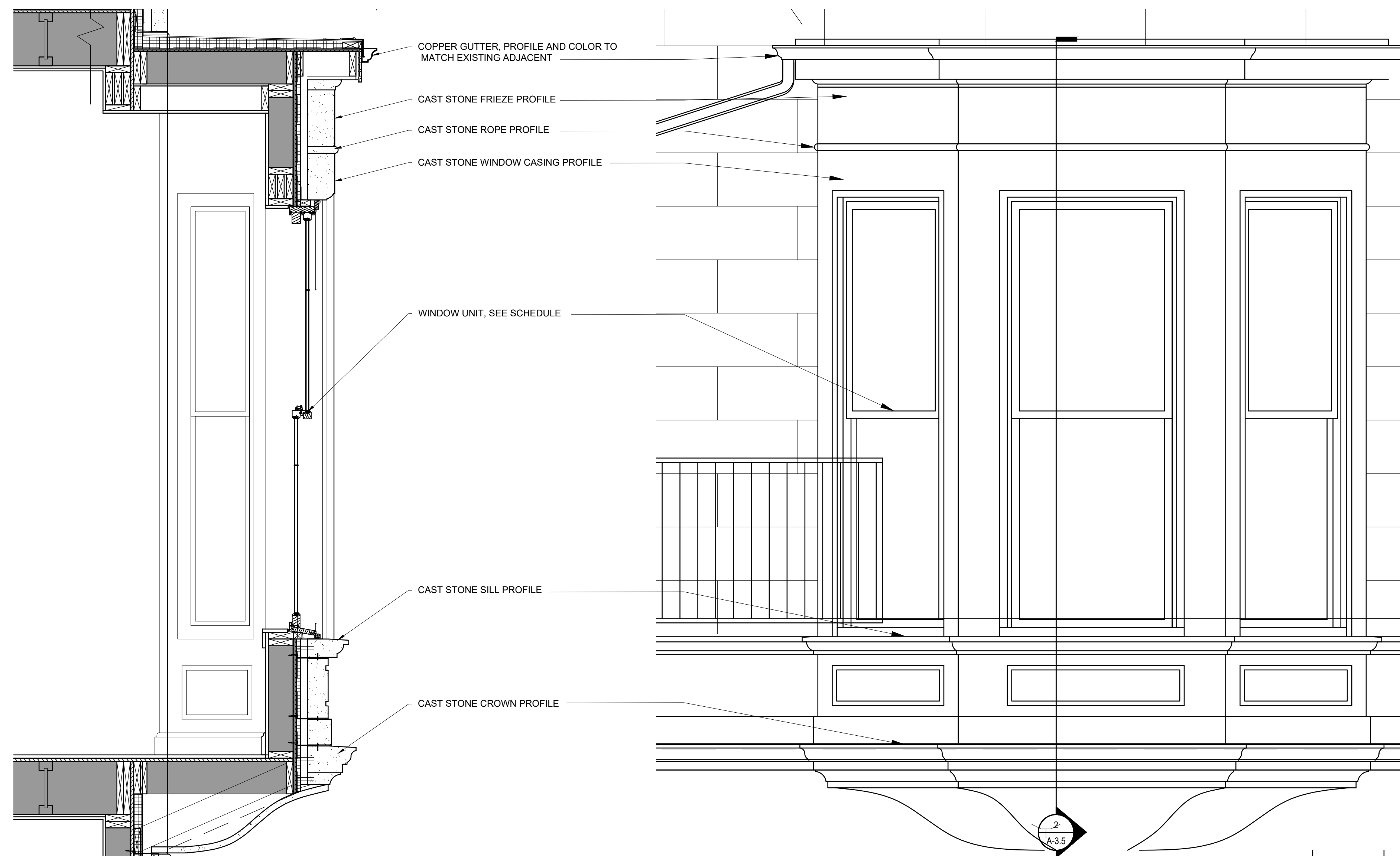
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 One Billings Road Quincy, MA 02171
 617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
PROPOSED WINDOW ELEVATION & SECTION

Sheet No.
A-3.4

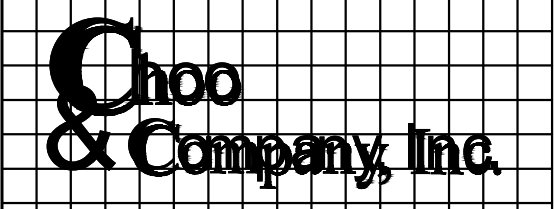


2 PROPOSED SECTION (BAY WINDOW)
3/4" = 1'-0"

1 PROPOSED ELEVATION (BAY WINDOW)
3/4" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



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No.	Revision Date

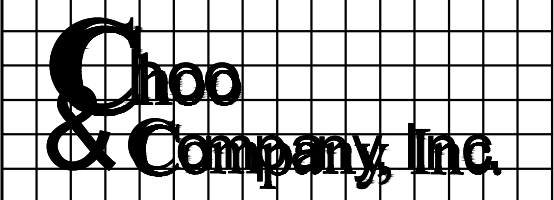
Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED
BAY WINDOW
ELEVATION &
SECTION

Sheet No.
A-3.5

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



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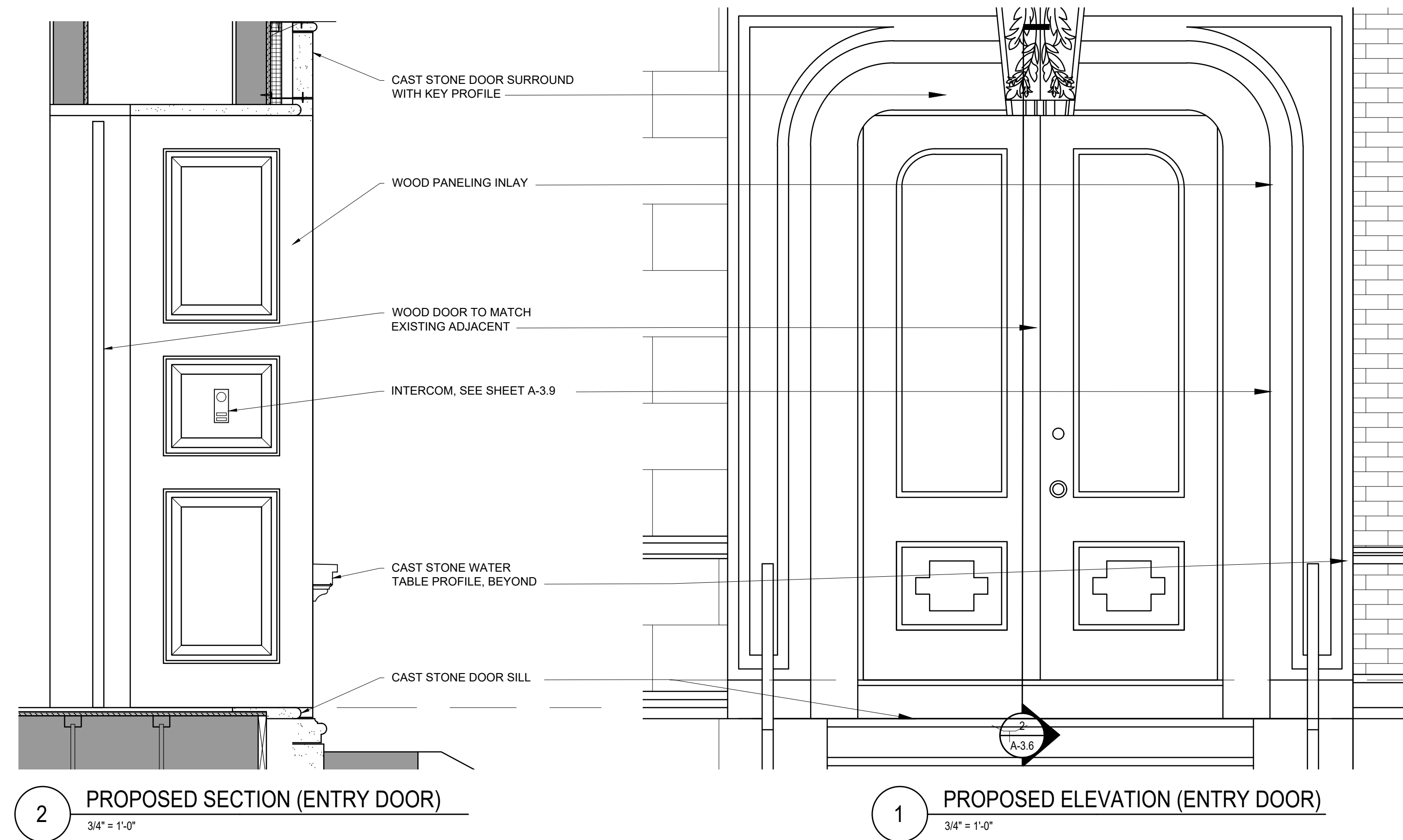
No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED
ENTRY DOOR
ELEVATION &
SECTION

Sheet No.

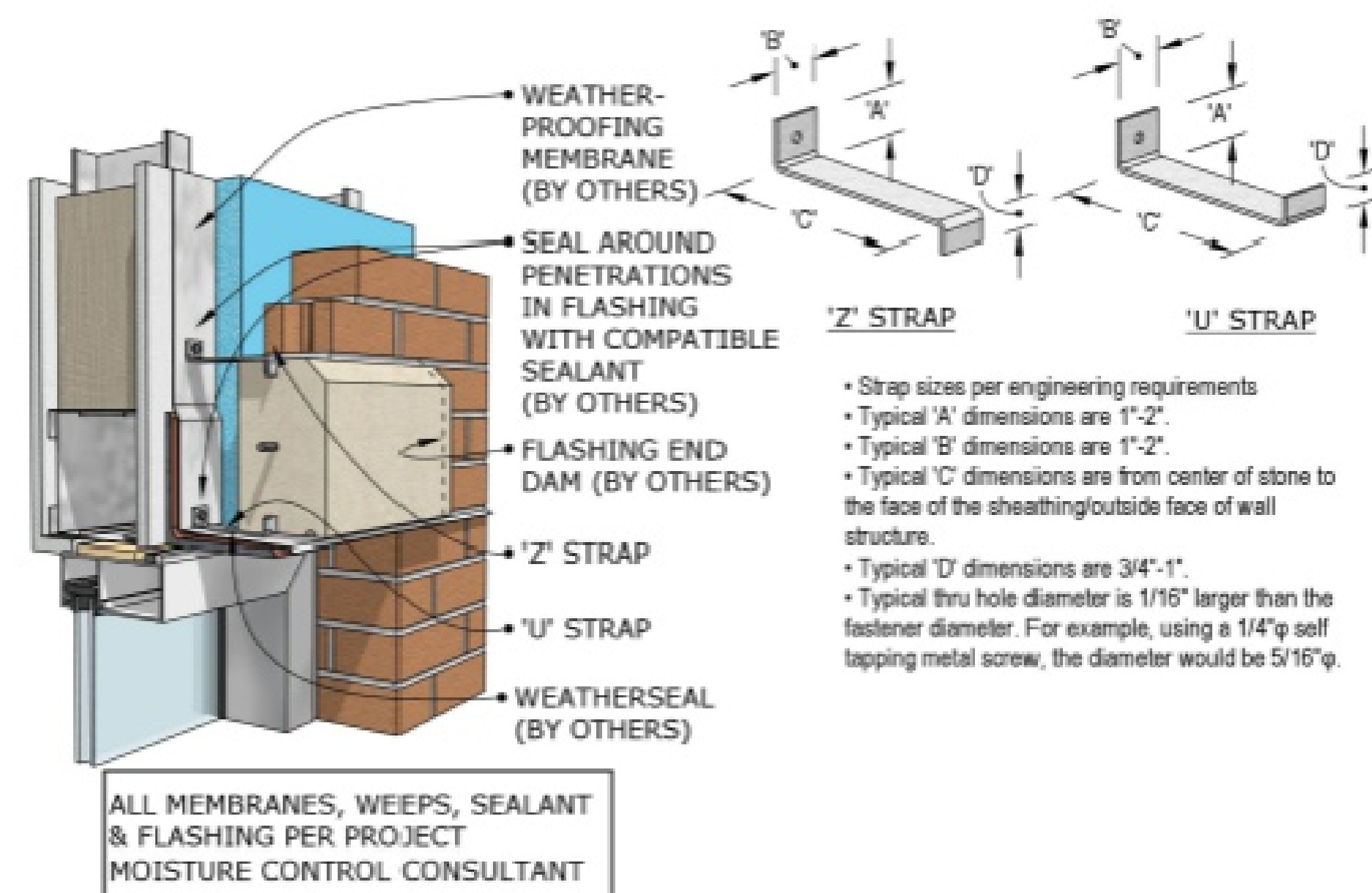
A-3.6



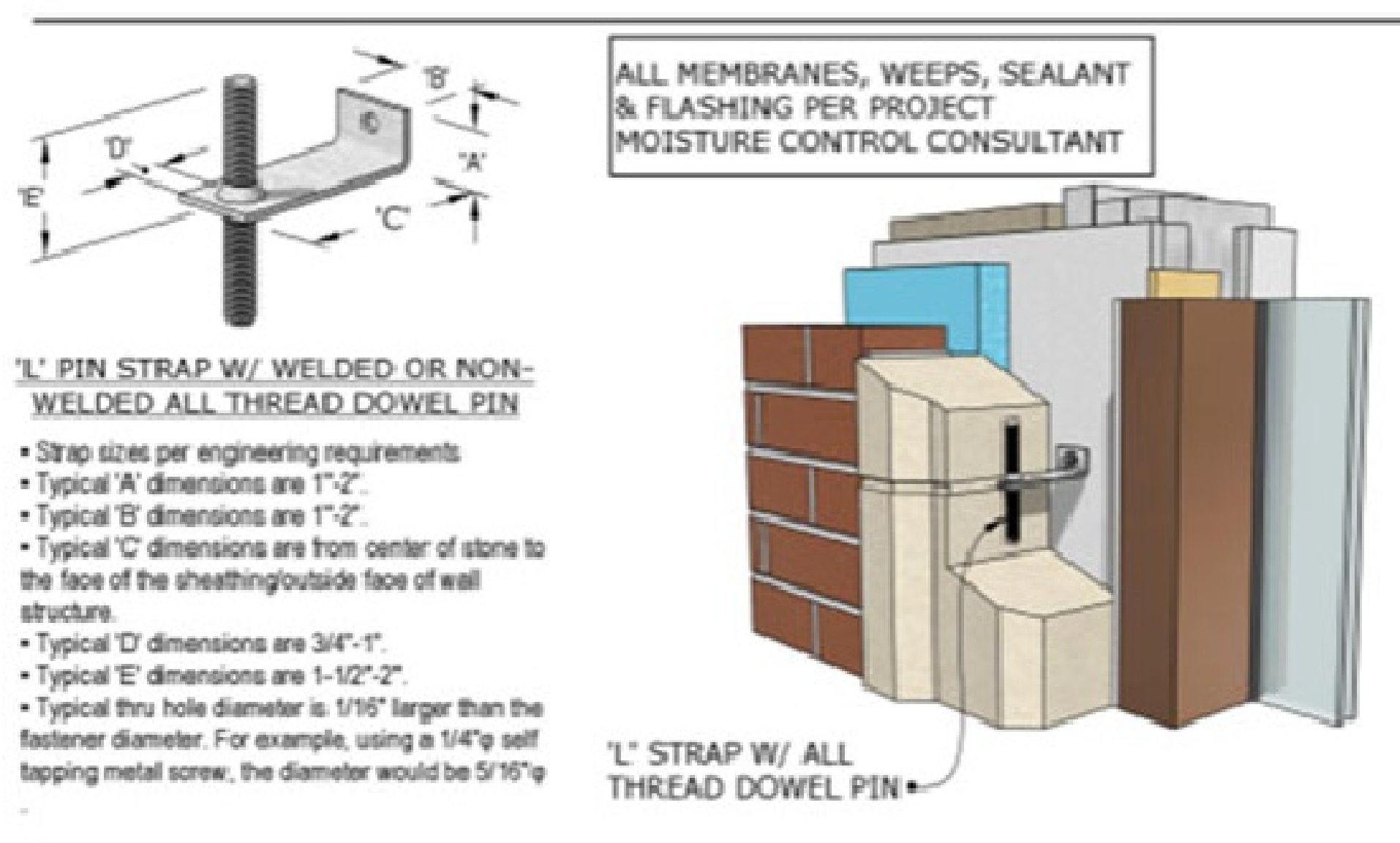
2 PROPOSED SECTION (ENTRY DOOR)
3/4" = 1'-0"

1 PROPOSED ELEVATION (ENTRY DOOR)
3/4" = 1'-0"

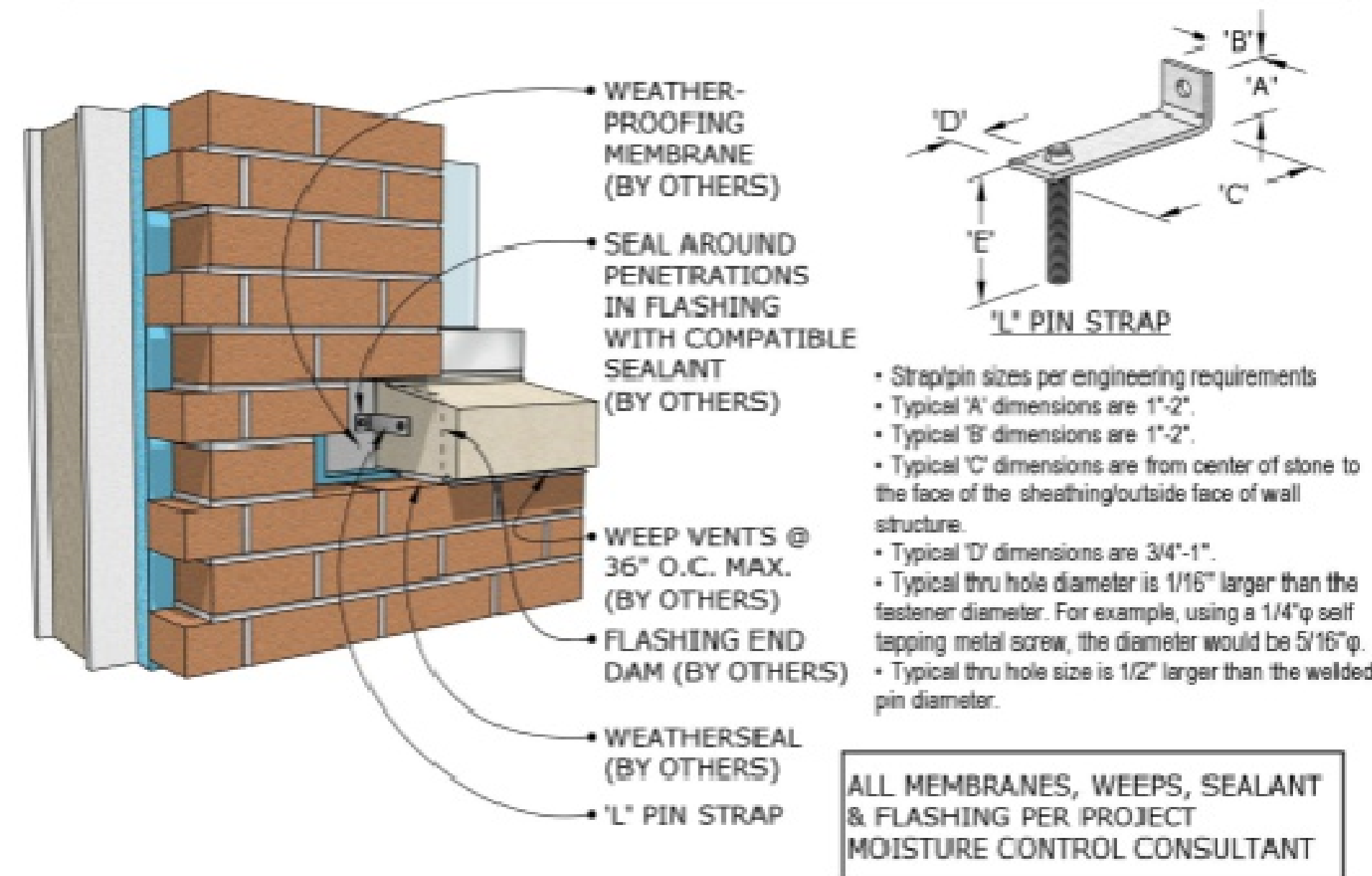
HEADER - DETAIL #1



JAMB - DETAIL #1



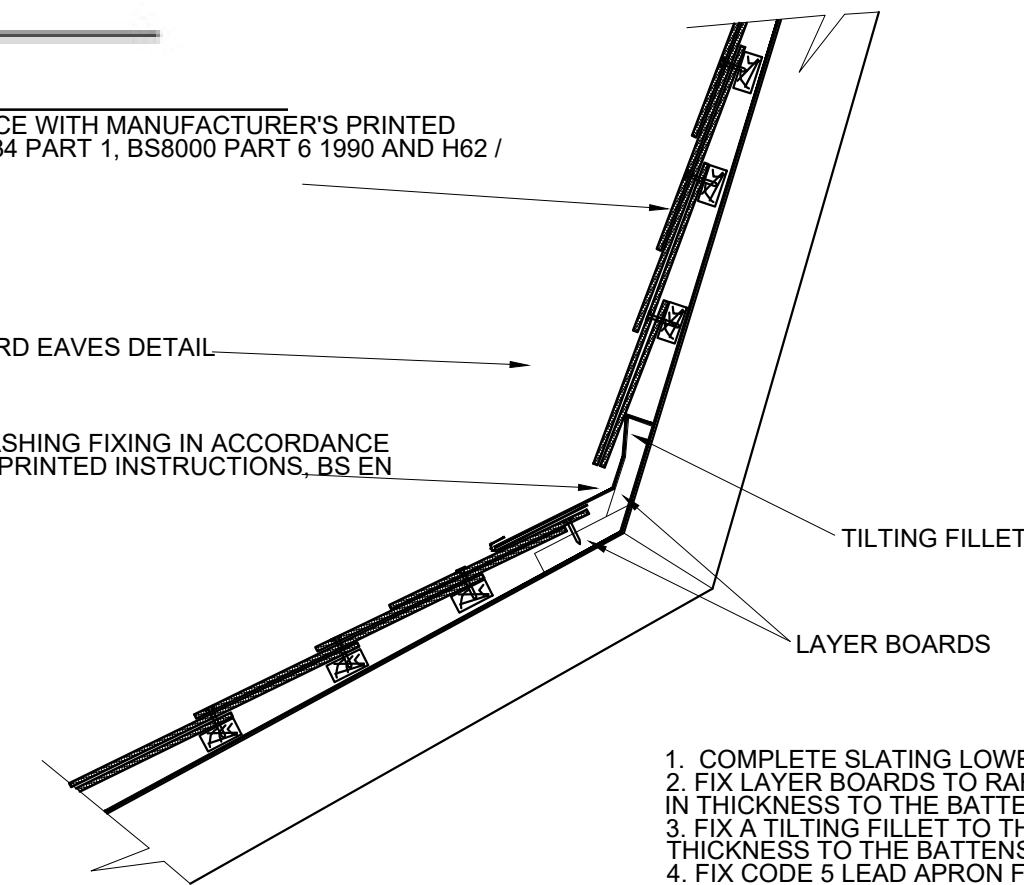
SILL - DETAIL #1



FIXING IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS, BS5534 PART 1, BS8000 PART 6 1990 AND H62 / 210 AND 275

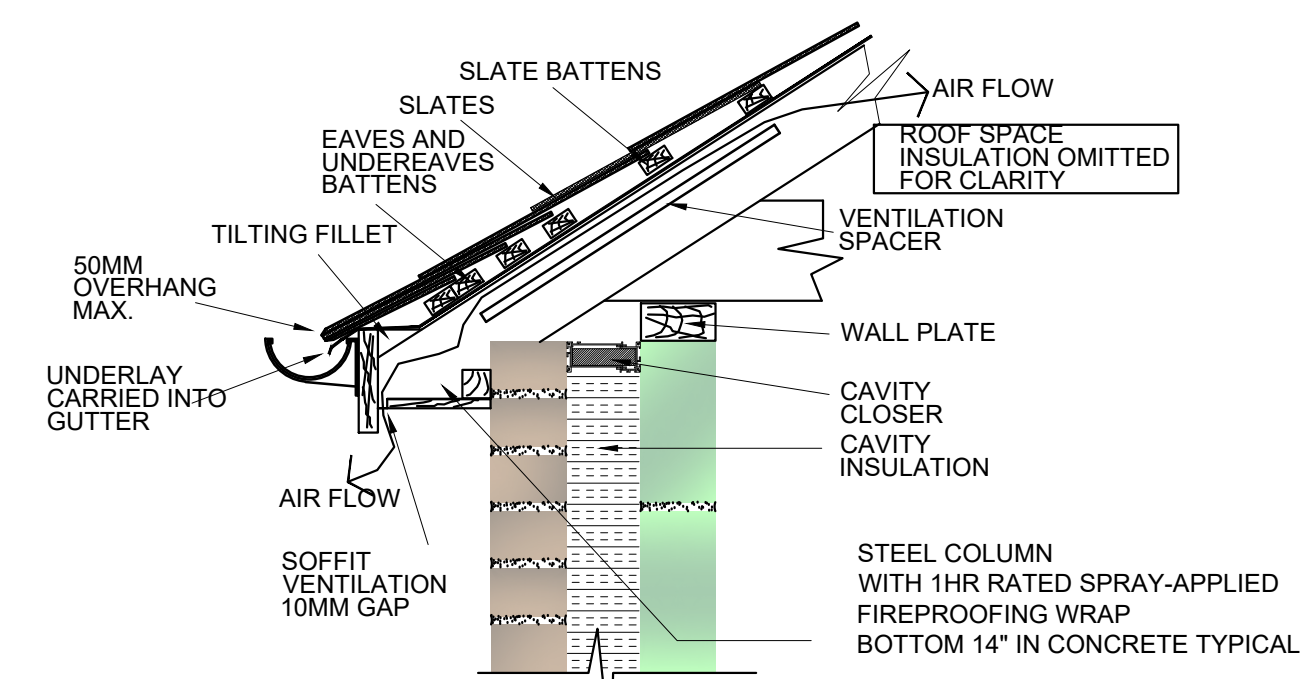
SLATING AS STANDARD EAVES DETAIL

CODE 5 LEAD APRON FLASHING FIXING IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS, BS EN 12588:206



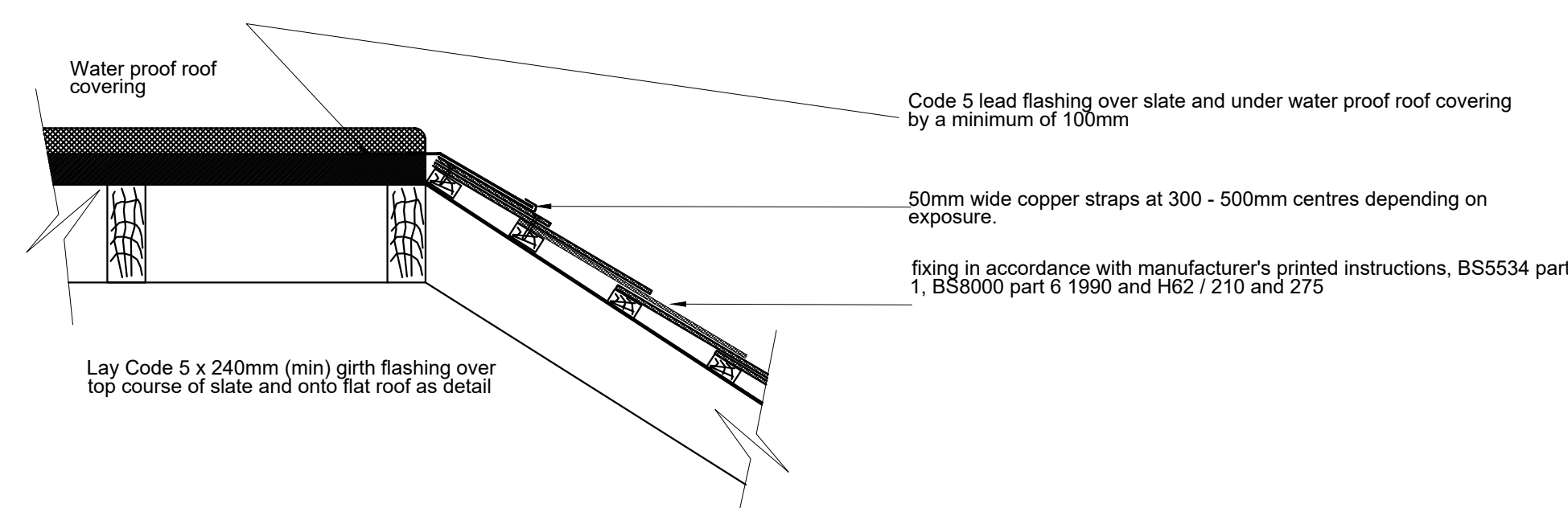
1. COMPLETE SLATING LOWER SLOPE AS FOR STANDARD ROOF UPPER EDGE.
2. FIX LAYER BOARDS TO RAFTERS AT THE INTERSECTION OF THE TWO ROOFS, EQUAL IN THICKNESS TO THE BATTENS.
3. FIX A TILTING FILLET TO THE TOP EDGE OF THE UPPER LAYER BOARD, EQUAL IN THICKNESS TO THE BATTENS.
4. FIX CODE 5 LEAD APRON FLASHING OVER THE TILTING FILLET AND DRESS DOWN OVER THE HEADS OF THE SLATE BELOW BY AT LEAST 150MM. FIX COPPER STRAPS AT 300 - 500MM CENTRES.
5. SLATE AND BATTEN UPPER SLOPE AS STANDARD EAVES WITH THE BOTTOM COURSE PROJECTING BELOW THE TILTING FILLET BY 50 TO 60MM.

2 ENLARGED SLATE SECTIONS (GENERAL)
1-1/2" = 1'-0"

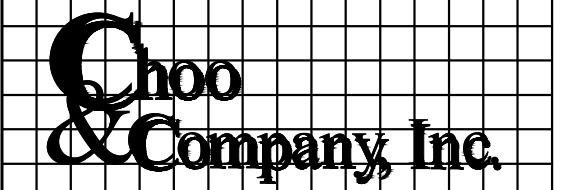


1. FIX THE UNDERLAY TO EXTEND OVER THE TILTING FILLET AND FASCIA BOARD INTO THE GUTTER. THE UNDERLAY SHOULD OVERHANG THE FASCIA BOARD BY AT LEAST 50MM.
2. FIX THE FIRST FULL COURSE BATTEN (EAVES BATTEN) SO THAT THE TAILS OF THE SLATES IN THE EAVES AND THE UNDEREAVES COURSES ALIGN. FIX THE UNDEREAVES BATTEN IMMEDIATELY BELOW THE EAVES BATTEN.
3. LAY THE SLATES FORMING THE UNDERCOURSE ON THEIR BACKS AND HEAD NAIL THEM TO THE UNDEREAVES BATTEN.
4. FIX THE EAVES COURSE WITH THE TAILS OF THE SLATES ALIGNING WITH THE TAILS OF THE SLATES IN THE UNDEREAVES COURSE.

1 ENLARGED SLATE SECTIONS (GENERAL)
1-1/2" = 1'-0"



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



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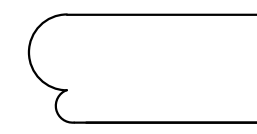
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Scale: AS NOTED
Date: 09-30-2024
Drawn By: DF

Drawing Name

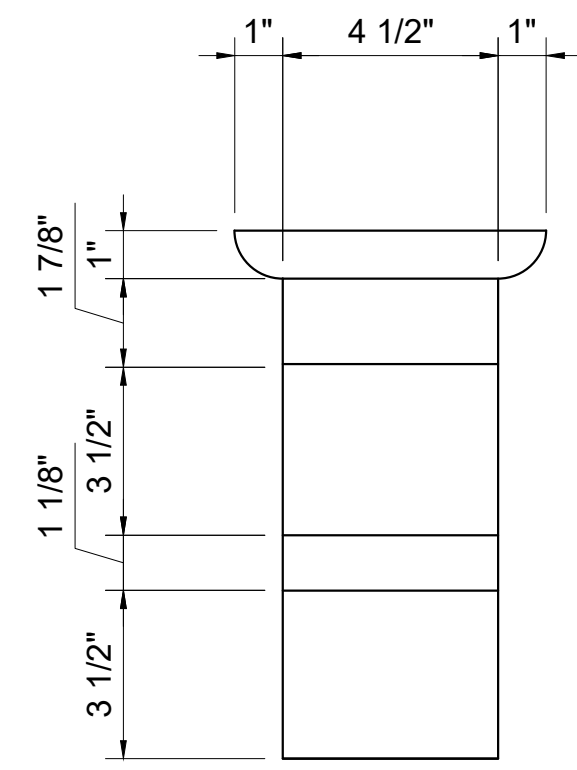
GENERAL SLATE & MASONRY DETAILS

Sheet No.

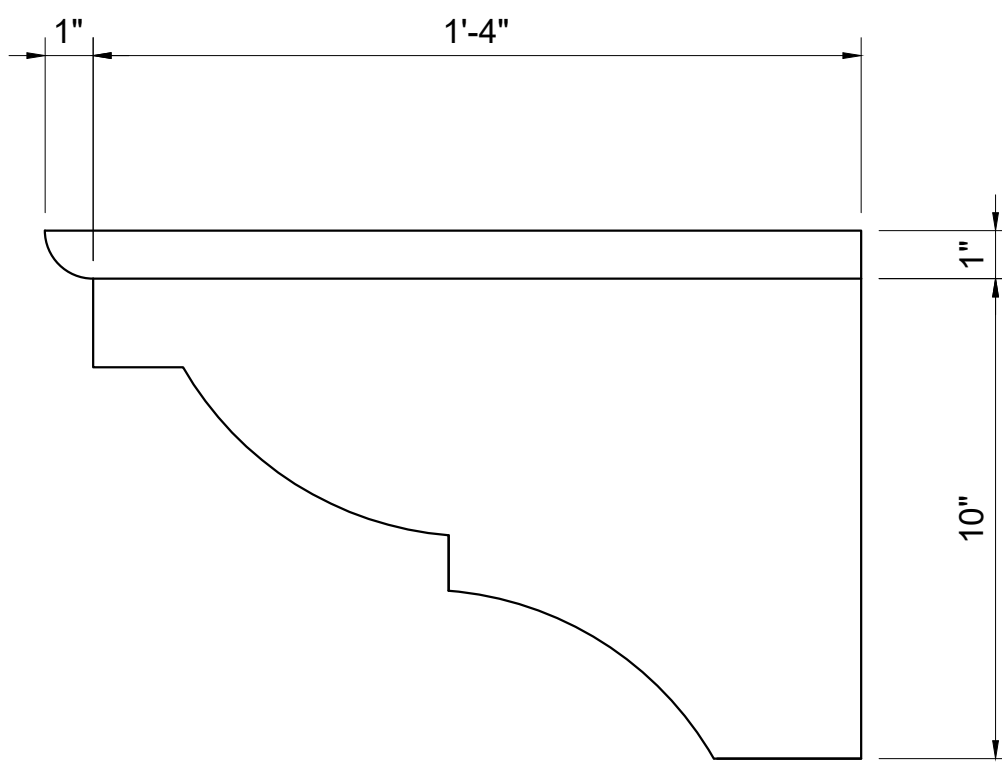
A-3.7



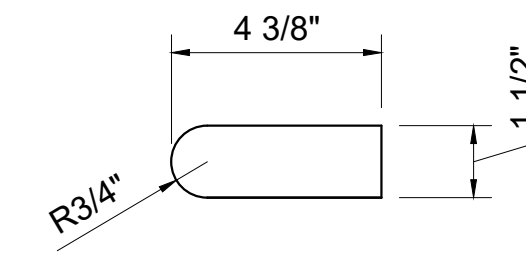
ROPE PROFILE
TOP OF WALL



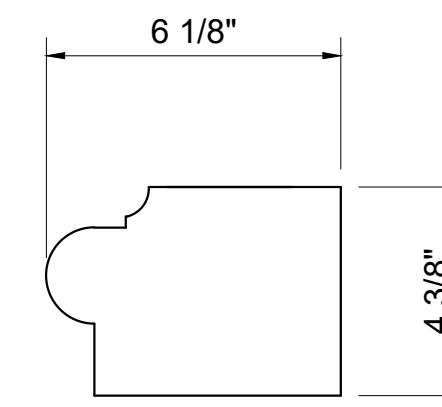
CORNICE BRACKET
FRONT ELEVATION



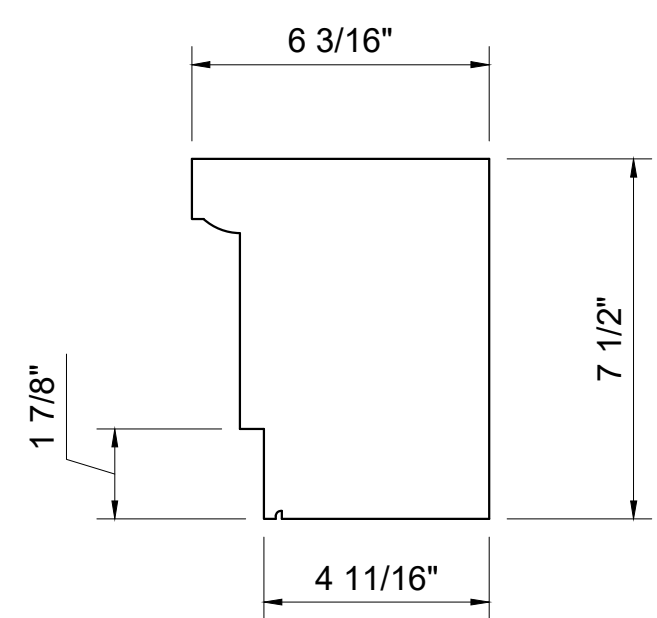
CORNICE BRACKET
SIDE ELEVATION



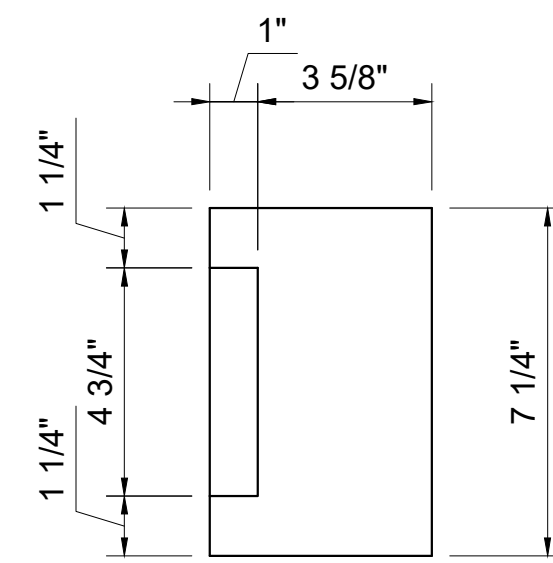
BAND BELOW ORIEL



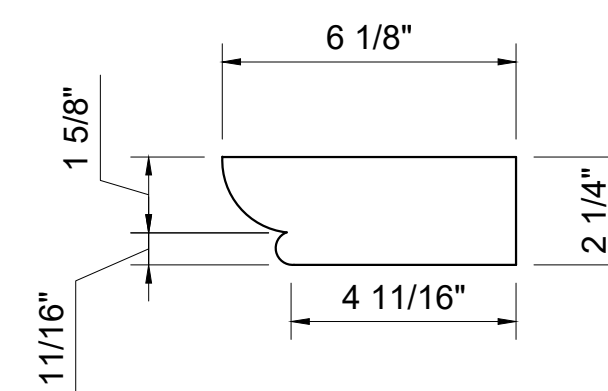
FIRST FLOOR BAND



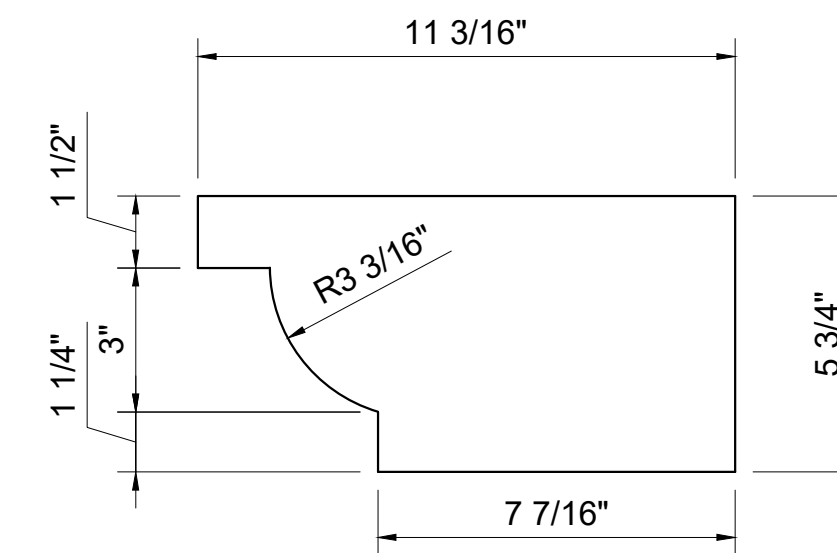
WINDOW CASING
PROFILE



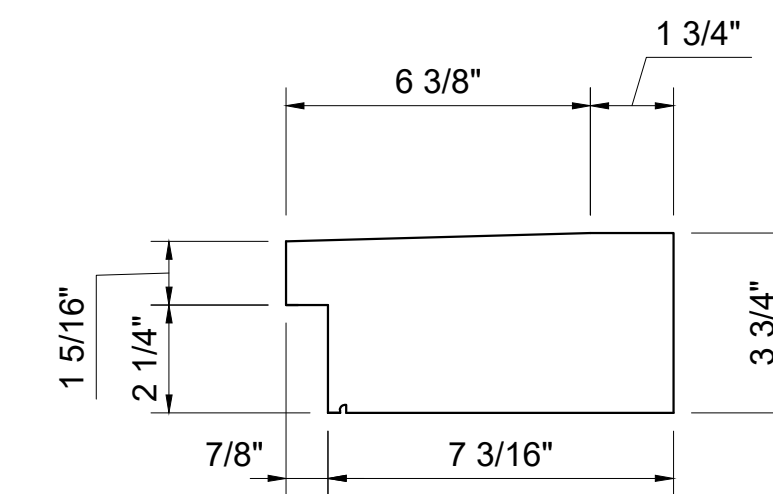
WINDOW FRIEZE
PROFILE



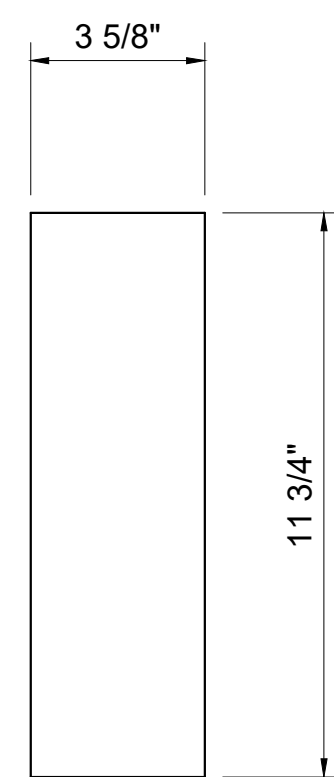
WINDOW BED
PROFILE



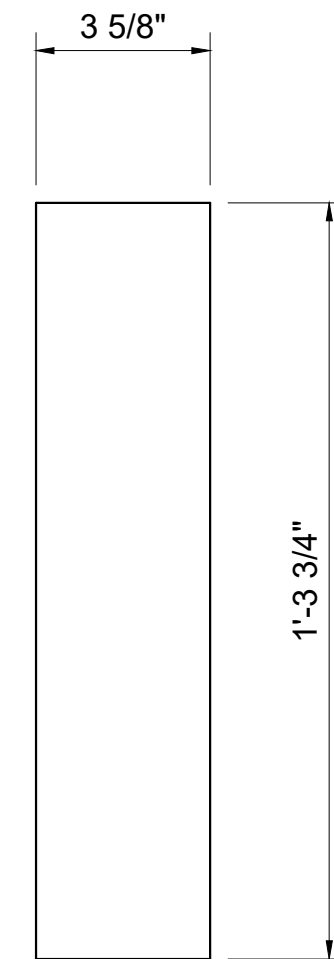
WINDOW CROWN
PROFILE



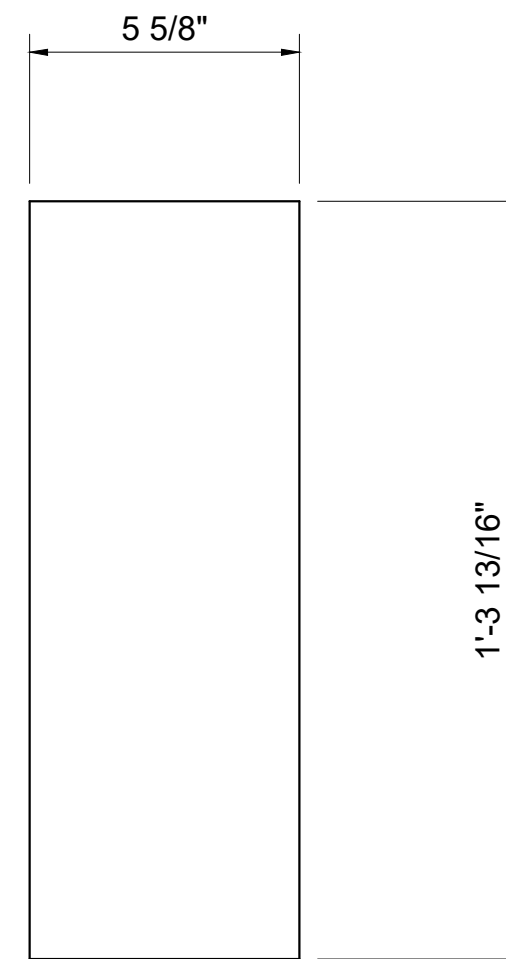
WINDOW SILL PROFILE



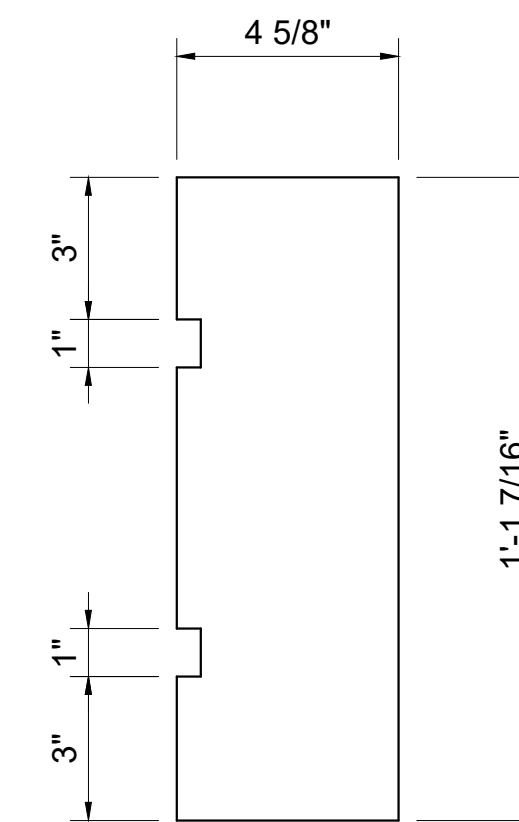
TYPICAL VENEER UNIT
3 5/8" x 11 3/4" x 1-11 3/4"



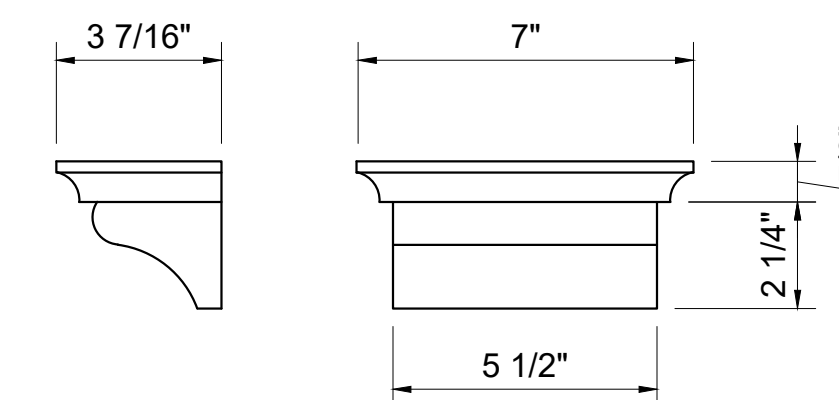
FIRST FLOOR
VENEER UNIT
3 5/8" x 1'-3 3/4" x 1'-11 3/4"



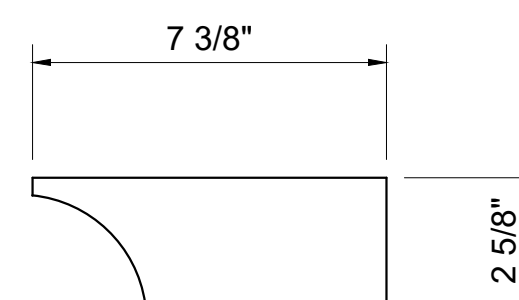
BASEMENT LEVEL
VENEER UNIT
5 5/8" x 1'-3 3/4" x 1'-11 3/4"



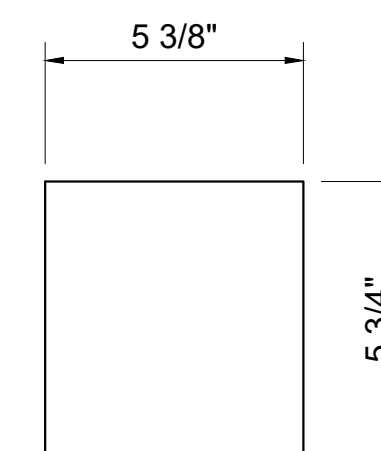
BAY WINDOW
PANEL PROFILE



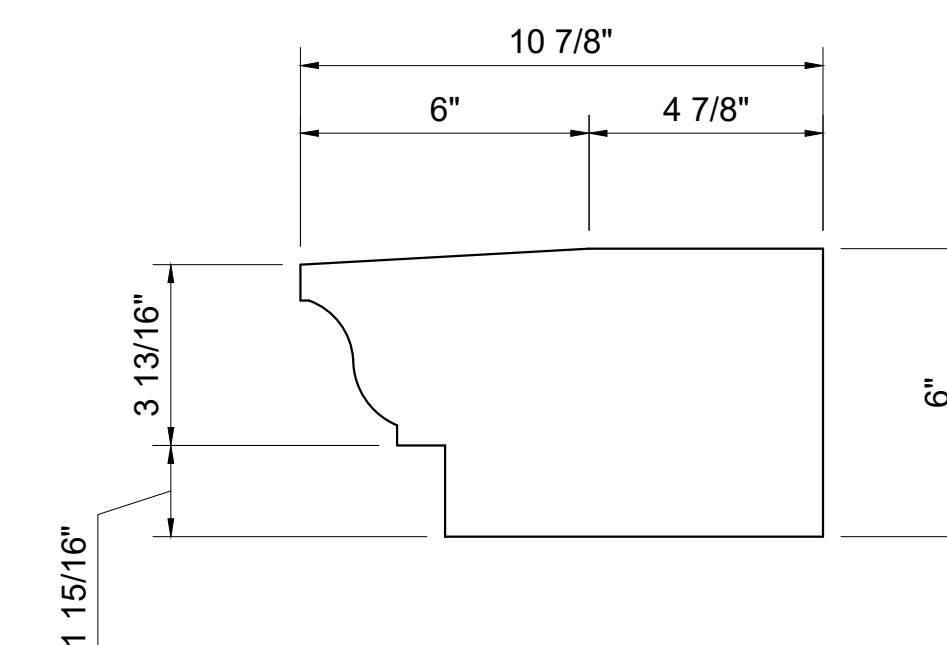
SCOTIA & SILL BLOCK



BAY WINDOW
ORIEL COVE



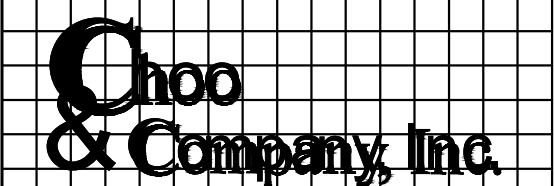
BAY WINDOW
BASE BAND



BAY WINDOW
ORIEL CROWN

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



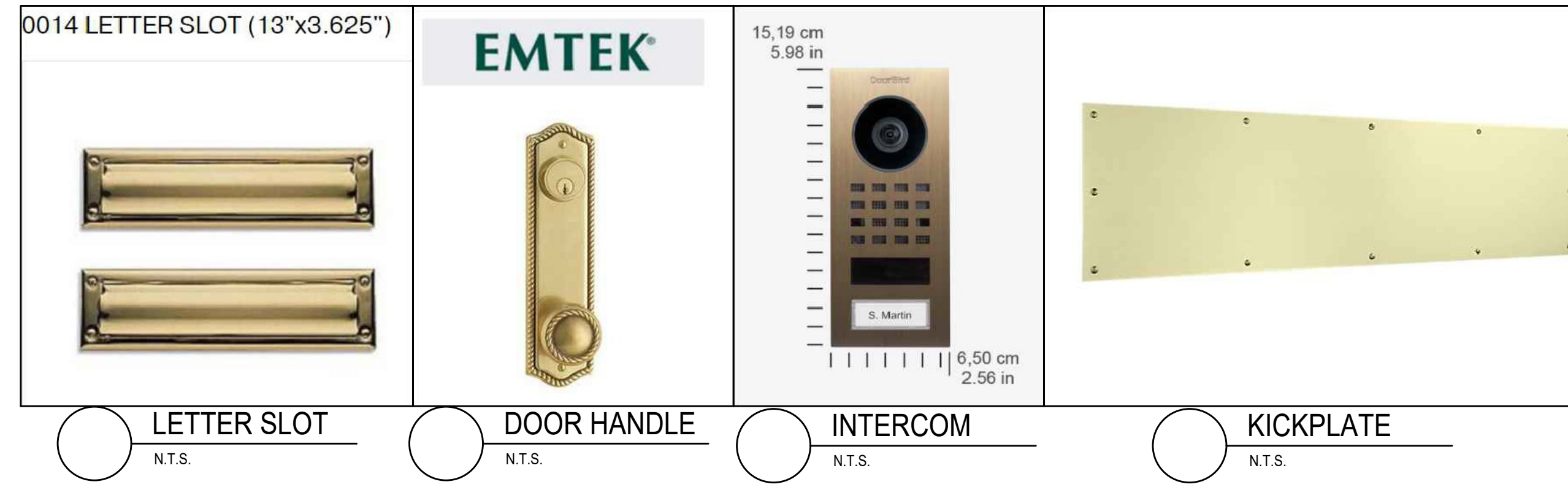
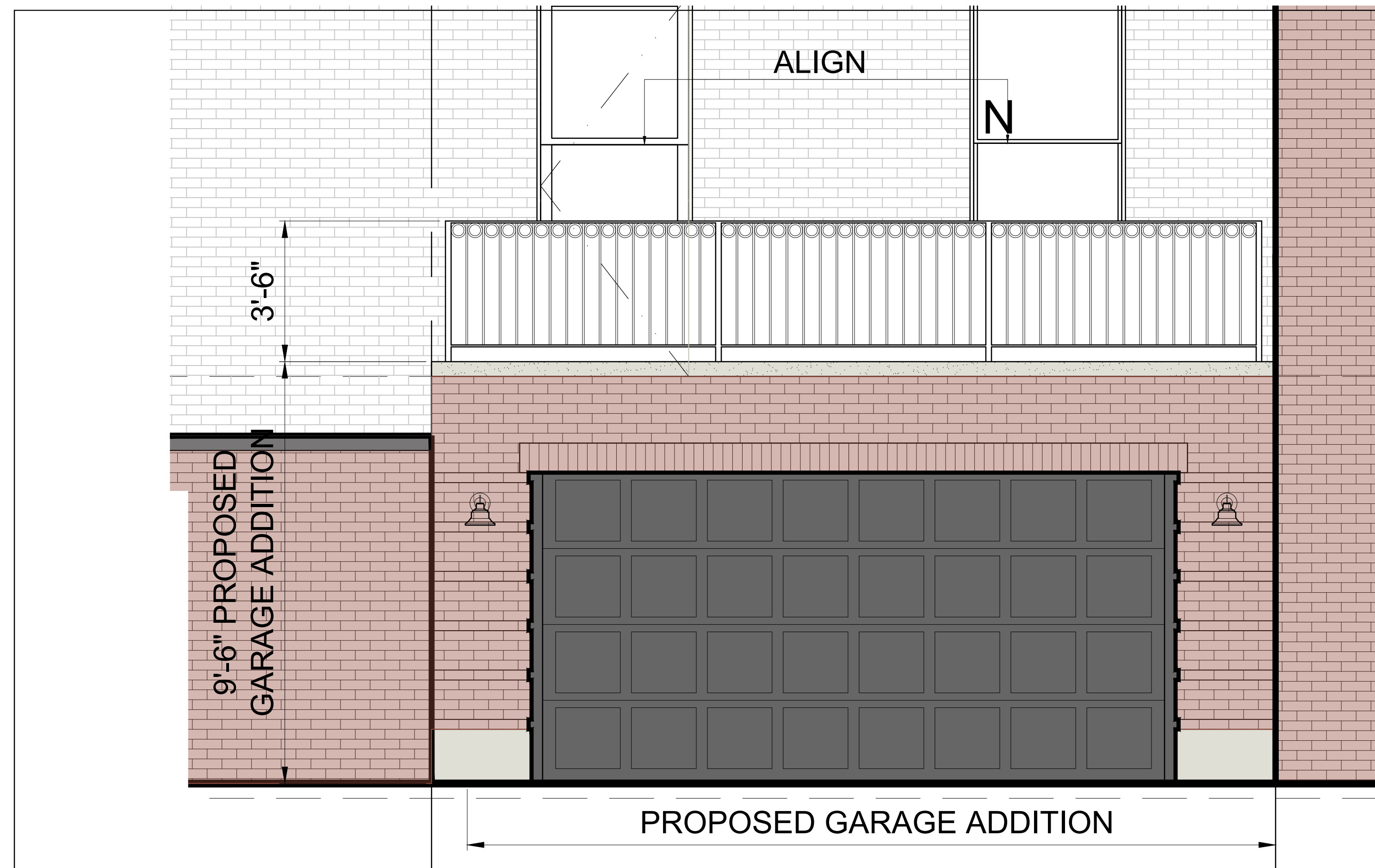
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No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED MASONRY SECTION PROFILES

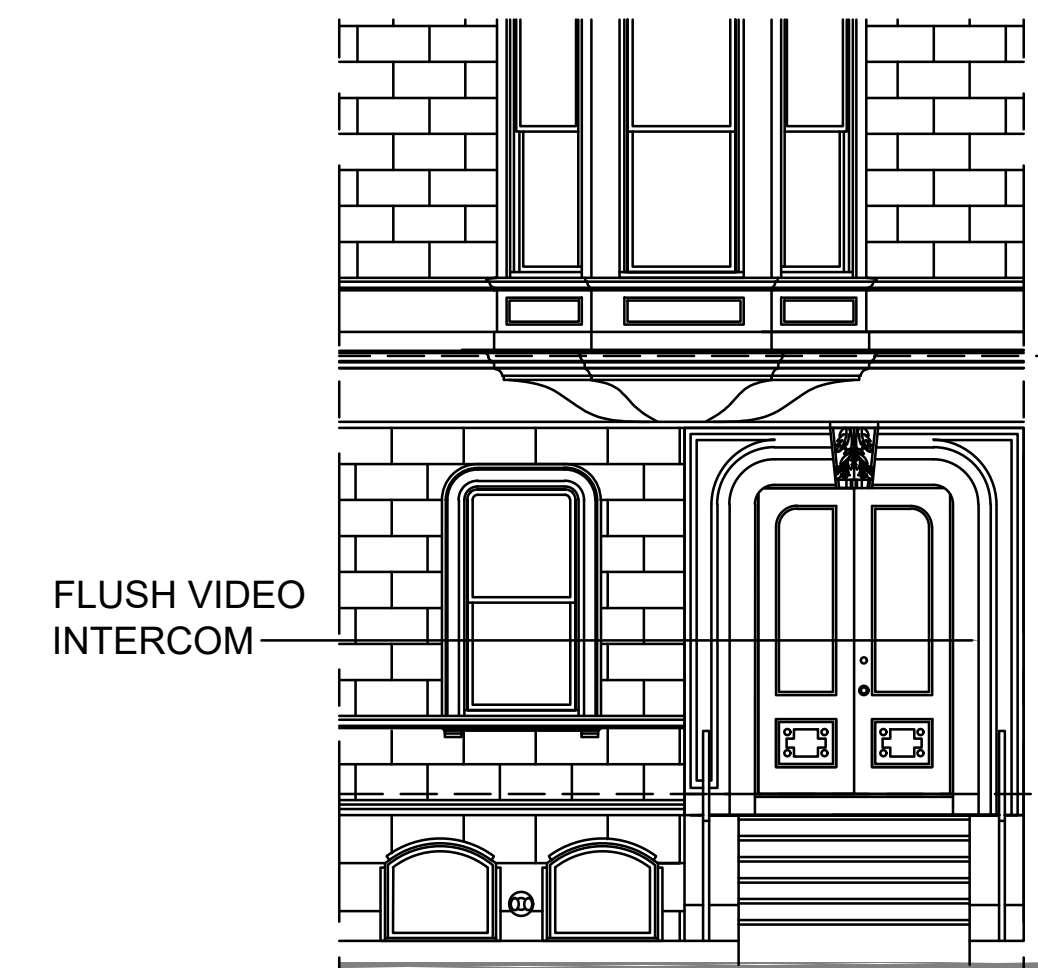
Sheet No.
A-3.8



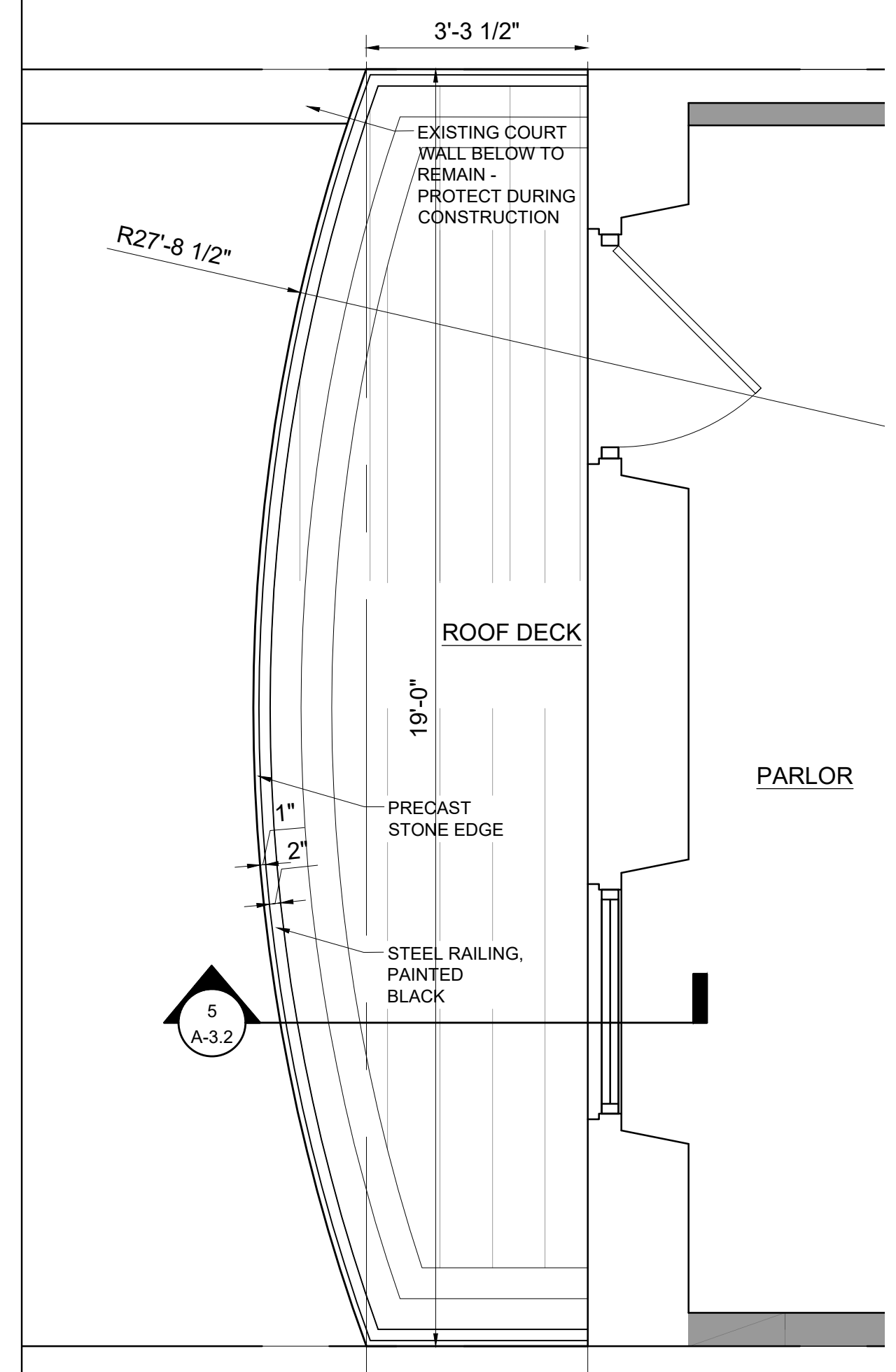
PROPOSED ENTRY DOOR HARDWARE



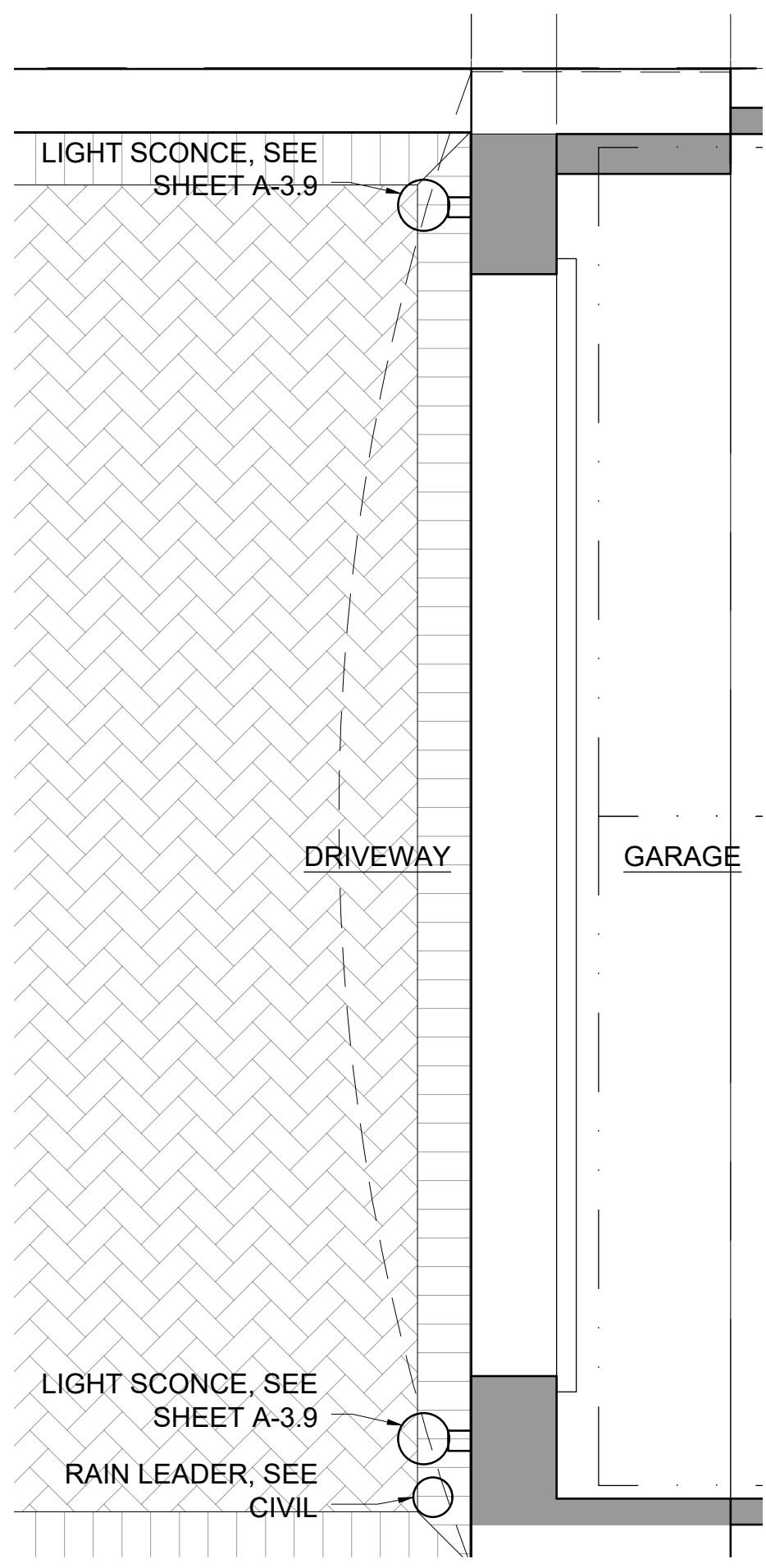
LIGHT SCONCE
N.T.S.



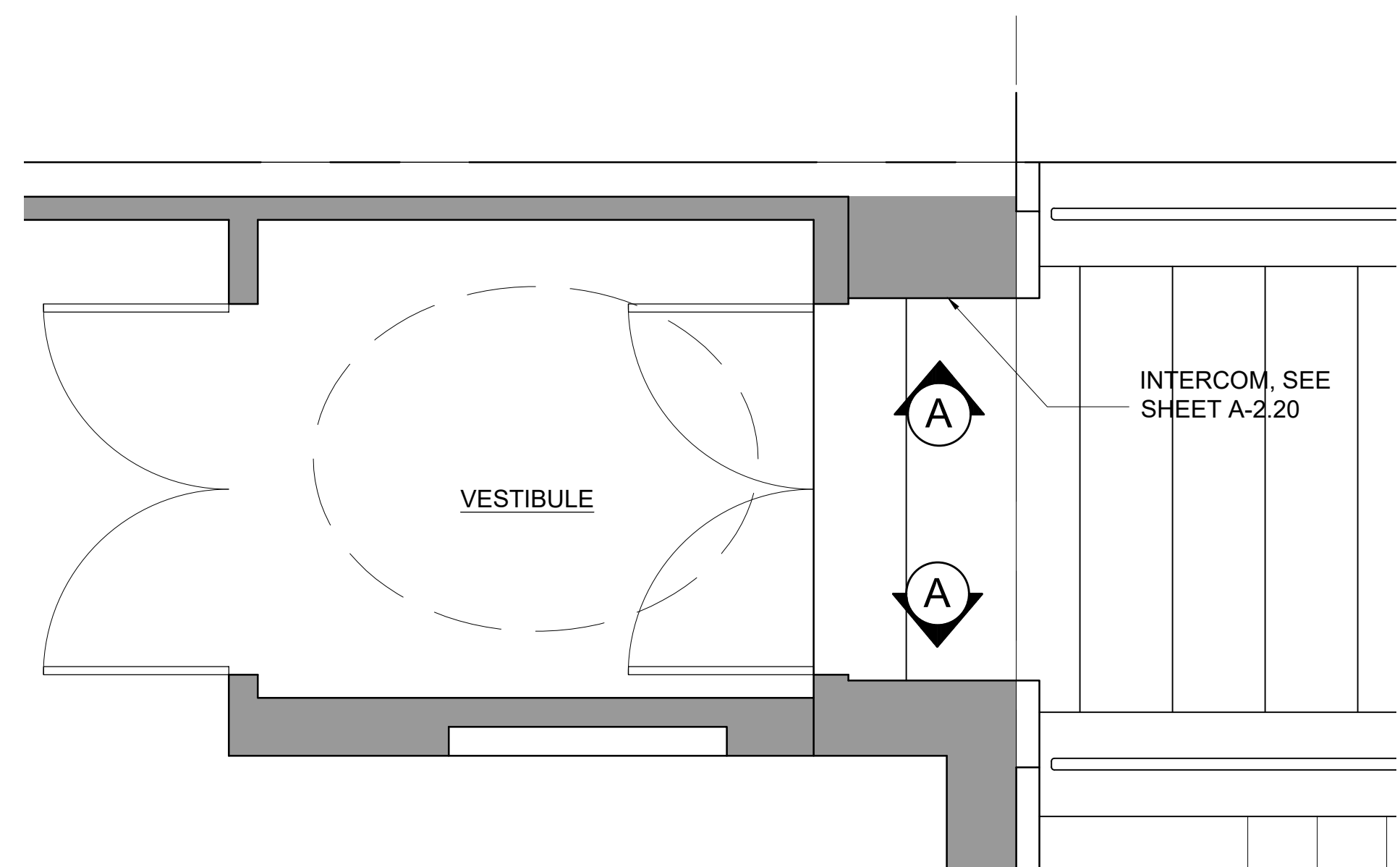
ENTRY ELEVATION
N.T.S.



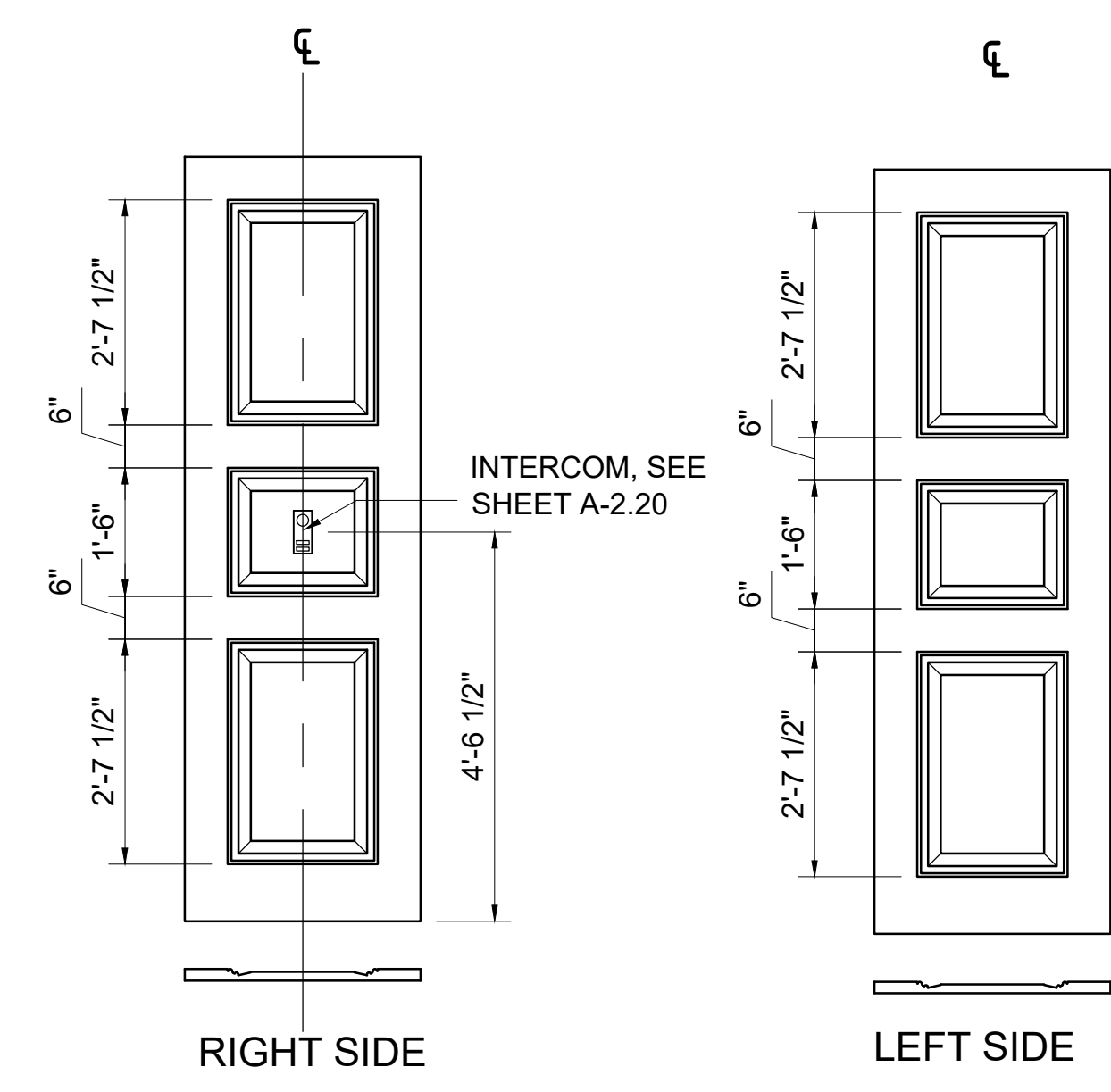
3 ENLARGED PLAN (GARAGE DECK)
1/2" = 1'-0"



2 ENLARGED PLAN (GARAGE)
1/2" = 1'-0"



1 ENLARGED PLAN (VESTIBULE)
1/2" = 1'-0"



A ELEVATION (VESTIBULE)
1/2" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.

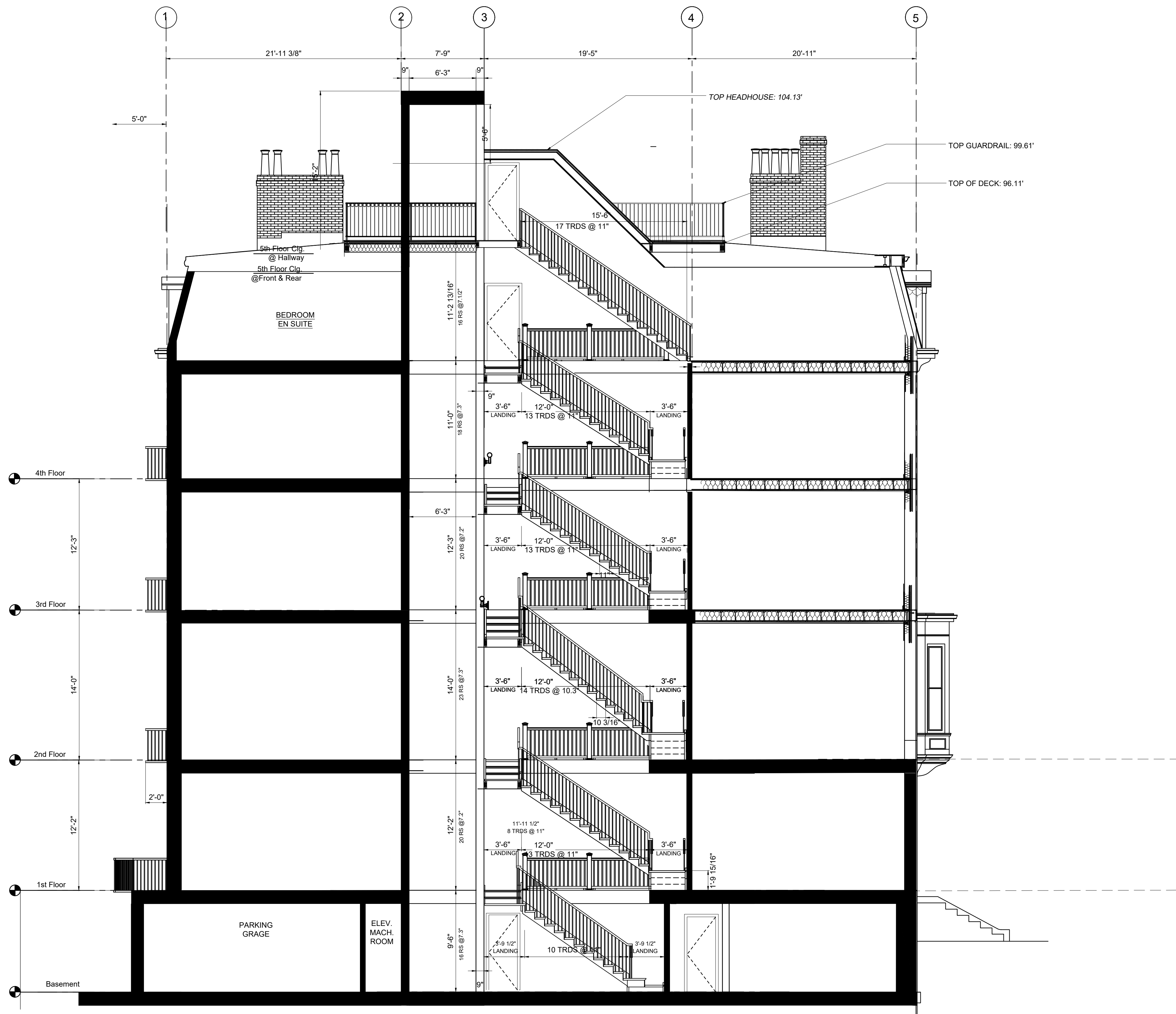
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No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
PROPOSED EXTERIOR HARDWARE & LIGHTING

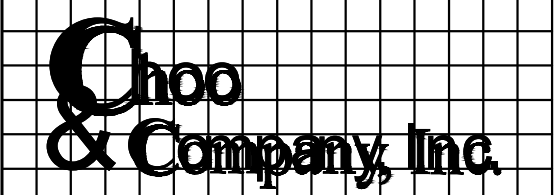
Sheet No.
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1 STAIR SECTION
1/4" = 1'-0"

Location

PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116



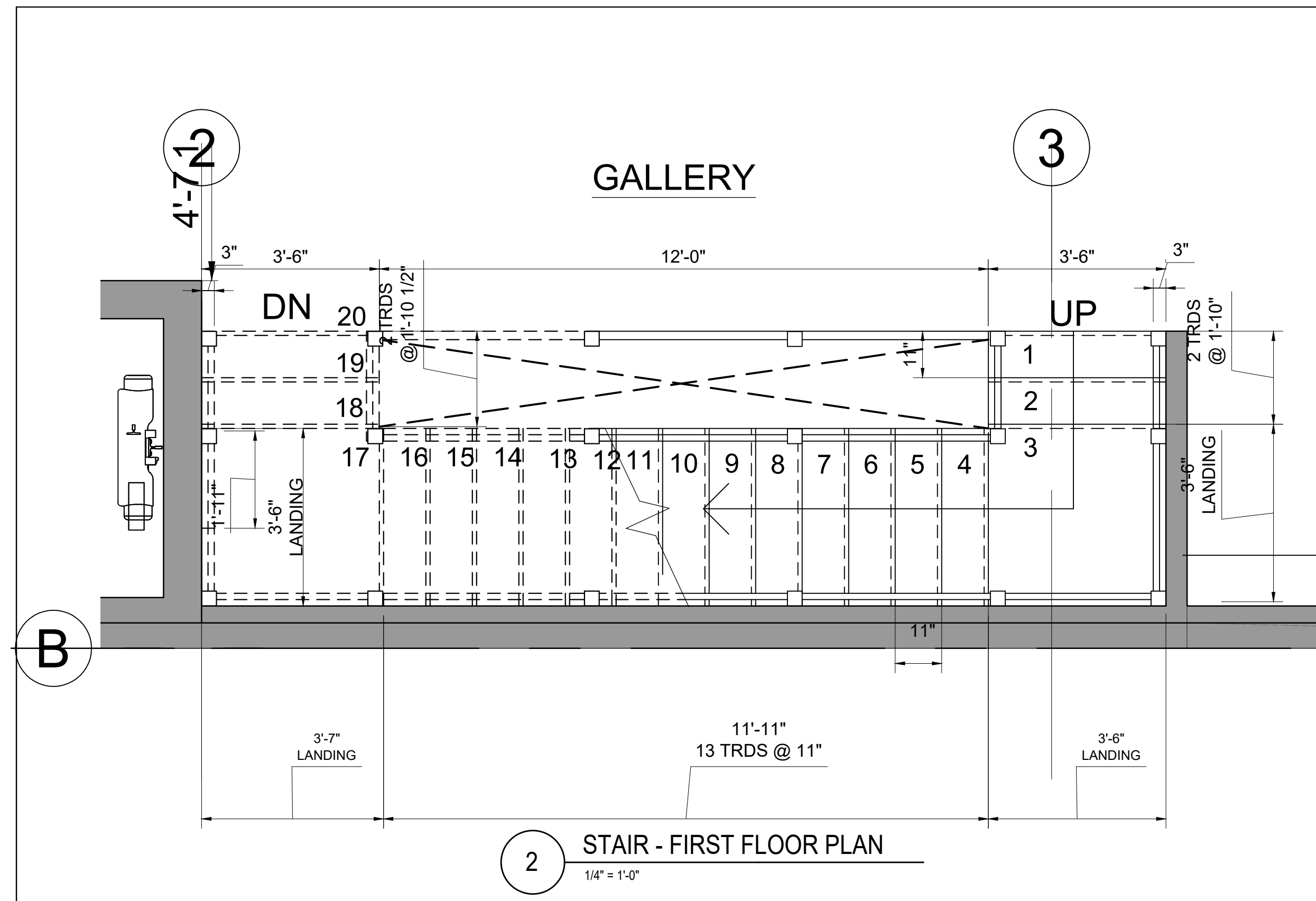
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No.	Revision Date

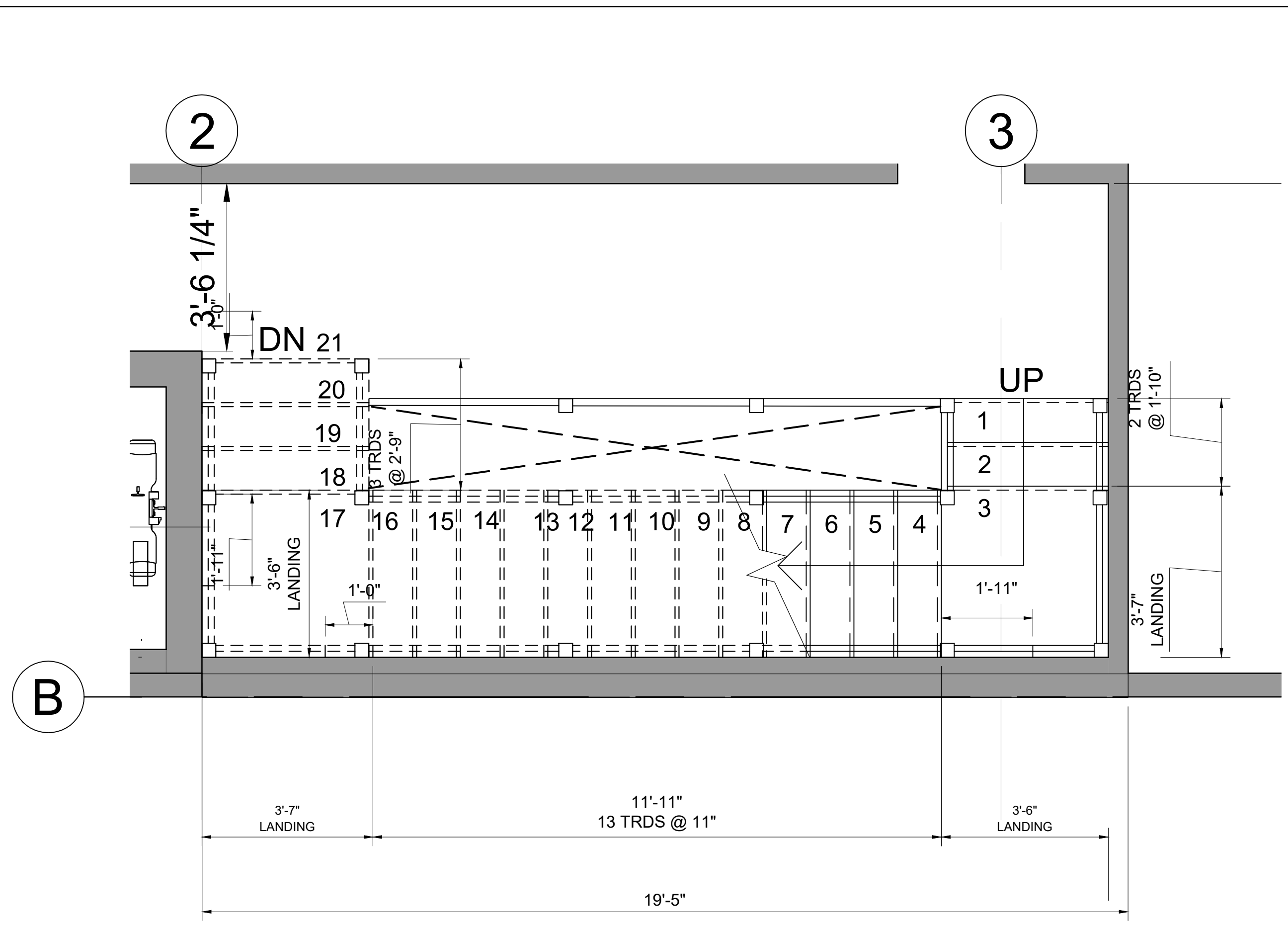
Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
Drawn By: DF

Drawing Name
STAIR SECTION

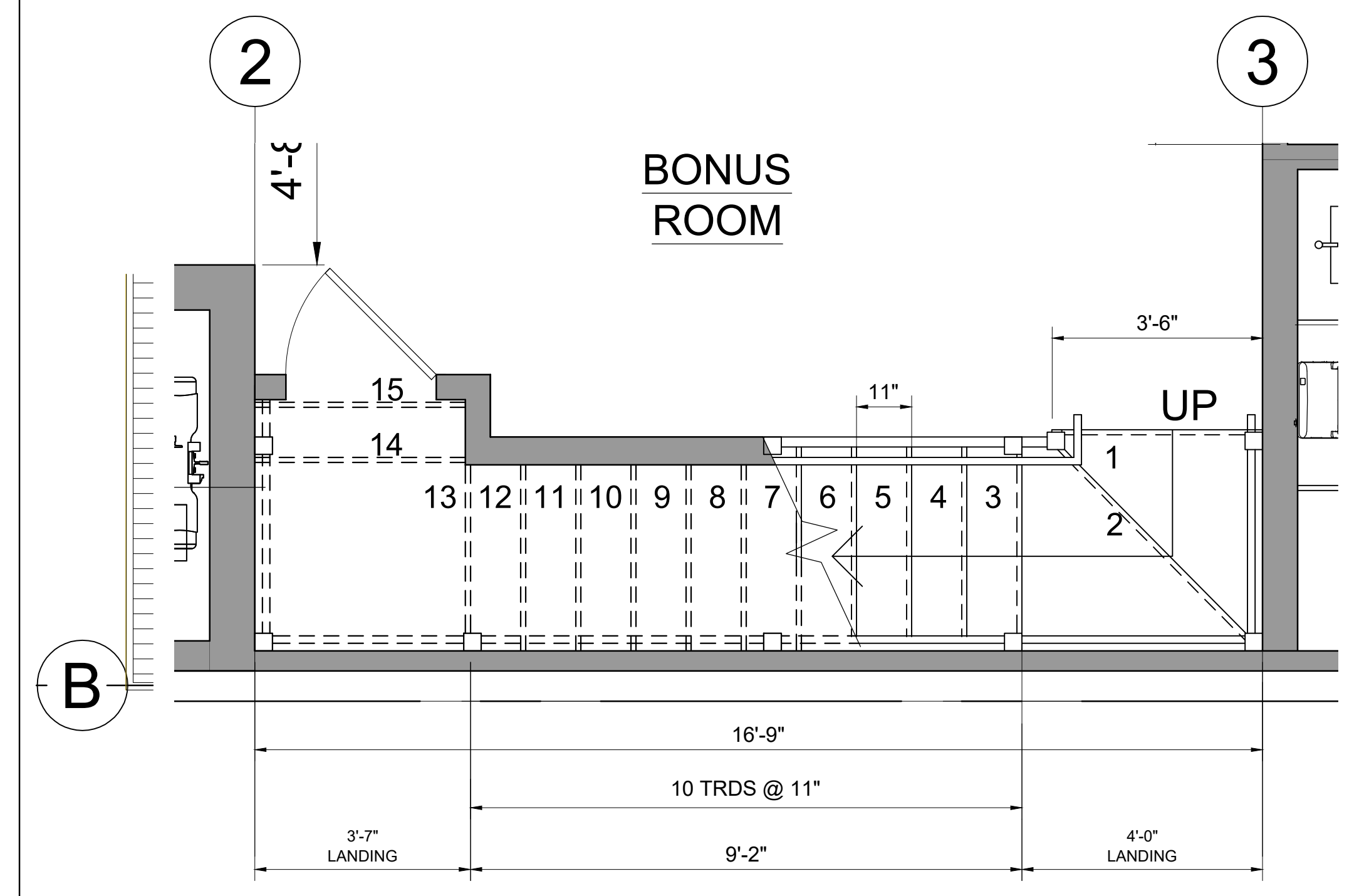
Sheet No.
A-4.1



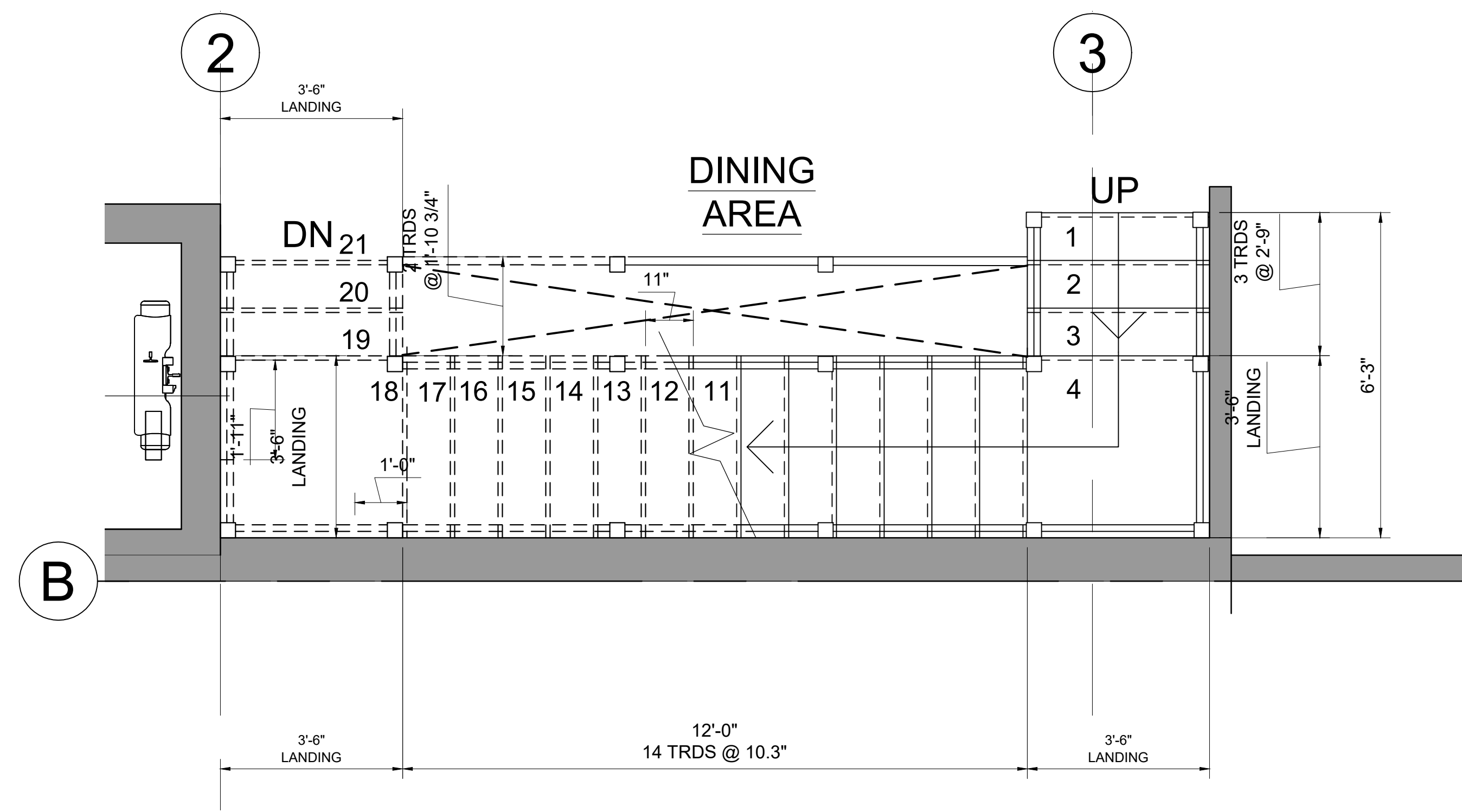
2 STAIR - FIRST FLOOR PLAN
1/4" = 1'-0"



4 STAIR - THIRD FLOOR PLAN
1/4" = 1'-0"



1 STAIR - GARDEN LEVEL PLAN
1/4" = 1'-0"



3 STAIR - SECOND FLOOR PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

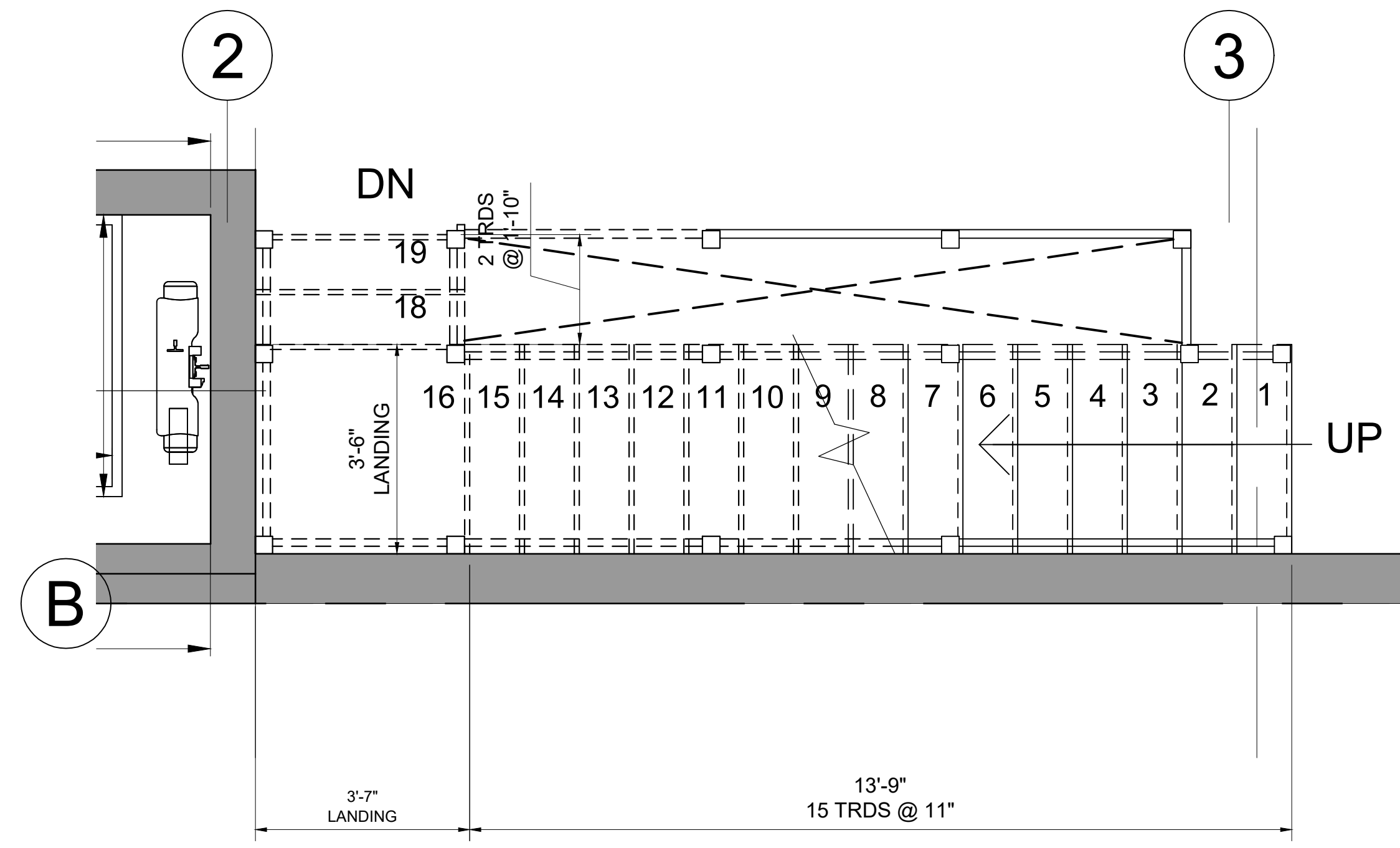
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No.	Revision Date

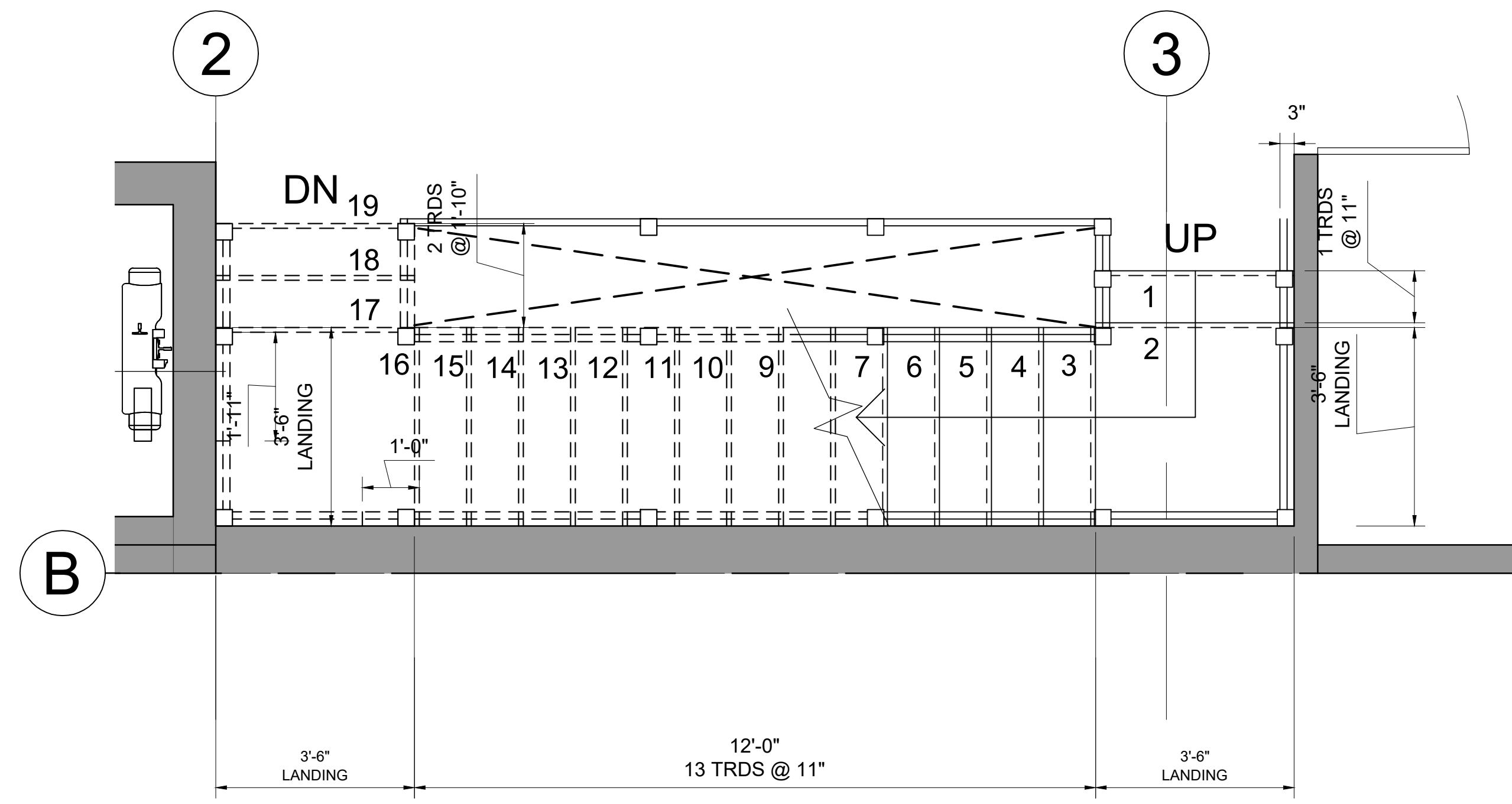
Project No: 2024121
 Scale: AS NOTED
 Date: 10-24-2024
 Drawn By: DF

Drawing Name
STAIR PLANS

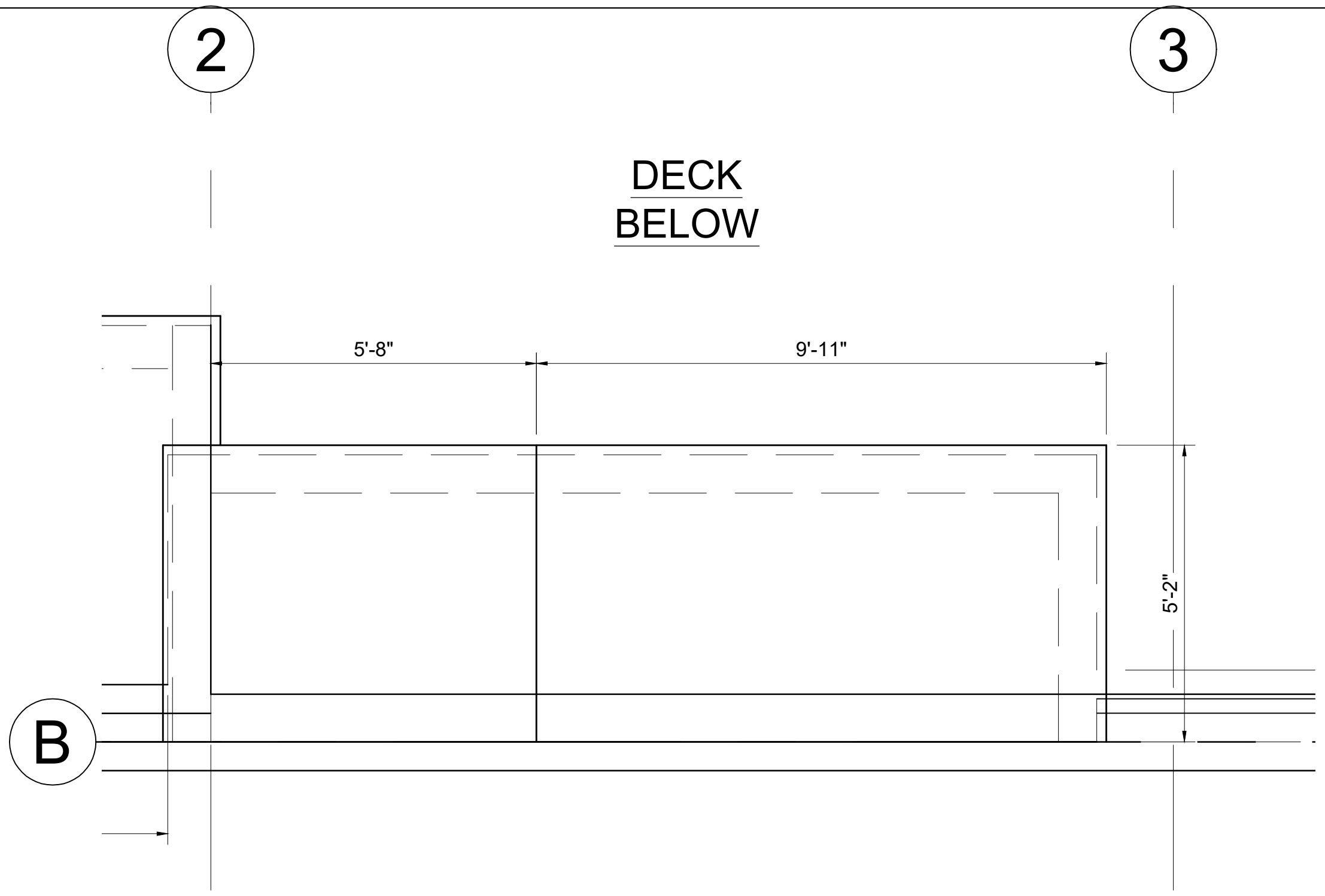
Sheet No.
A-4.2



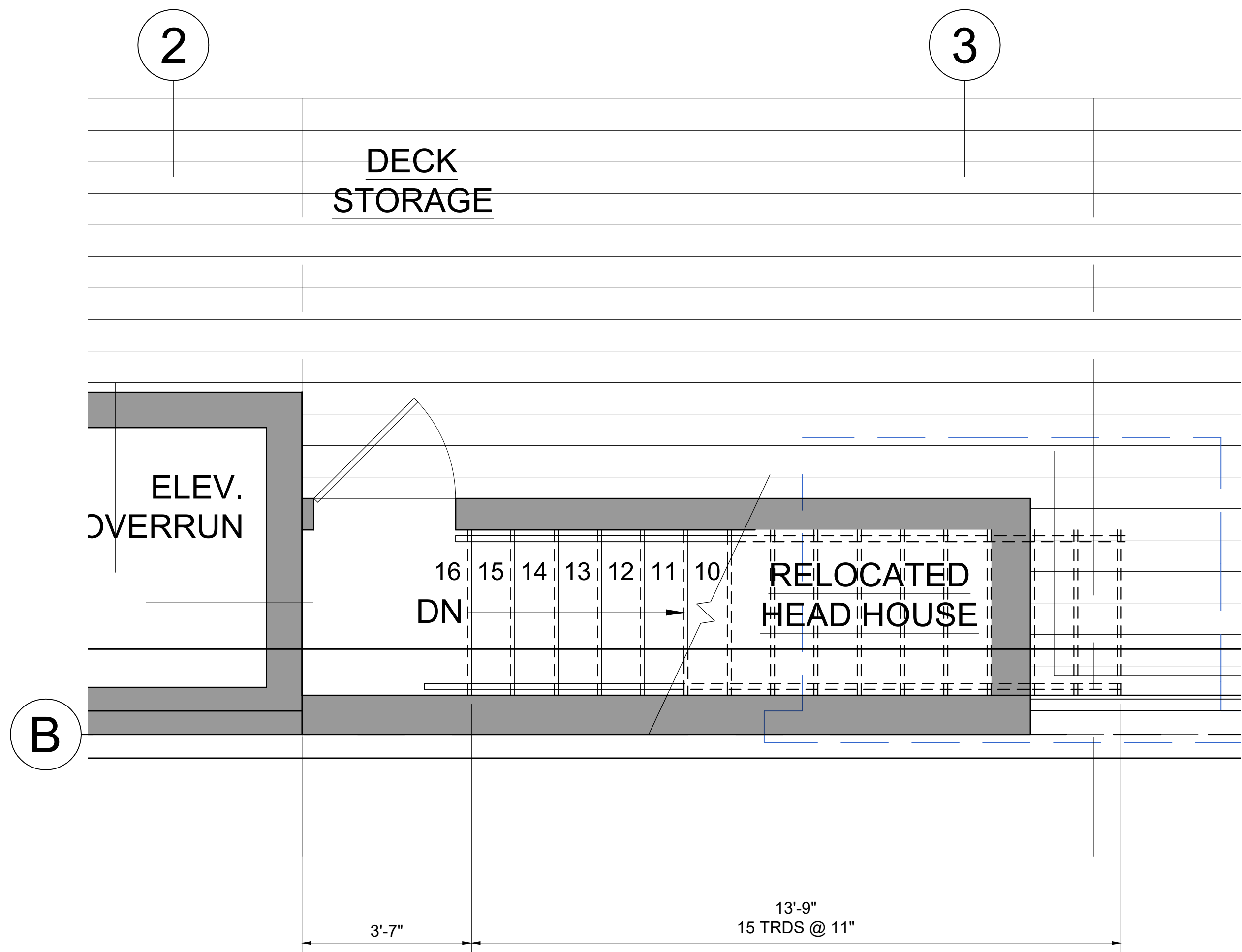
6 STAIR - FIFTH FLOOR PLAN
1/4" = 1'-0"



5 STAIR - FOURTH FLOOR PLAN
1/4" = 1'-0"



8 STAIR - UPPER ROOF PLAN
1/4" = 1'-0"



7 STAIR - ROOF PLAN
1/4" = 1'-0"

Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

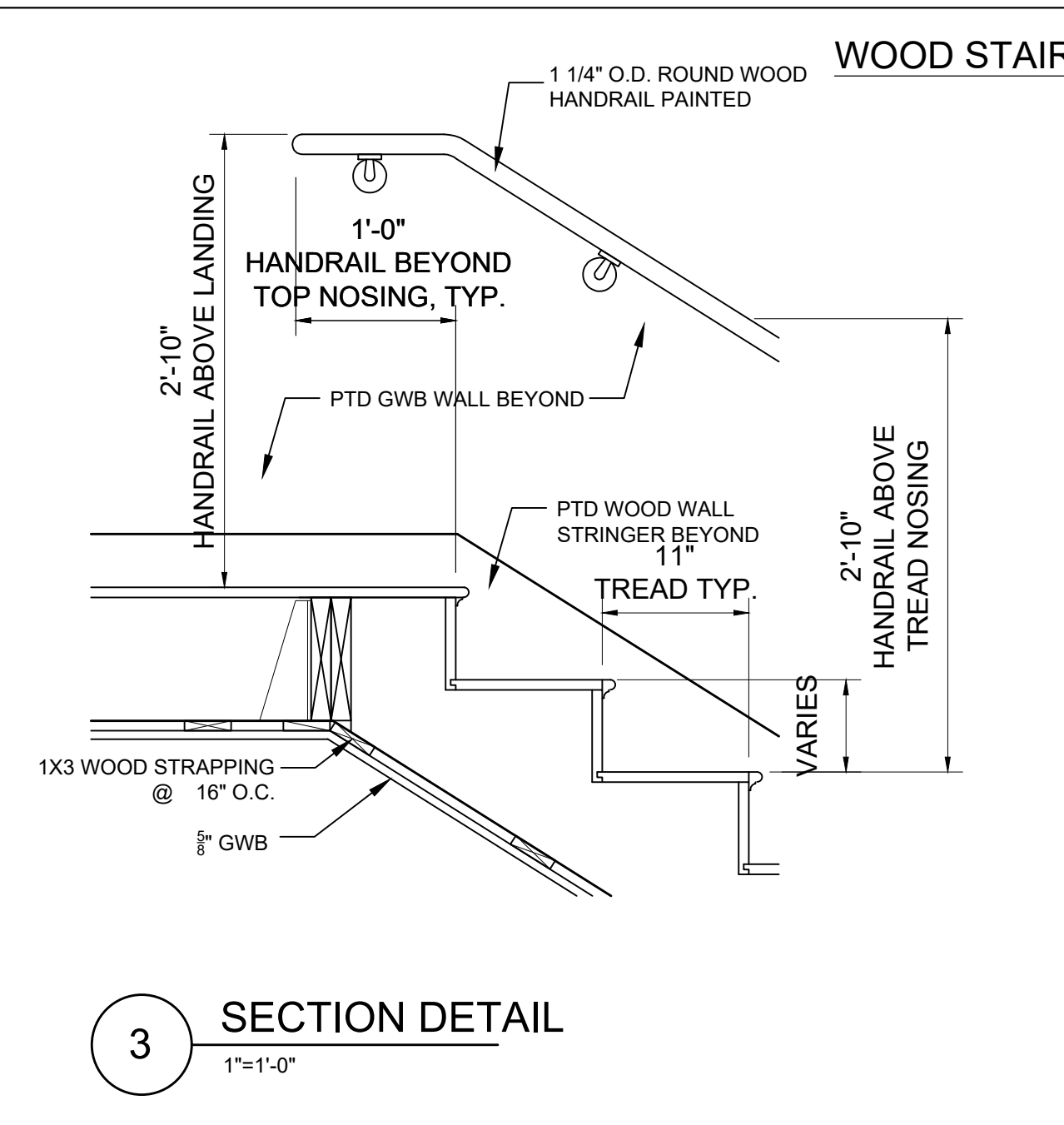
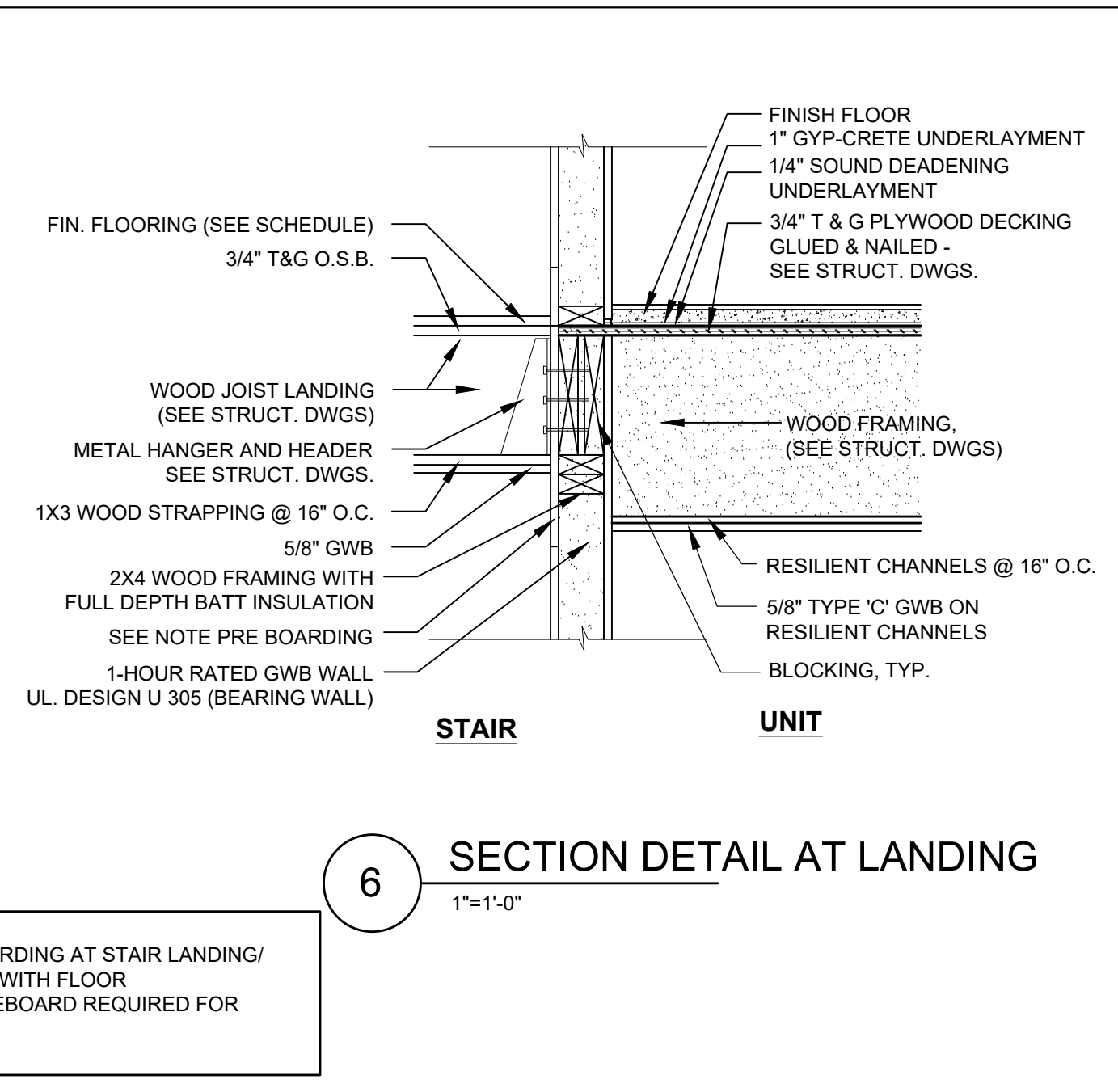
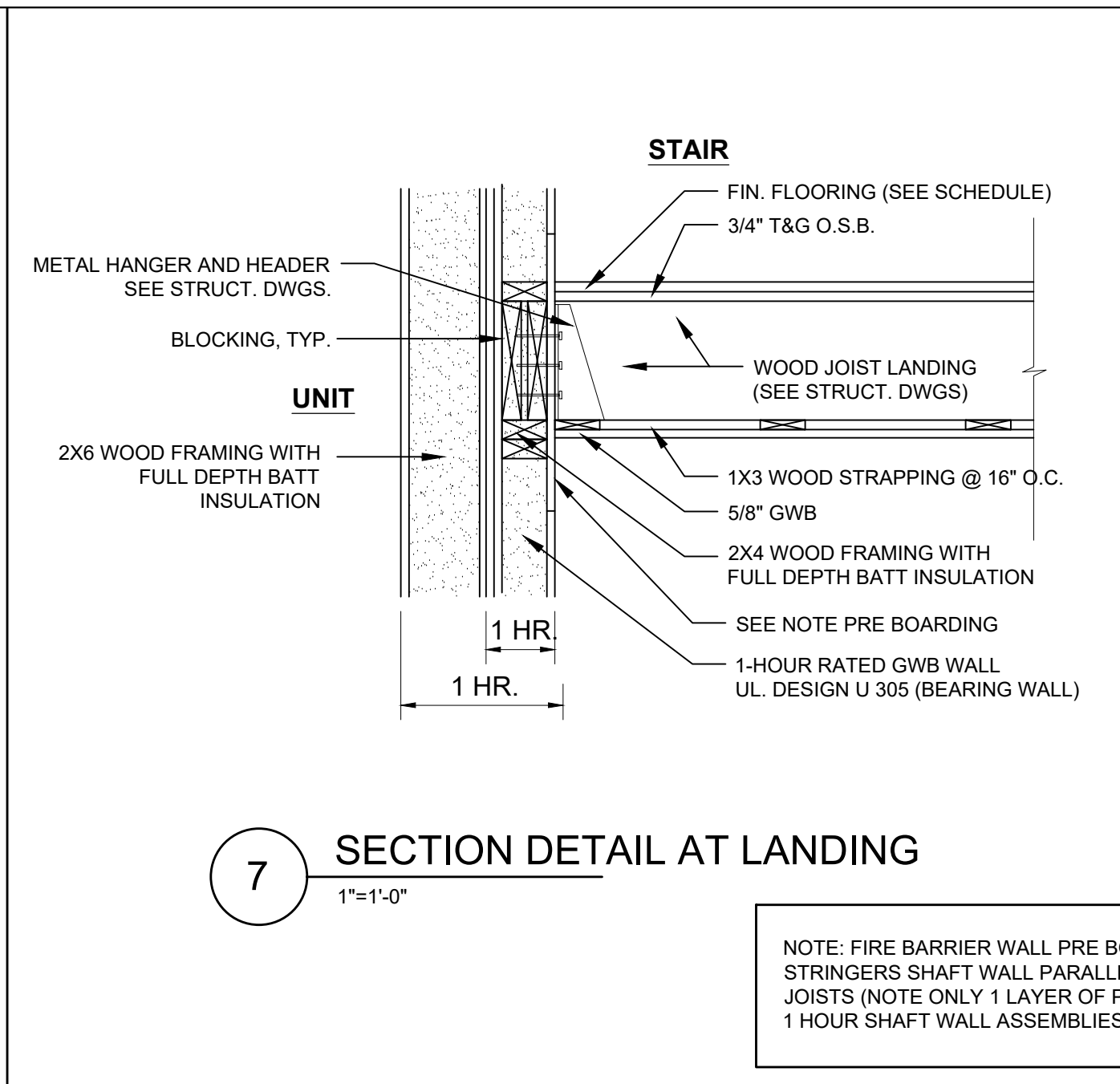
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Project No: 2024121
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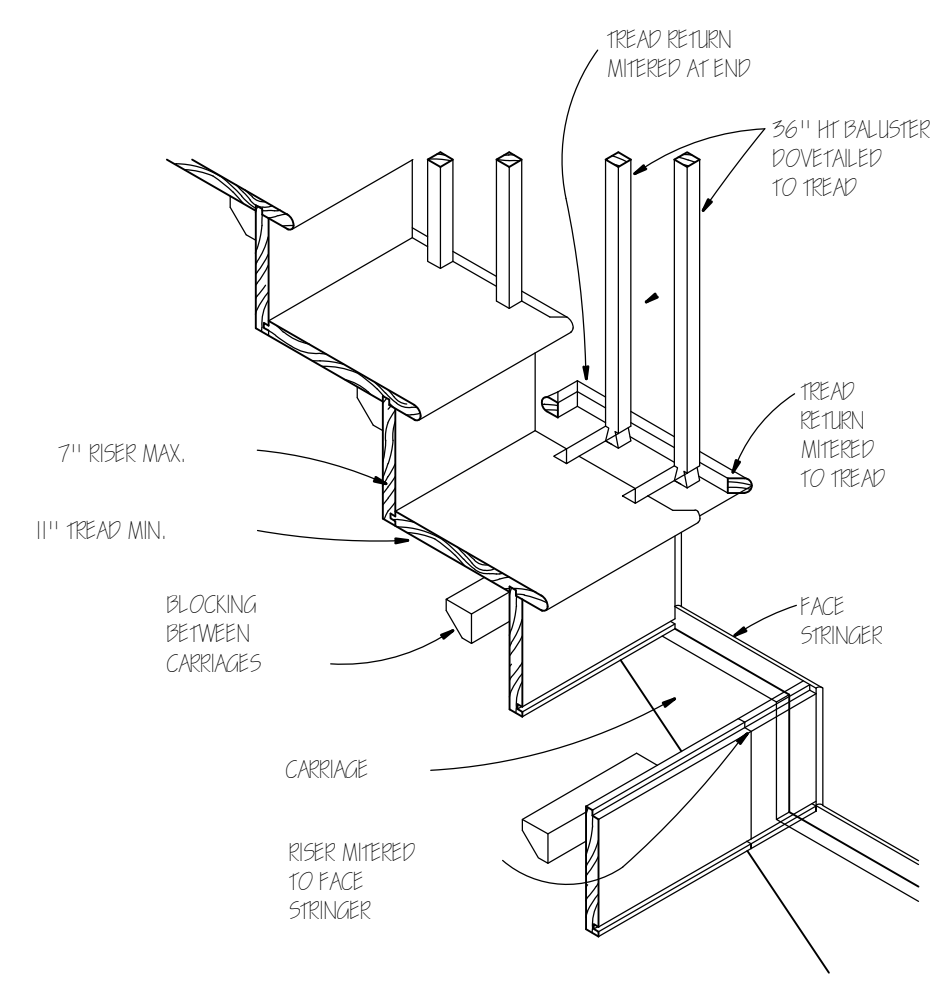
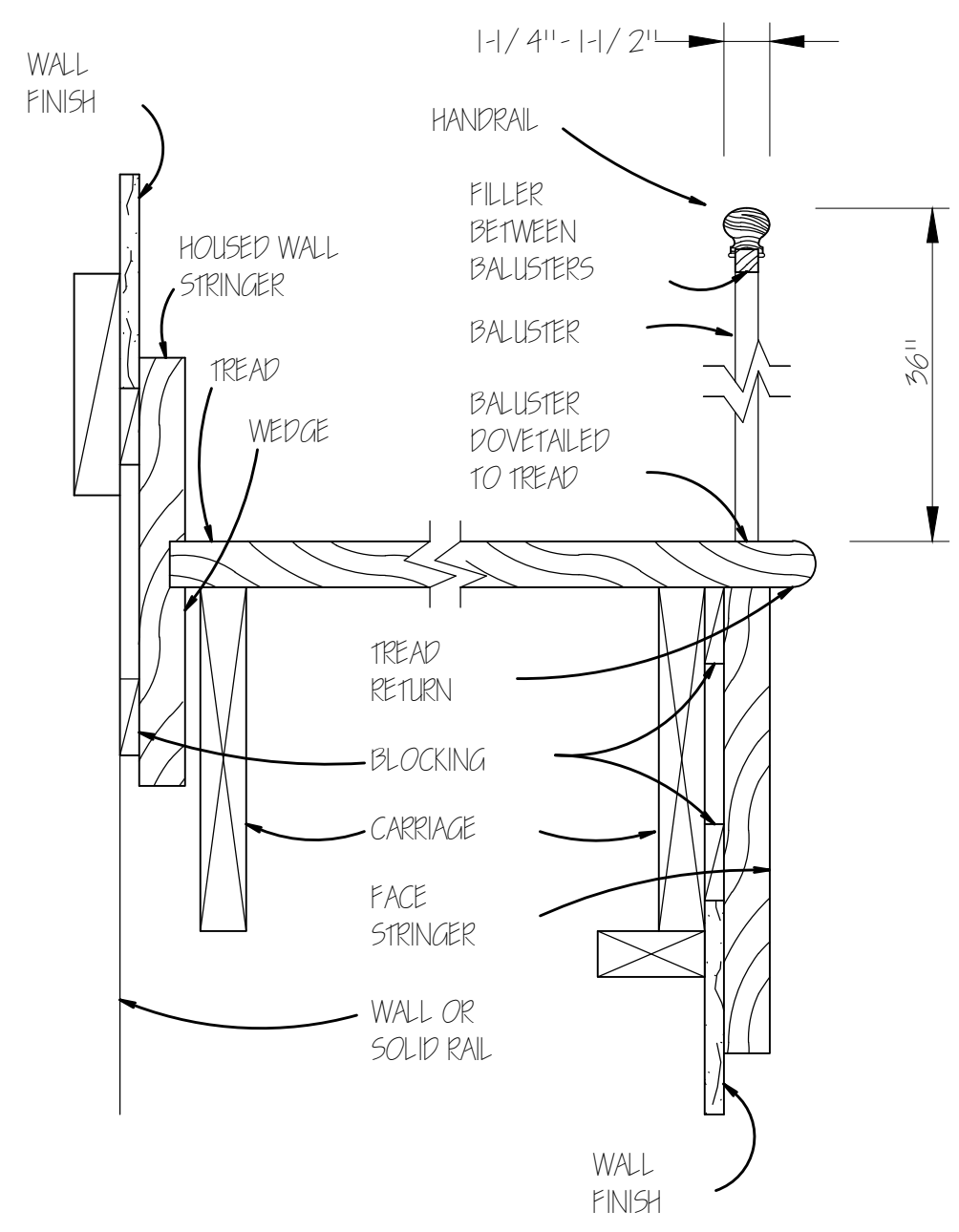
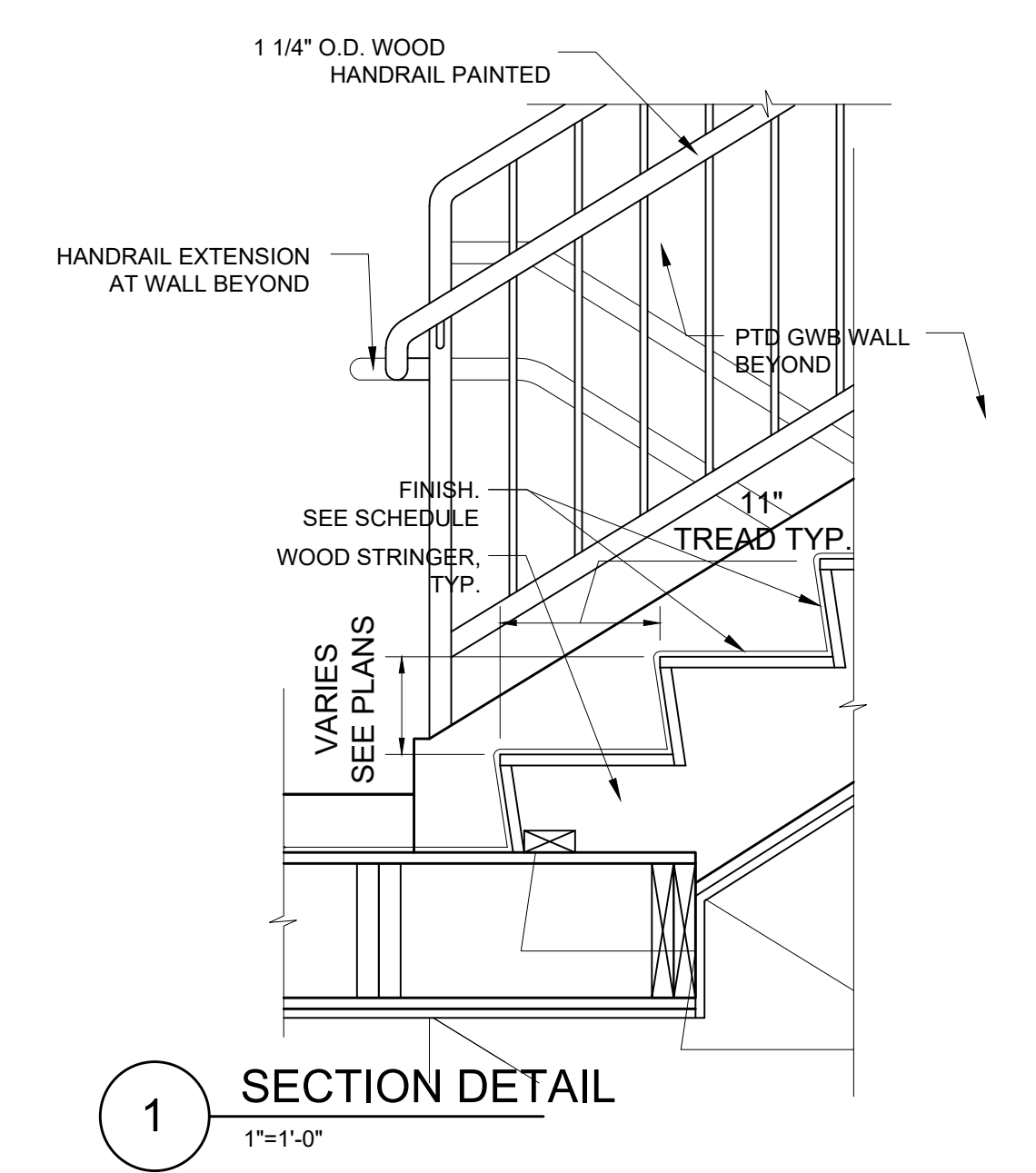
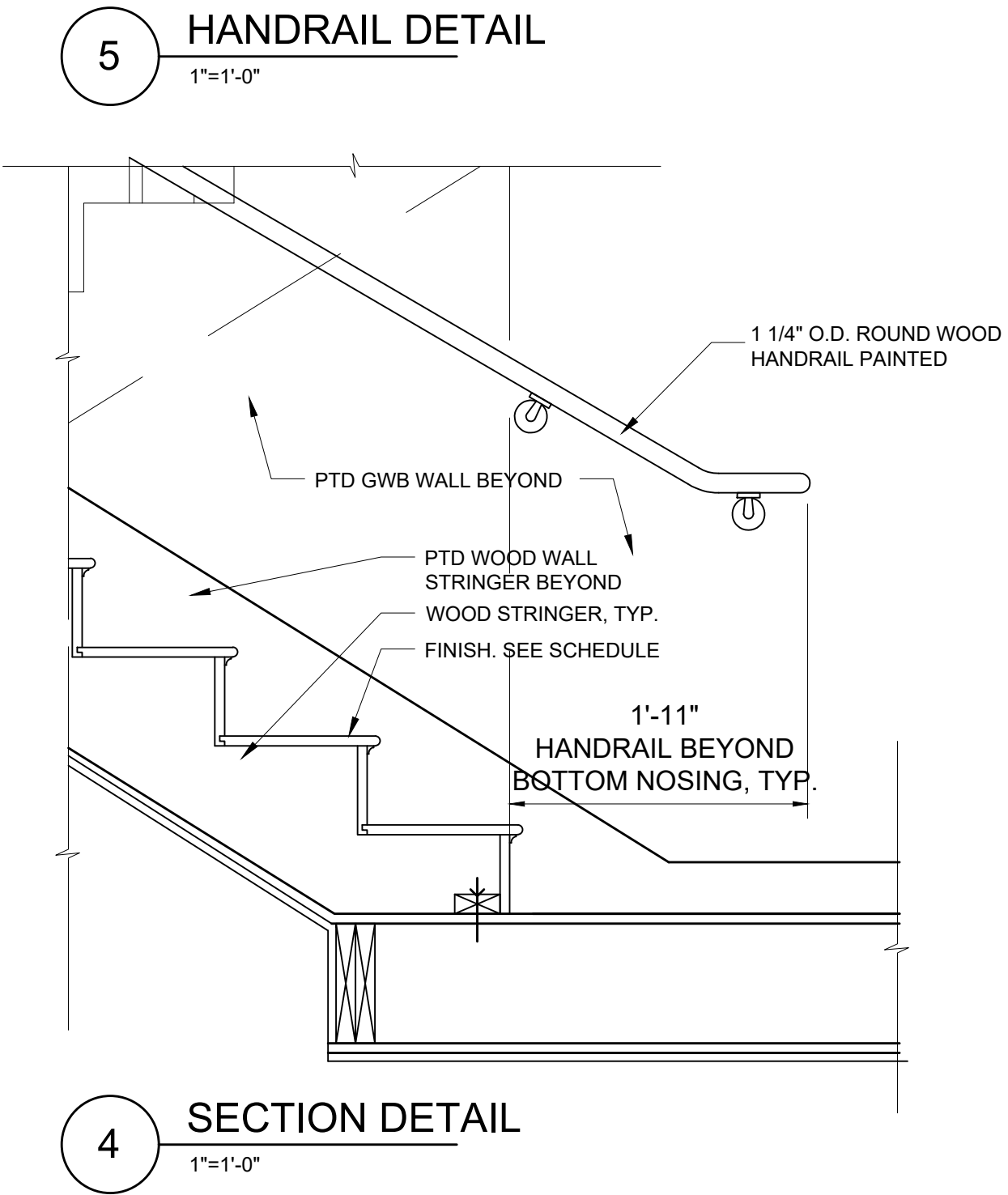
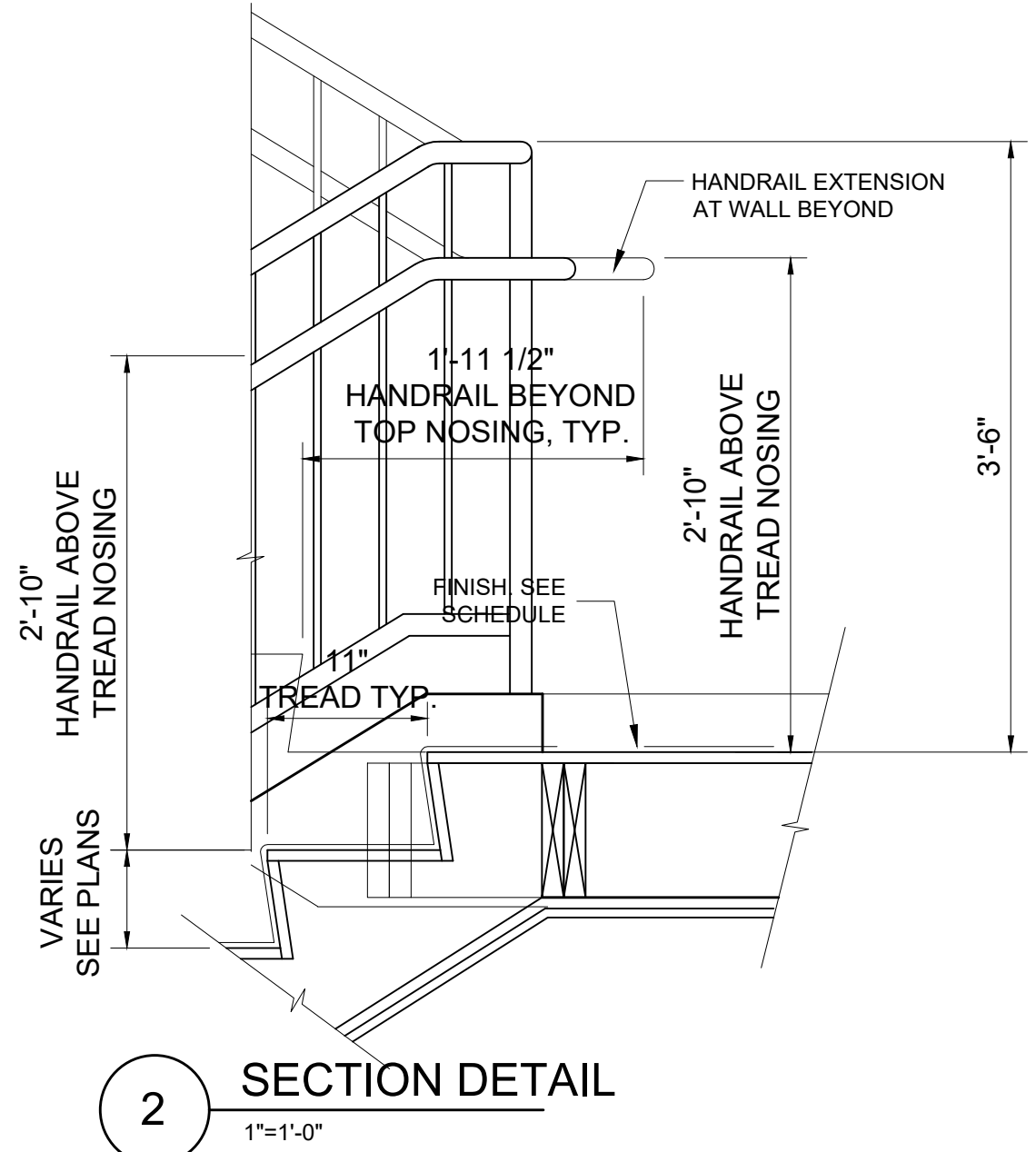
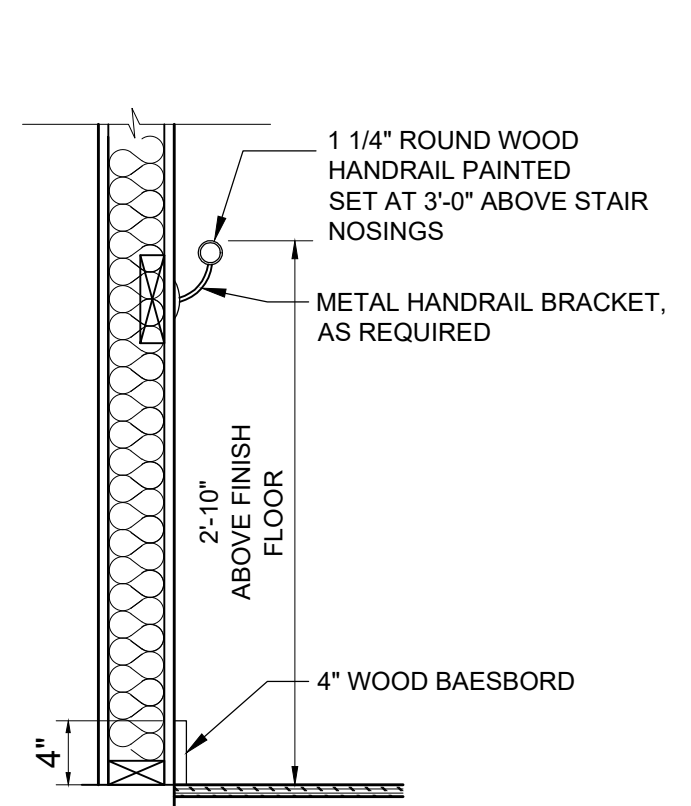
Drawing Name
STAIR PLANS

Sheet No.
A-4.3



NOTE: FIRE BARRIER WALL PRE BOARDING AT STAIR LANDING/ STRINGERS SHAFT WALL PARALLEL WITH FLOOR JOISTS (NOTE ONLY 1 LAYER OF PREBOARD REQUIRED FOR 1 HOUR SHAFT WALL ASSEMBLIES)

NOTE: ALL STAIR MATERIALS AND DESIGN TO BE SELECTED AND COORDINATED BY INTERIOR DESIGN. SEE INTERIOR DRAWINGS.



Location
PROPOSED RENOVATION
18 COMMONWEALTH AVENUE
BOSTON, MA 02116

Choo & Company, Inc.
One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715

No.	Revision Date

Project No: 2024121
Scale: AS NOTED
Date: 10-24-2024
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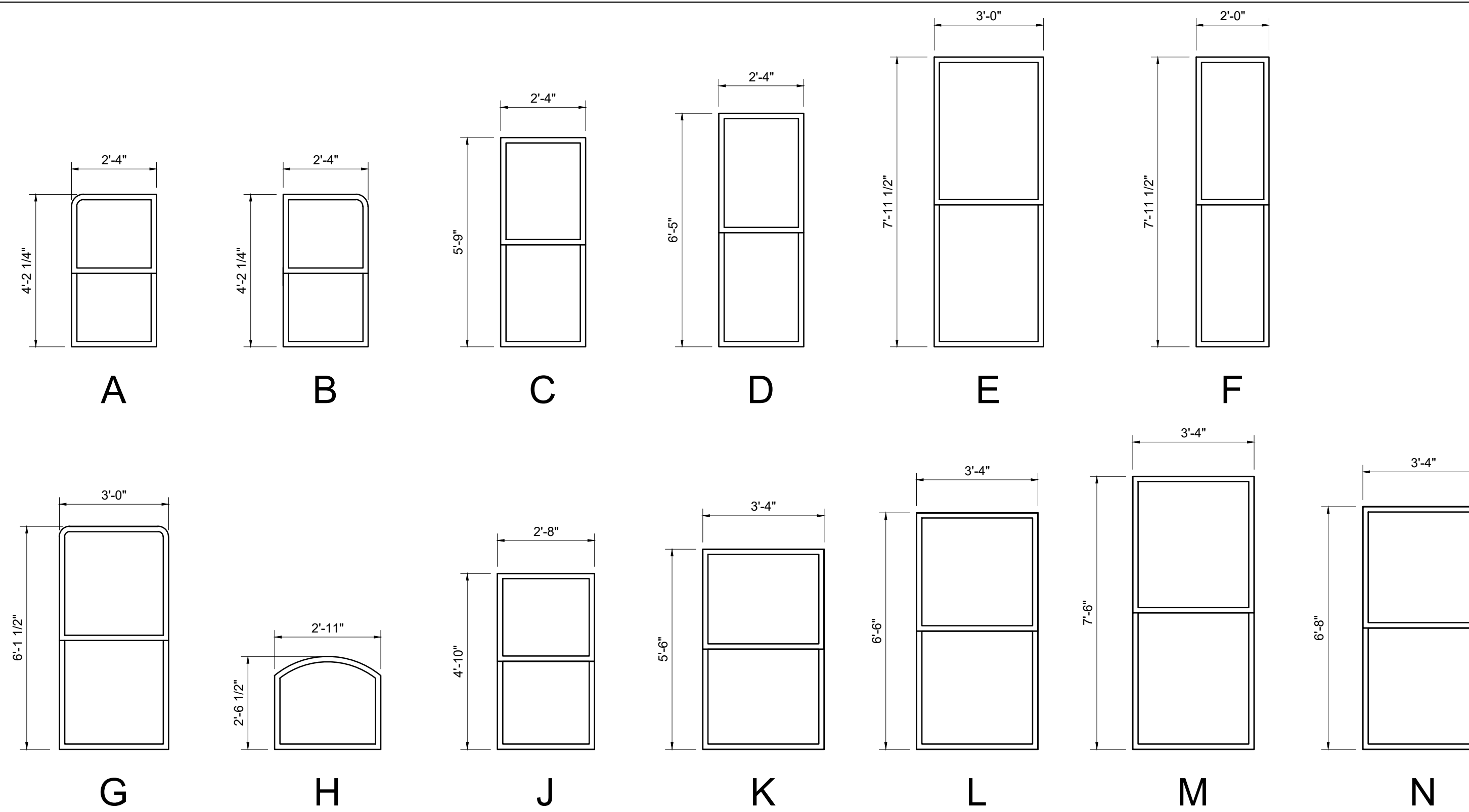
Drawing Name
STAIR DETAILS

Sheet No.
A-4.4

WINDOW TYPES

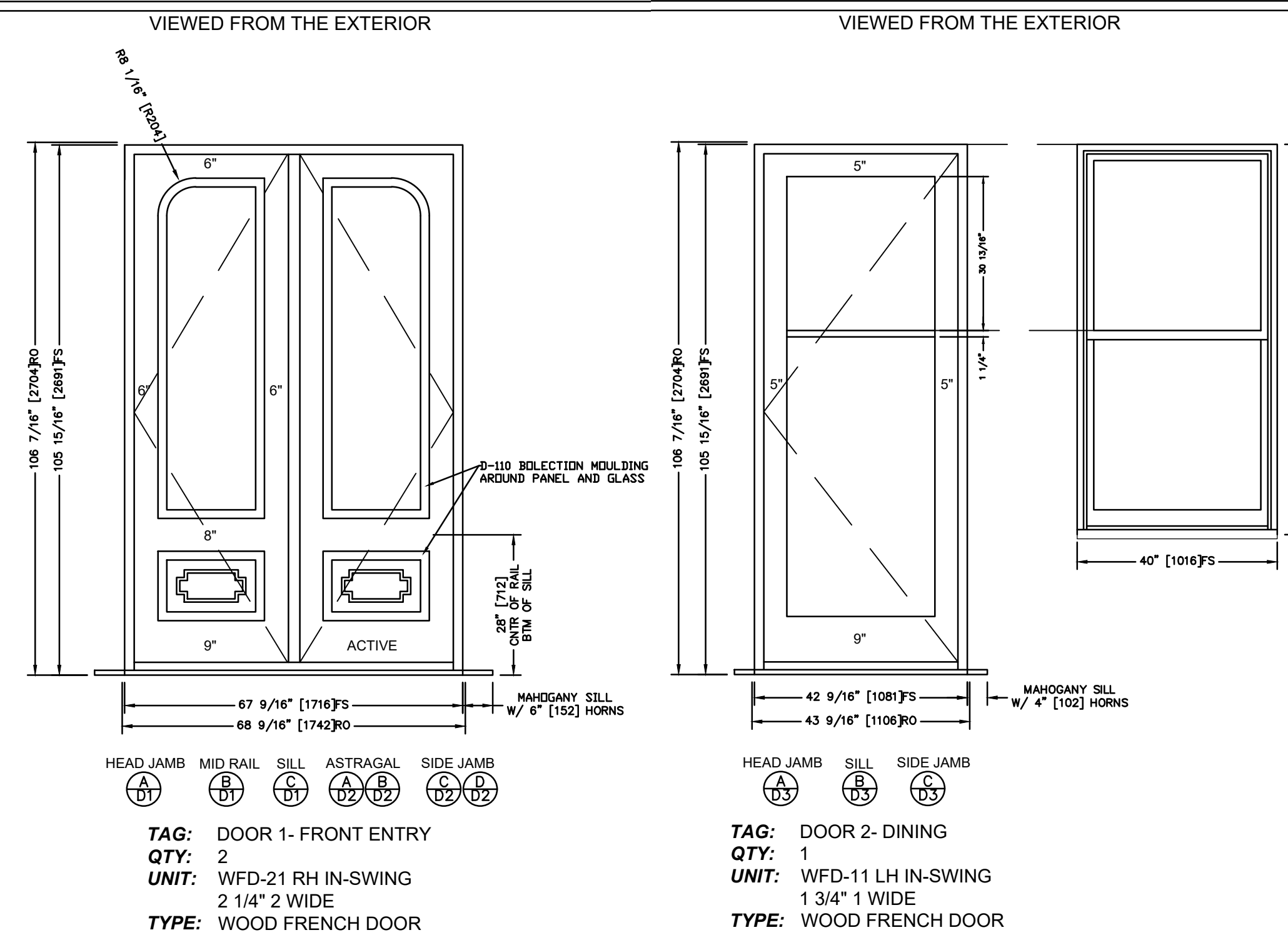
WINDOW SCHEDULE

NO.	MANUFACTURER	MODEL	QUAN.	FRAME SIZE	MATERIAL	TYPE
A	LEPAGE MILLWORK	XL HUNG	1	2'-4" x 4' 2 1/4"	WOOD	DOUBLE HUNG WINDOW
B	LEPAGE MILLWORK	XL HUNG	1	2'-4" x 4' 2 1/4"	WOOD	DOUBLE HUNG WINDOW
C	LEPAGE MILLWORK	XL HUNG	3	2'-4" x 5'-9"	WOOD	DOUBLE HUNG WINDOW
D	LEPAGE MILLWORK	XL HUNG	3	2'-4" x 6'-5"	WOOD	DOUBLE HUNG WINDOW
E	LEPAGE MILLWORK	XL HUNG	1	3'-0" x 7'-11 1/2"	WOOD	DOUBLE HUNG WINDOW
F	LEPAGE MILLWORK	XL HUNG	2	2'-0" x 7'-11 1/2"	WOOD	DOUBLE HUNG WINDOW
G	LEPAGE MILLWORK	XL HUNG	1	3'-0" x 6'-1 1/2"	WOOD	DOUBLE HUNG WINDOW
H	LEPAGE MILLWORK	XL HUNG	2	2'-11" x 2'-6 1/2"	WOOD	ARCH TOP AWNING
J	LEPAGE MILLWORK	XL HUNG	2	2'-8" x 4'-10"	WOOD	DOUBLE HUNG WINDOW
K	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 5'-6"	WOOD	DOUBLE HUNG WINDOW
L	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 6'-6"	WOOD	DOUBLE HUNG WINDOW
M	LEPAGE MILLWORK	XL HUNG	2	3'-4" x 7'-6"	WOOD	DOUBLE HUNG WINDOW
N	LEPAGE MILLWORK	XL HUNG	1	3'-4" x 6'-8"	WOOD	DOUBLE HUNG WINDOW



DOOR SCHEDULE

NO.	SIZE	MATERIAL	MANUFACTURER	RATING	FRAME	TYPE	HARDWARE	REMARKS	NOTE: G.C. IS RESPONSIBLE TO VERIFY ALL DIMENSIONS AND UNIT QUANTITIES PRIOR TO ORDERING
1	(2) 2'-10" x 8'-6"	WOOD	LEPAGE MILLWORK	-	WOOD	1	ENTRANCE	NEW ENTRY DOOR TO MATCH EXISTING ADJACENT	
2	3'-4" x 8'-6"	WOOD	LEPAGE MILLWORK	-	WOOD	2	ENTRANCE	NEW ENTRY DOOR, MIDDLE RAIL ALIGNS WITH WINDOW TYPE N	
3	2'-8" x 7'-0"	WOOD	TBD	-	WOOD	-	BED/BATH	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
4	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	BED/BATH	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
5	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
6	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PANEL DOOR, PROVIDE LOUVER AS REQ'D, STYLE SELECTED BY OWNER	
7	(2) 2'-0" x 7'-0"	WOOD	TBD	-	WOOD	-	SINGLE DUMMY	NEW PAIR OF PANEL DOORS, STYLE SELECTED BY OWNER	
8	3'-0" x 7'-0"	WOOD	TBD	90 MINS.	WOOD	-	ENTRANCE	NEW FIRE-RATED PANEL DOOR & FRAME, STYLE SELECTED BY OWNER	
9	2'-8" x 7'-0"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
10	NOT USED								
11	3'-0" x 7'-0"	WOOD	TBD	90 MINS.	WOOD	-	ELEVATOR	NEW FIRE-RATED PANEL DOOR & FRAME, STYLE SELECTED BY OWNER	
12	NOT USED								
13	2'-6" x 7'-0" V.I.F.	WOOD	TBD	-	WOOD	-	ENTRANCE	NEW EXTERIOR FULL LITE INSULATED TEMPERED GLASS DOOR	
14	2'-8" x 7'-0" x 1 3/4"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
15	2'-8" x 7'-0" x 1 3/4"	WOOD	TBD	-	WOOD	-	ENTRANCE	NEW PANEL DOOR, STYLE SELECTED BY OWNER, PROVIDE DEADBOLT	
16	2'-6" x 6'-0" V.I.F.	STEEL	EXISTING	-	WOOD	-	ENTRANCE	EX'G OPERABLE STEEL SECURITY GRILLE TO BE RESTORED AND RE-INSTALLED	
17	2'-8" x 8'-0" V.I.F.	WOOD & GLASS	EXISTING	-	WOOD	-	ENTRANCE	EX'G DOOR TO BE RESTORED AND RE-INSTALLED	
18	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	POCKET DOOR	NEW PANEL DOOR, STYLE SELECTED BY OWNER - PROVIDE PRIVACY LOCK	
19	2'-6" x 7'-0"	WOOD	TBD	-	WOOD	-	STORAGE	NEW PANEL DOOR, STYLE SELECTED BY OWNER	
20	2'-6" x 7'-0"	WOOD			WOOD			CASED OPENING	
21	NOT USED								
22	14'-0" x 7'-0"	WOOD	GARAGE DOOR	-		-	GARAGE	NEW GARAGE OVERHEAD DOOR, STYLE SELECT BY OWNER, LOW CLEARANCE	



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Drawing Name
WINDOW TYPE & SCHEDULE

Sheet No.
A-5.1