

ISSUED FOR:  
ZONING SUBMISSION  
09.28.2023  
REVISED: 03.22.24

## DOCUMENT LIST

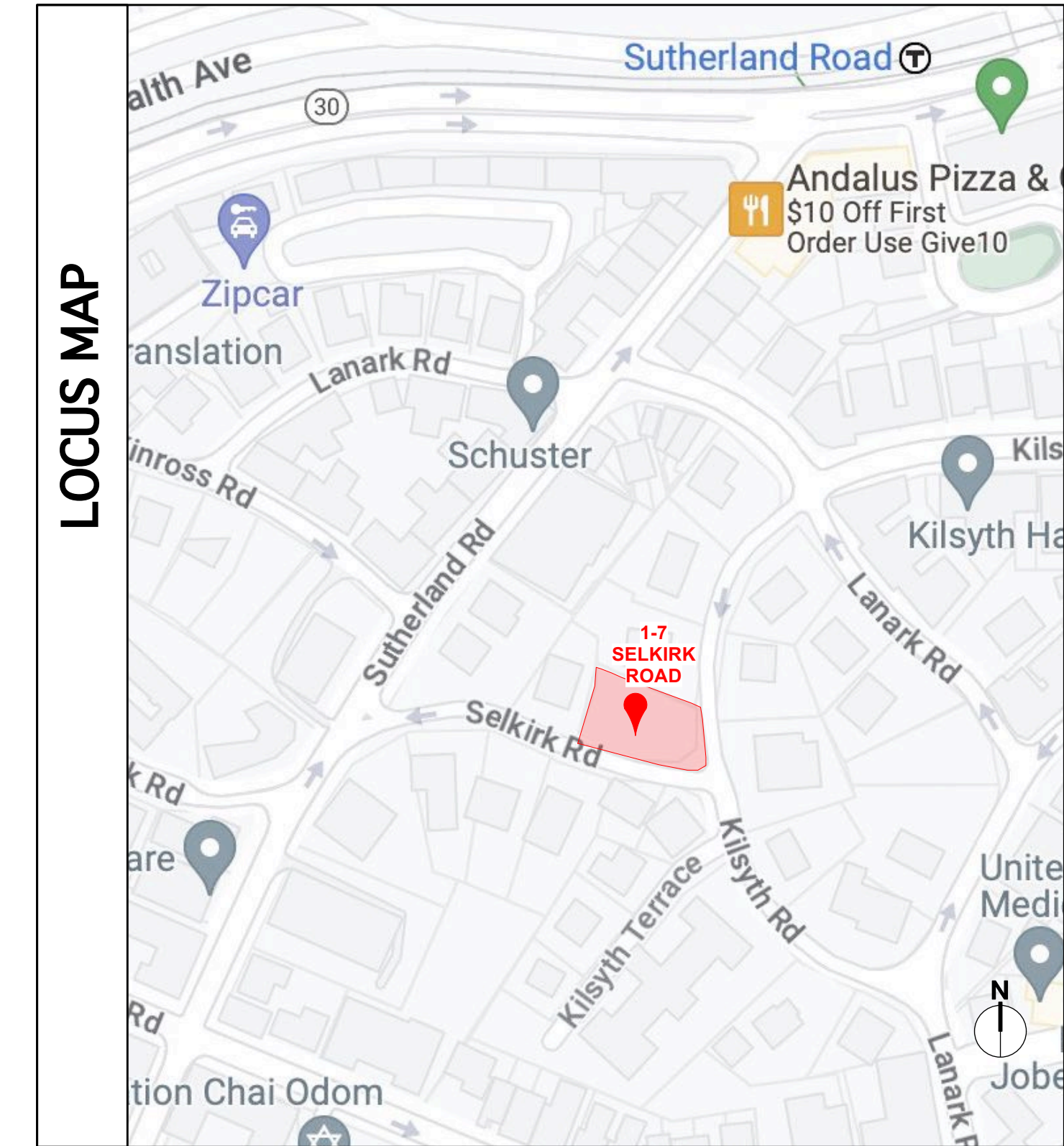
### ARCHITECTURAL:

A-000 COVER PAGE  
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C-002 PROPOSED PLOT PLAN  
A-001 PROPOSED ARCHITECTURAL SITE PLAN

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A-500 EXTERIOR RENDERING  
A-501 EXTERIOR RENDERINGS



## 1-7 Selkirk Road

Brighton, MA 02135

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### ZONING SUMMARY

ZONE - Allston Brighton Neighborhood - 3F-6000

	REQUIRED	PROPOSED 1-7 SELKIRK ROAD
Lot Area Total - SF		9,135
Lot Area Minimum for dwelling Units	3000 SF/ Unit	2284
Additional SF Area For each additional Dwelling	3000	0
Lot Width Min.	25'	65.5'
Lot Frontage Min.	25'	204.69'
F.A.R. Max.	0.8	1.25
Building Ht. Max Stories	3	3
Building Ht. Max.	35'	35'
Useable Open Space Min. SF per Dwelling	800	2513
Front Yard	20'	21'-6" (Kilsyth)
Side Yard	5'	5'-11"
Rear Yard	30'	4'-8"
Parking (1.75 Spaces/ Unit)	7	4 (AT GRADE)
Total Gross SQ. Footage:		11,394
Building Footprint		3925

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**SOUSA design**  
Architects

81 Boylston Street, 2nd Floor  
Brighton, MA 02145  
617-879-9100  
www.sousadesign.com



Job # 202301

Drawn by Ckd by

Date 09.28.2023

### Revisions

1	REVISION	01-02-24
2	REVISED COMMENTS	03-22-24

**COVER PAGE**

**A-000**

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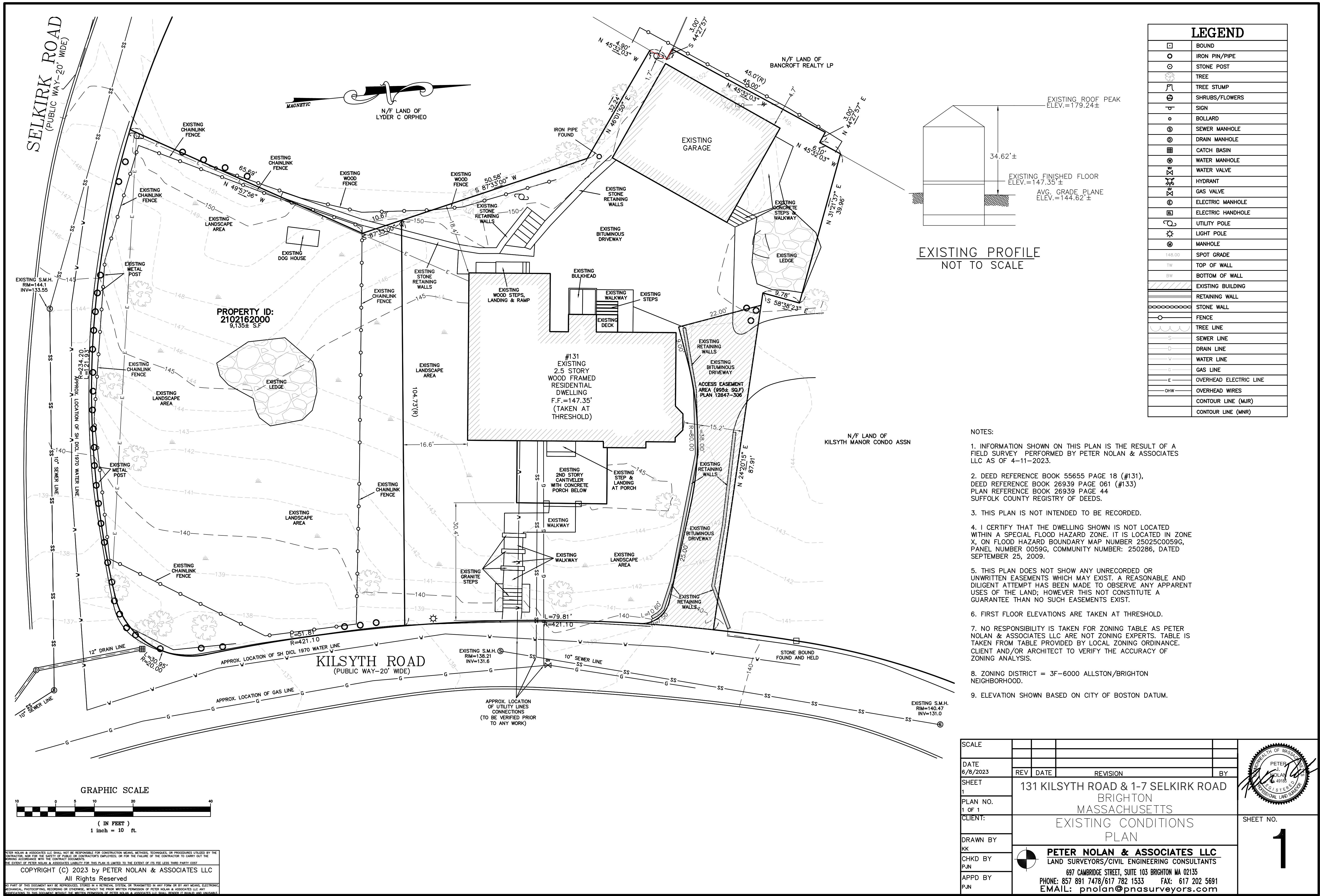
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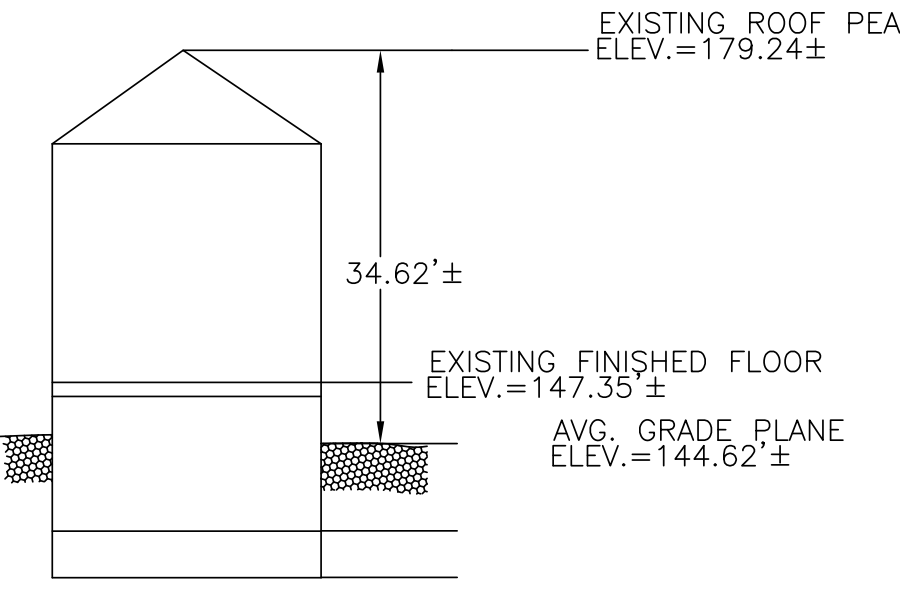
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**EXISTING SURVEY**

**C-001**



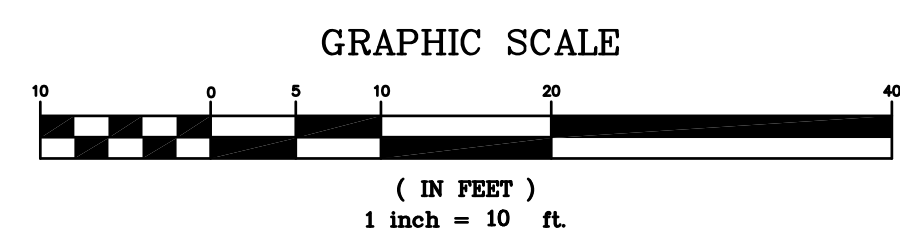
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EXISTING PROFILE  
NOT TO SCALE

NOTES:

- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 4-11-2023.
- DEED REFERENCE BOOK 55655 PAGE 18 (#131), DEED REFERENCE BOOK 26939 PAGE 061 (#133) PLAN REFERENCE BOOK 26939 PAGE 44 SUFFOLK COUNTY REGISTRY OF DEEDS.
- THIS PLAN IS NOT INTENDED TO BE RECORDED.
- I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0059G, PANEL NUMBER 0059G, COMMUNITY NUMBER: 250286, DATED SEPTEMBER 25, 2009.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
- ZONING DISTRICT = 3F-6000 ALLSTON/BRIGHTON NEIGHBORHOOD.
- ELEVATION SHOWN BASED ON CITY OF BOSTON DATUM.



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR FOR THE SAFETY OF HIS OR HIS EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF HIS EMPLOYEES UNDER ALL CIRCUMSTANCES.  
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SCALE				
DATE	6/8/2023	REV	DATE	REVISION
SHEET	1	PLAN NO.	1 OF 1	CLIENT:
DRAWN BY		PETER NOLAN & ASSOCIATES LLC		
CHKD BY		LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS		
APPD BY		637 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135		
		PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691		
		EMAIL: pnolan@pnasurveyors.com		

SHEET NO.  
**1**

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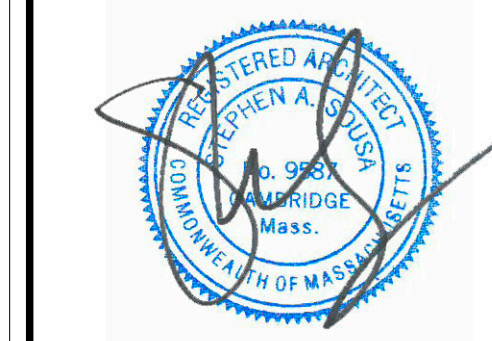
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SOUSA design Architects

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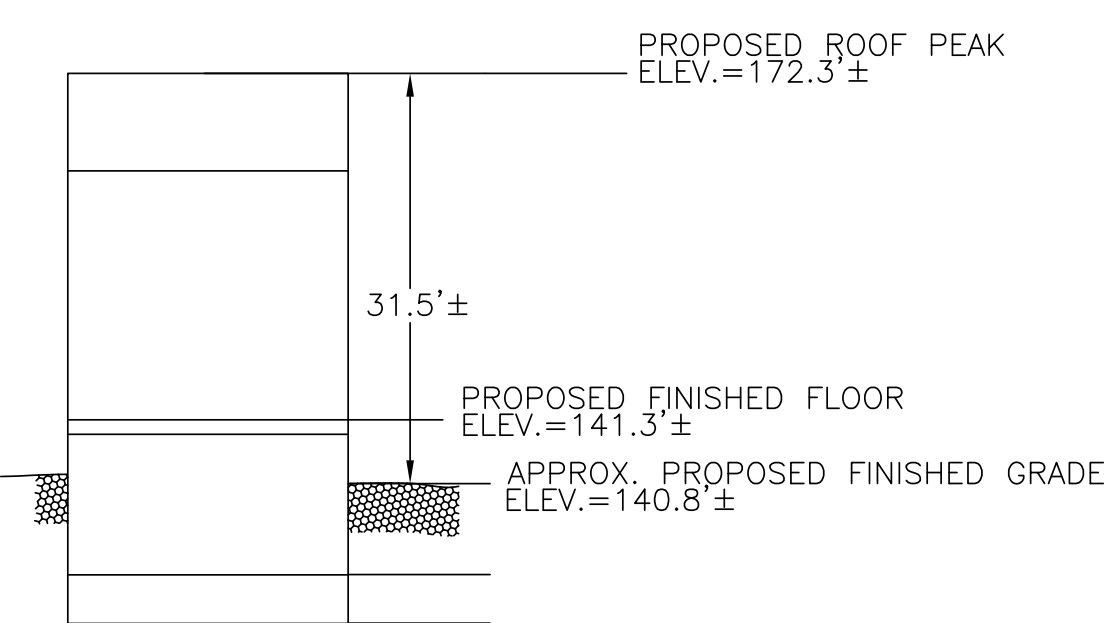
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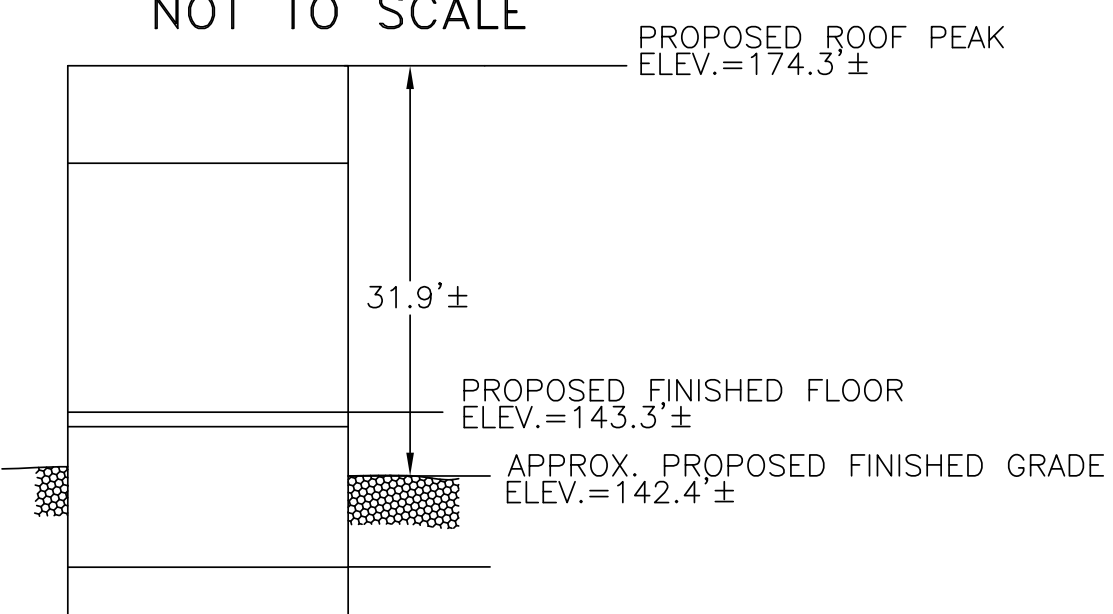
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PROPOSED PLOT PLAN

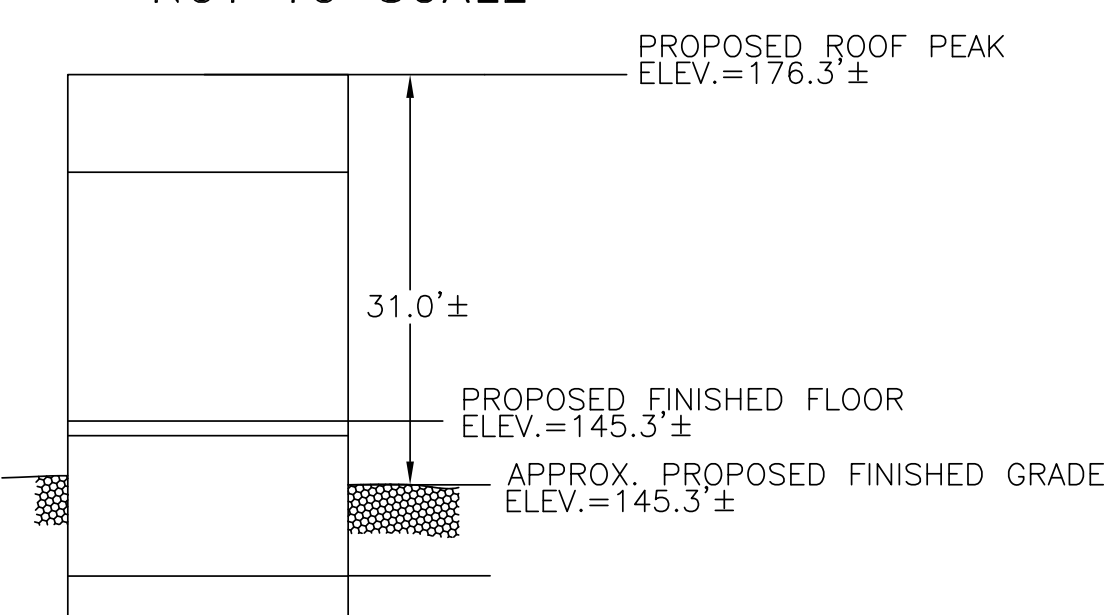
C-002



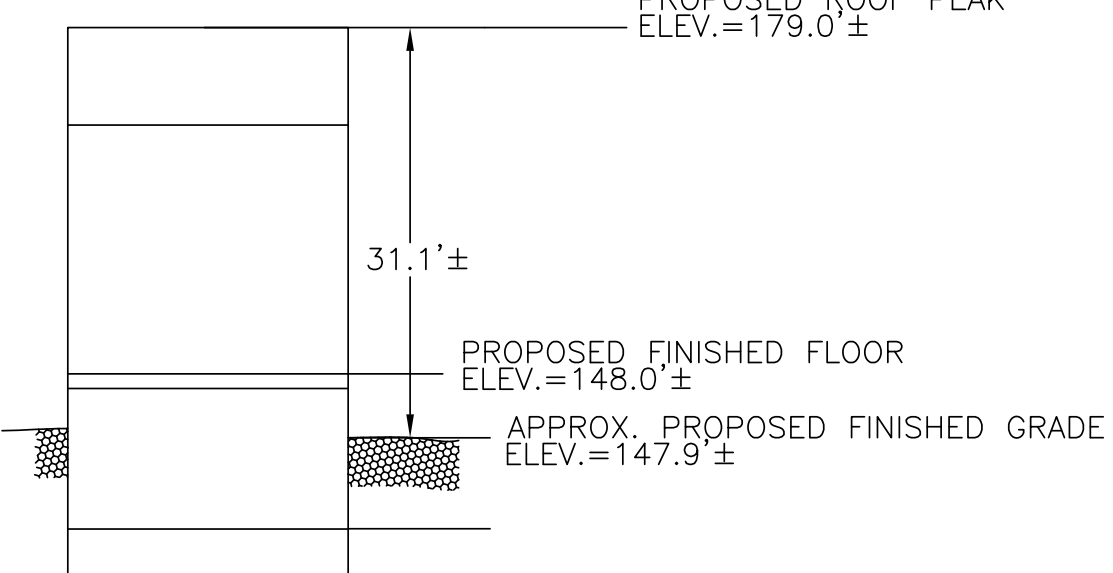
PROPOSED PROFILE UNIT 1 NOT TO SCALE



PROPOSED PROFILE UNIT 2 NOT TO SCALE

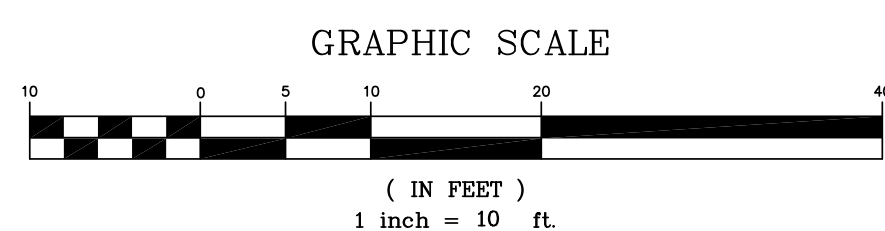


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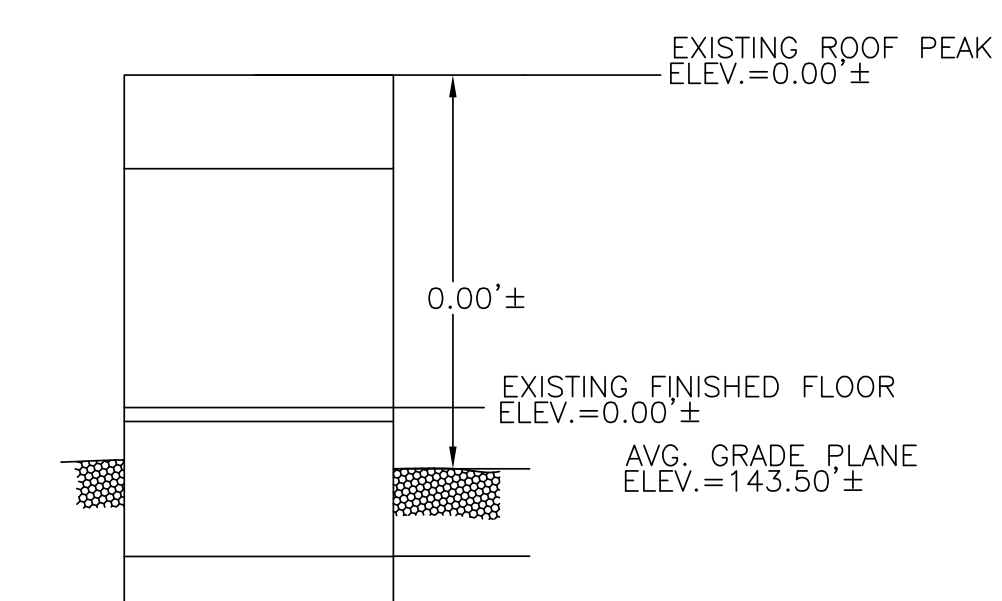
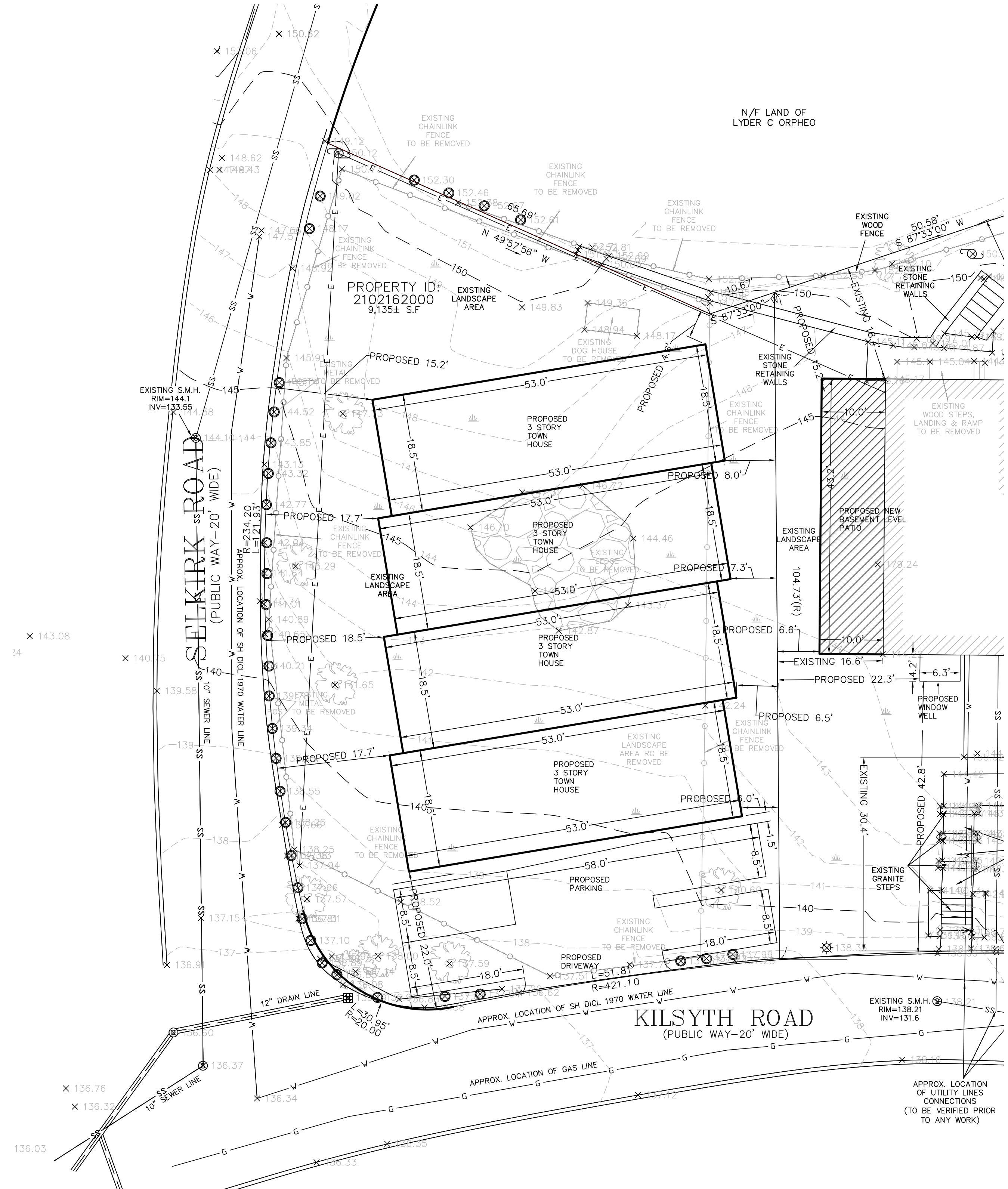
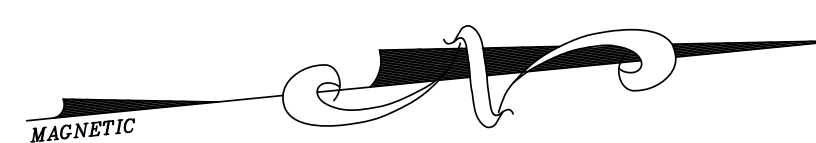
PROPOSED PROFILE UNIT 4 NOT TO SCALE

ALL ELEVATIONS TO BE VERIFIED BY ARCHITECT PRIOR TO CONSTRUCTION



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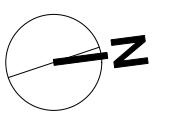
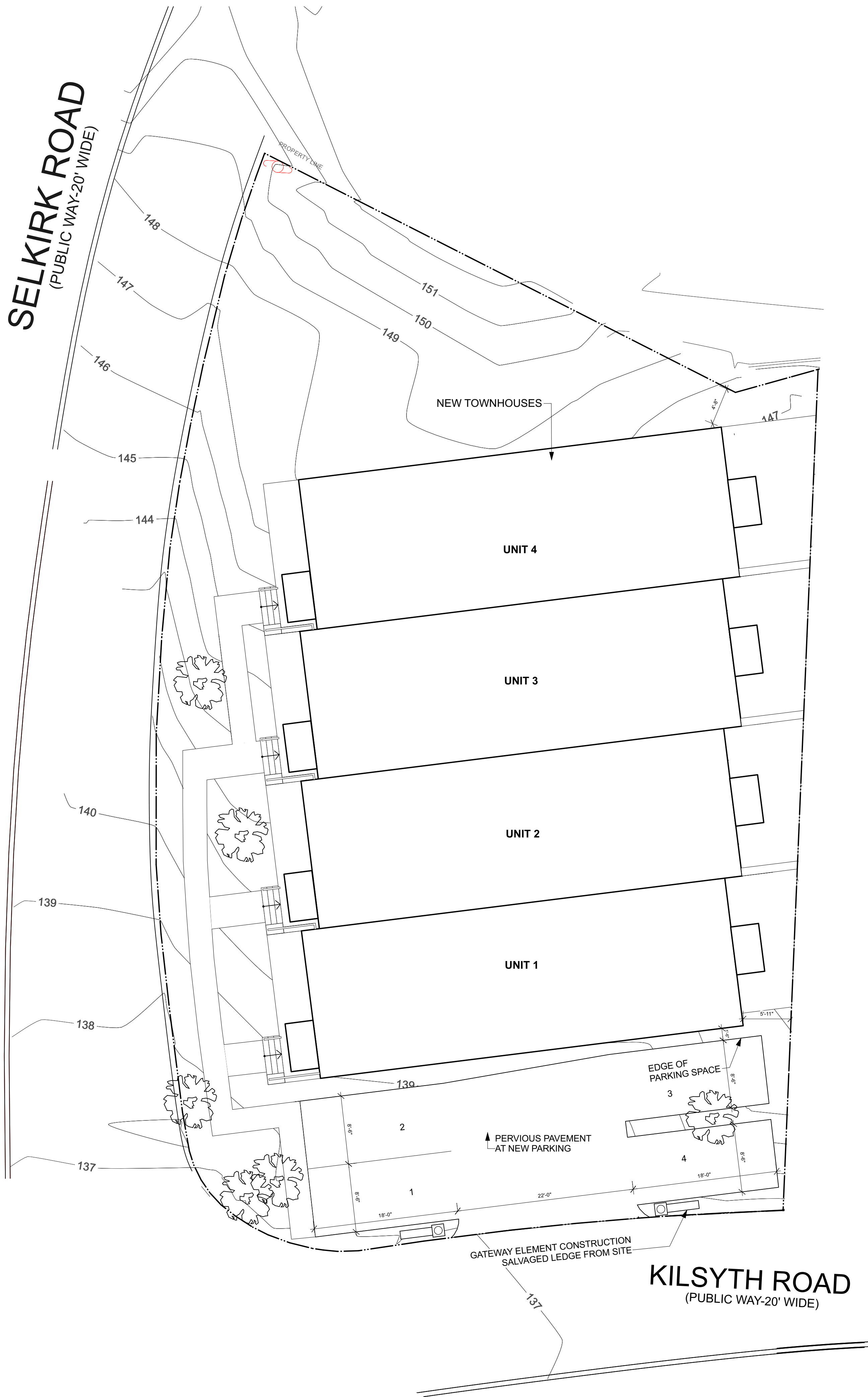
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Scale table and title block containing project name '1-7 SELKIRK ROAD BRIGHTON MASSACHUSETTS PROPOSED PLOT PLAN' and contact information for Peter Nolan & Associates LLC.

SHEET NO. 1

**SELKIRK ROAD**  
(PUBLIC WAY-20' WIDE)



**1 PROPOSED SITE PLAN**  
Scale: 1/8" = 1'-0"

**1-7 Selkirk Road**

Brighton, MA 02135

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**PROPOSED SITE PLAN**

**A-001**

# 1-7 Selkirk Road

Brighton, MA 02135

SQUARE FOOTAGE COUNTS:	
UNIT 1:	±2,881 GSF
UNIT 2:	±2,816 GSF
UNIT 3:	±2,816 GSF
UNIT 4:	±2,881 GSF
TOTAL GROSS SQ. FOOTAGE: ±11,394 GSF	
NOTE: LAUNDRY ROOM AND H.W. CLOSET ARE EXCLUDED FROM GSF COUNT, AS PER BOSTON ZONING DEFINITION	

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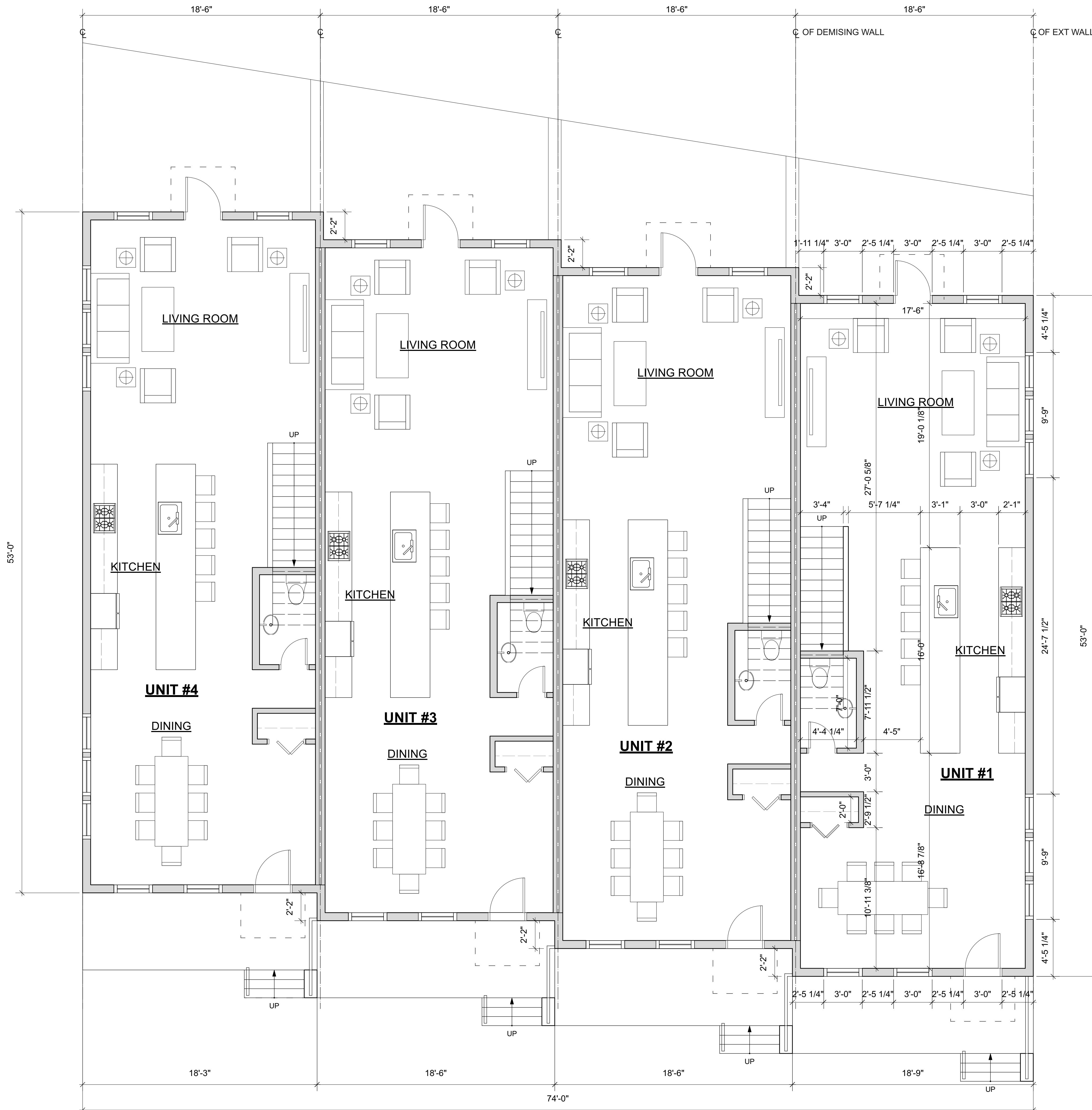
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**TOWNHOUSE  
PROPOSED FIRST  
FLOOR PLAN**

**A-100**



1 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

SQUARE FOOTAGE COUNTS:	
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UNIT 2:	±2,816 GSF
UNIT 3:	±2,816 GSF
UNIT 4:	±2,881 GSF
TOTAL GROSS SQ. FOOTAGE: ±11,394 GSF	
NOTE: LAUNDRY ROOM AND H.W. CLOSET ARE EXCLUDED FROM GSF COUNT, AS PER BOSTON ZONING DEFINITION	

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**TOWNHOUSE  
PROPOSED SECOND  
FLOOR PLAN**

**A-101**



1 PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

SQUARE FOOTAGE COUNTS:	
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UNIT 4:	±2,881 GSF
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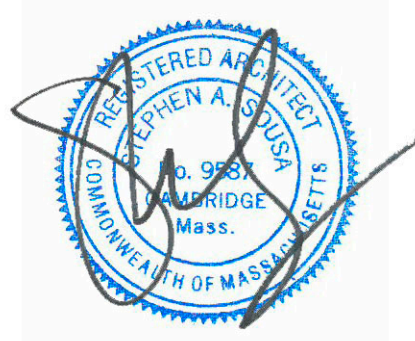
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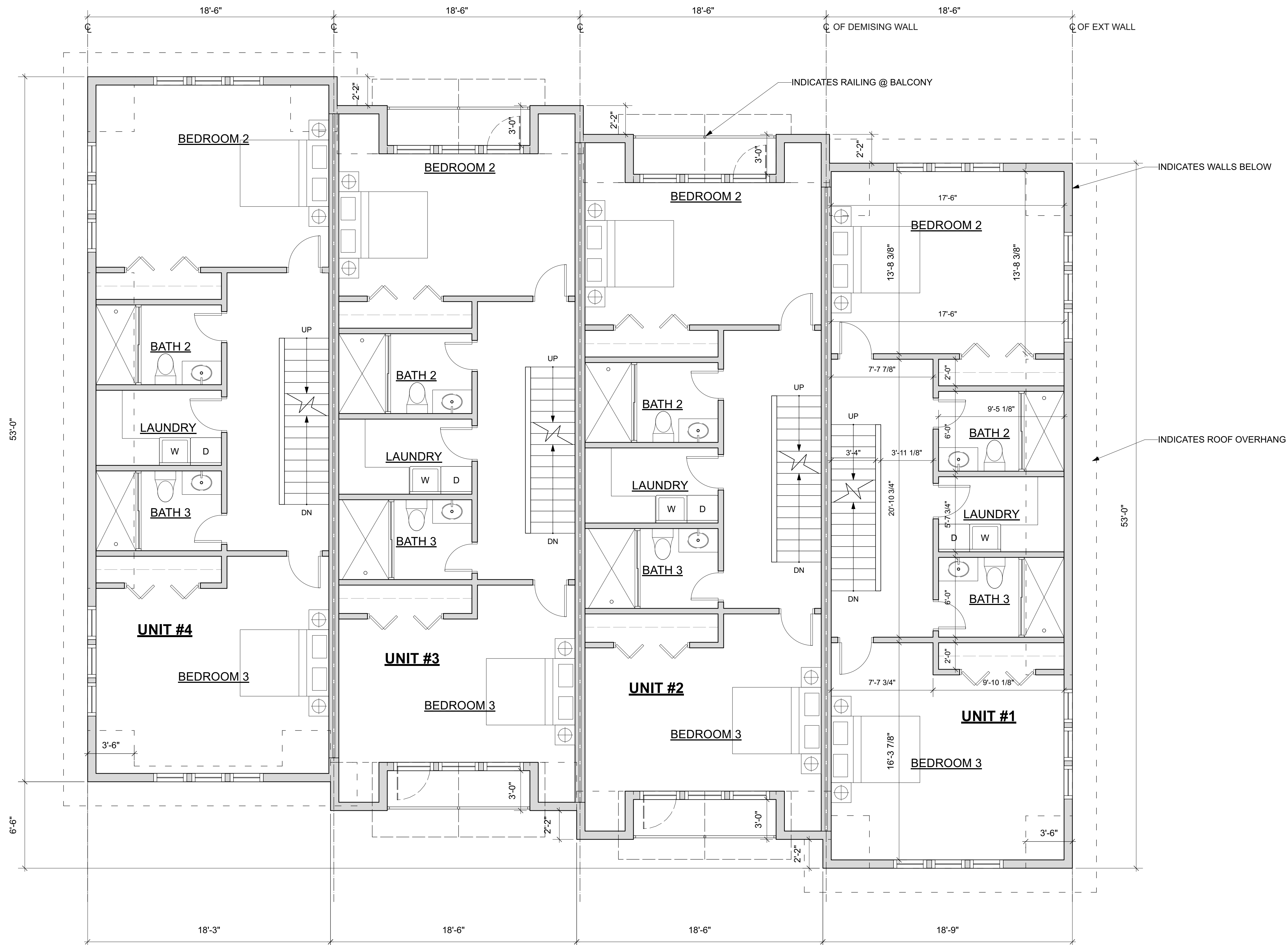
Drawn by Ckd by

Date 09.28.2023

Revisions		
1	REVISION	01-02-24
2	REVISED COMMENTS	03-22-24

**TOWNHOUSE**  
**PROPOSED THIRD**  
**FLOOR PLAN**

**A-102**



1 PROPOSED THIRD FLOOR PLAN  
Scale: 1/4" = 1'-0"

**1-7 Selkirk Road**

Brighton, MA 02135

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THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT.

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ISSUED FOR:  
ZONING SUBMISSION  
09.28.2023  
REVISED DATE:  
03.22.2024

**SOUSA design**  
Architects

81 Boylston Street, 2nd Floor  
Boston, MA 02116  
617-879-9100  
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**Revisions**

NO.	REVISION	DATE
1	REVISION	01-02-24
2	REVISED COMMENTS	03-22-24

**TOWNHOUSE  
EXTERIOR  
ELEVATION**

**A-200**



1 PROPOSED SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



**1-7 Selkirk Road**

Brighton, MA 02135

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**TOWNHOUSE  
EXTERIOR  
ELEVATION**

**A-201**



1 PROPOSED EAST ELEVATION  
Scale: 1/4" = 1'-0"

**1-7 Selkirk Road**

Brighton, MA 02135

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**Revisions**

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**TOWNHOUSE  
EXTERIOR  
ELEVATION**

**A-202**



1 PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"

**1-7 Selkirk Road**

Brighton, MA 02135

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**TOWNHOUSE  
EXTERIOR  
ELEVATION**

**A-203**



1 PROPOSED WEST ELEVATION  
Scale: 1/4" = 1'-0"

**1-7 Selkirk Road**

Brighton, MA 02135



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**EXTERIOR  
RENDERING**

**A-500**

1 PERSPECTIVE VIEW FROM SELKIRK ROAD



1 PERSPECTIVE SOUTHEAST VIEW  
Scale: 1/4" = 1'-0"



2 PERSPECTIVE SOUTHEAST AERIAL VIEW  
Scale: 1/4" = 1'-0"



3 PERSPECTIVE NORTHWEST  
Scale: 1/4" = 1'-0"



4 PERSPECTIVE VIEW FROM KILSYTH ROAD  
Scale: 1/4" = 1'-0"

**1-7 Selkirk Road**

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**EXTERIOR  
RENDERINGS**

**A-501**