SOUSA design Architects

ISSUED FOR: ZONING SUBMISSION 09.28.2023 REVISED: 03.22.24

DOCUMENT LIST

ARCHITECTURAL:

COVER PAGE A-000 C-001 EXISTING SURVEY PROPOSED PLOT PLAN C-002 PROPOSED ARCHITECTURAL SITE PLAN A-001

A-100 TOWNHOUSE PROPOSED FIRST FLOOR PLAN A-101 TOWNHOUSE PROPOSED SECOND FLOOR PLAN A-102 TOWNHOUSE PROPOSED THIRD FLOOR PLAN

A-200 TOWNHOUSE EXTERIOR ELEVATION A-201 TOWNHOUSE EXTERIOR ELEVATION A-202 TOWNHOUSE EXTERIOR ELEVATION A-203 TOWNHOUSE EXTERIOR ELEVATION

A-500 EXTERIOR RENDERING A-501 EXTERIOR RENDERINGS



1-7 SELKIRK ROAD

BRIGHTON, MA 02135

> MAP LOCUS

Lot / Lot / for d Addi For e Dwe Lot \ Lot

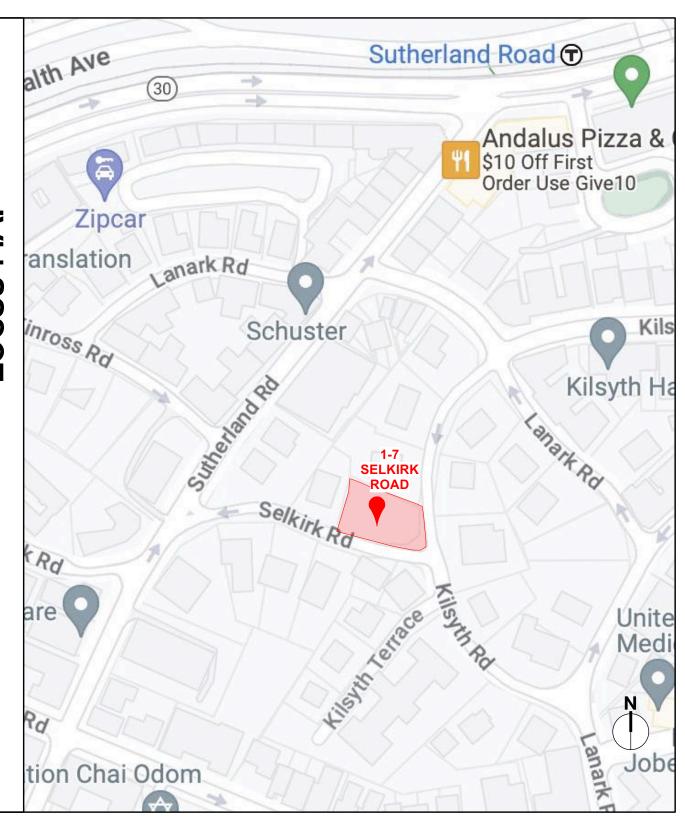
F.A.F Build

Build Use

Min. Fron Side

Park

Tota Bui



ZONING SUMMARY

ZONE - Allston Brighton Neighborhood - 3F-6000

	REQUIRED	PROPOSED 1-7 SELKIRK ROAD
Area Total - SF		9,135
Area Minimum dwelling Units	3000 SF/ Unit	2284
ditional SF Area each additional elling	3000	0
Width Min.	25'	65.5'
Frontage Min.	25'	204.69'
R. Max.	0.8	1.25
lding Ht. Max Stories	3	3
lding Ht. Max.	35'	35'
eable Open Space . SF per Dwelling	800	2513
nt Yard	20'	21'-6" (Kilsyth)
e Yard	5'	5'-11"
ar Yard	30'	4'-8"
king 5 Spaces/ Unit)	7	4 (AT GRADE)
al Gross SQ. Footage: Iding Footprint		11,394 3925

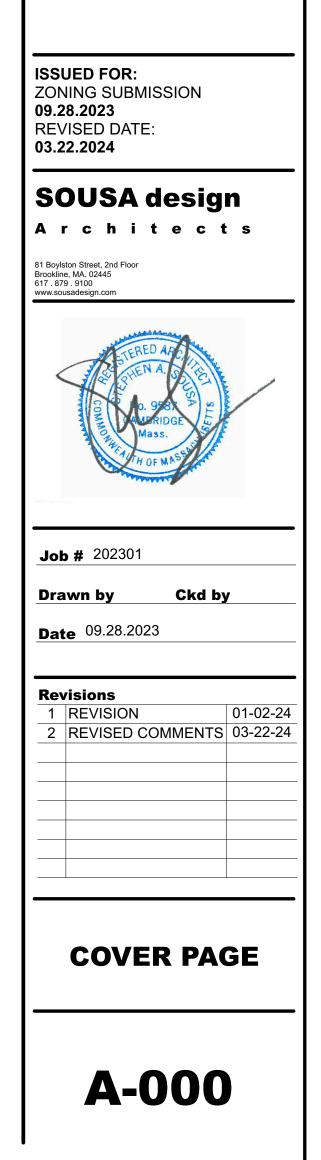
1-7 Selkirk Road

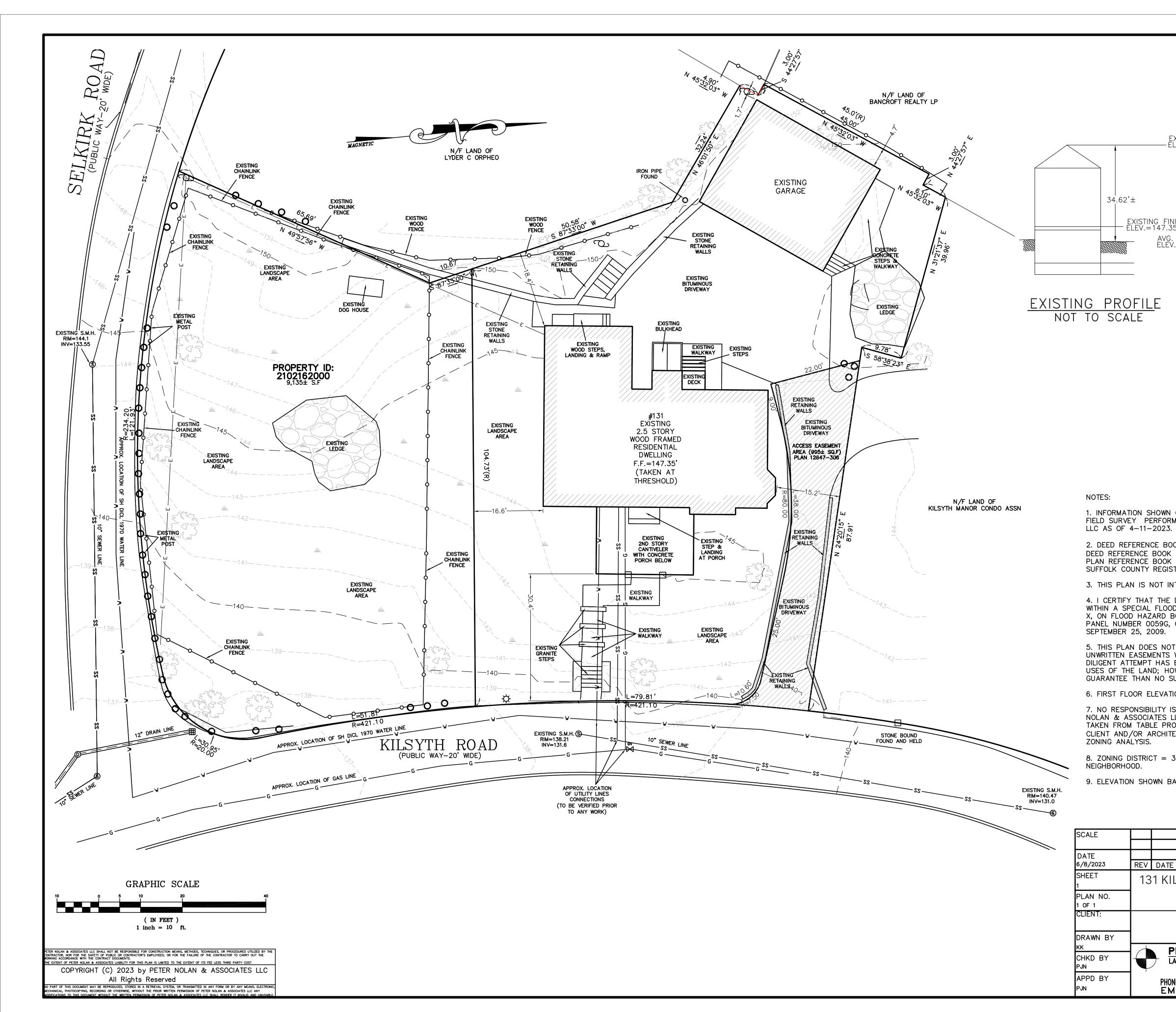
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EXISTING	ROOF	PEAK
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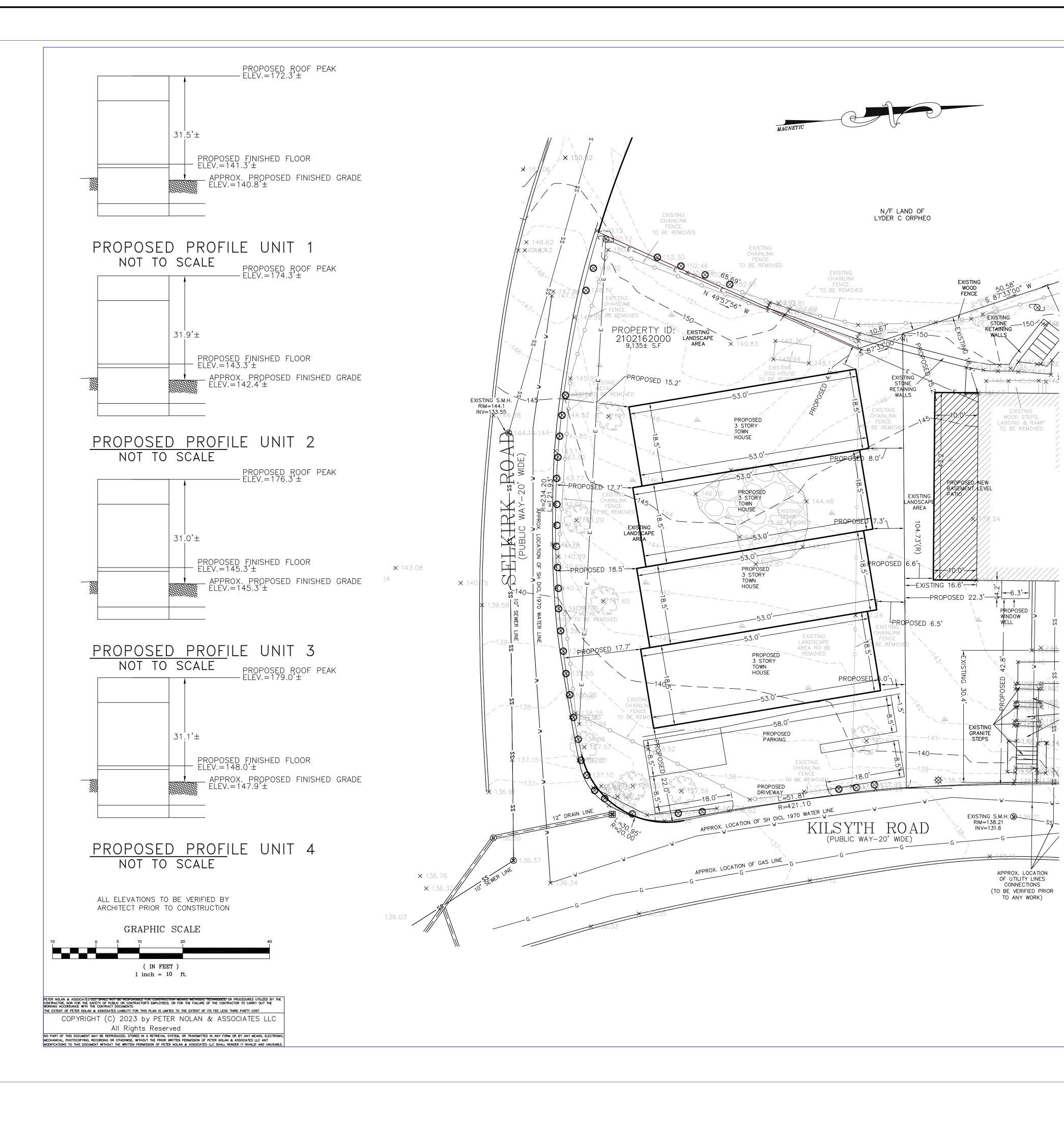
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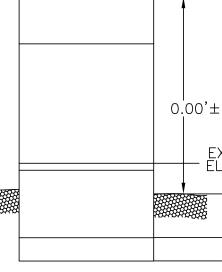
			_
		LEGEND	
	• •	BOUND IRON PIN/PIPE	_
	0 0	STONE POST	
	6 F. S.	TREE	
EXISTING ROOF PEAK	<u> </u>	TREE STUMP SHRUBS/FLOWERS	
$-ELEV.=179.24\pm$	- -	SIGN	
	• ⑤	BOLLARD SEWER MANHOLE	_
	©	DRAIN MANHOLE	
		CATCH BASIN	
	® 	WATER MANHOLE WATER VALVE	-
FINIŞHED FLOOR 47.35'±		HYDRANT	
AVG. GRADE PLANE ELEV.=144.62'±		GAS VALVE	_
	Ē	ELECTRIC MANHOLE ELECTRIC HANDHOLE	
	പ	UTILITY POLE	
	‡		_
-	148.00	MANHOLE SPOT GRADE	_
	TW	TOP OF WALL	
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		EXISTING BUILDING RETAINING WALL	-
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		1
		FENCE TREE LINE	_
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200K 26939 PAGE 44 REGISTRY OF DEEDS. DT INTENDED TO BE RECORDED THE DWELLING SHOWN IS NOT FLOOD HAZARD ZONE. IT IS LO RD BOUNDARY MAP NUMBER 2 59G, COMMUNITY NUMBER: 250 09. 3 NOT SHOW ANY UNRECORDED NTS WHICH MAY EXIST. A REAS HAS BEEN MADE TO OBSERVE 0; HOWEVER THIS NOT CONSTIT NO SUCH EASEMENTS EXIST. EVATIONS ARE TAKEN AT THRE ITY IS TAKEN FOR ZONING TAB TES LLC ARE NOT ZONING TAB TES LLC AR	LOCATED CATED IN ZONE 25025C0059G, 0286, DATED O OR SONABLE AND ANY APPARENT UTE A CSHOLD. BLE AS PETER ERTS. TABLE IS ORDINANCE. RACY OF		
DATE REVISION I KILSYTH ROAD & 1-	-7 SELKIRK	BY ROAD	1/2
BRIGHT MASSACHU EXISTING CON PLAN PETER NOLAN & A LAND SURVEYORS/CIVIL ENG 697 CAMBRIDGE STREET, SUITE PHONE: 857 891 7478/617 782 153 EMAIL: pnolan@pno	ON <u>SETTS</u> NDITIONS SINEERING CONSU 103 BRIGHTON MA 021	SHEET NO.	NO 3P
EMAIL: pholan@pho	usurveyors	.com	

#### 1-7 Selkirk Road Brighton, MA 02135 ALL DRAWINGS, SPECIFICATIONS AND ARCHITECTURAL DESIGNS ARE THE PROPERTY OF SOUSA DESIGN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON THIS OR ANY OTHER PROJECT WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE PRIOR TO BEGINNING ANY WORK. REPORT ALL DISCREPANCIES IN WRITING TO SOUSA DESIGN ARCHITECTS BEFORE PROCEEDING WITH THE WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR SAME. DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, AND TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. EACH CONTRACTOR SHALL SUBMIT TO SOUSA DESIGN ARCHITECTS FOR APPROVAL: SHOP DRAWINGS, SAMPLES, CUTS OF ALL THE ITEMS OF WORK PRIOR TO THEIR INCLUSION IN THE CONSTRUCTION. ALL ITEMS TO BE INCLUDED SHALL BE APPROVED FOR USE IN THE CITY OF BOSTON AND SHALL HAVE AN ASTM AND UL NUMBER WHEN SUCH ITEMS REQUIRE THIS DESIGNATION. EACH CONTRACTOR SHALL CO-ORDINATE HIS WORK WITH ALL OTHER CONTRACTORS. THE QUALITY OF WORKMANSHIP AND MATERIALS USED SHALL COMPLY WITH ALL CITY OF BOSTON AND MA STATE BUILDING CODES. DRAWINGS SUBJECT TO APPROVAL BY ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION ALL NEW CONSTRUCTION TO COMPLY WITH APPLICABLE HANDICAPPED ACCESSIBILITY LAWS. **ISSUED FOR:** ZONING SUBMISSION 09.28.2023 REVISED DATE: 03.22.2024 SOUSA design Architects 81 Boylston Street, 2nd Floor Brookline, MA. 02445 617 . 879 . 9100 www.sousadesign.com Job # 202301 Ckd by Drawn by Date 09.28.2023 Revisions 1 REVISION 01-02-24 2 REVISED COMMENTS 03-22-24

## EXISTING SURVEY







#### EXISTING PROFILE NOT TO SCALE

NOTES:

LLC AS OF 4-11-2023.

2.DEED REFERENCE BOOK 26939 PAGE 061 (#133) PLAN REFERENCE BOOK 26939 PAGE 44 SUFFOLK COUNTY REGISTRY OF DEEDS.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25025C0059G, PANEL NUMBER 0059G, COMMUNITY NUMBER: 250286, DATED SEPTEMBER 25, 2009.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

ZONING ANÁLYSIS.

NEIGHBORHOOD.

9. ELEVATION SHOWN BASED ON CITY OF BOSTON DATUM.

SCALE	
DATE	
9/28/2023	REV
SHEET	
1	
PLAN NO.	
1 OF 1	
CLIENT:	
DRAWN BY	
BB	
CHKD BY	
PJN	
APPD BY	
PJN	

EXISTING ROOF PEAK ELEV.=0.00'±

EXISTING FINISHED FLOOR ELEV.=0.00  $^{\rm \pm}$ AVG. GRADE PLANE ELEV.=143.50'±

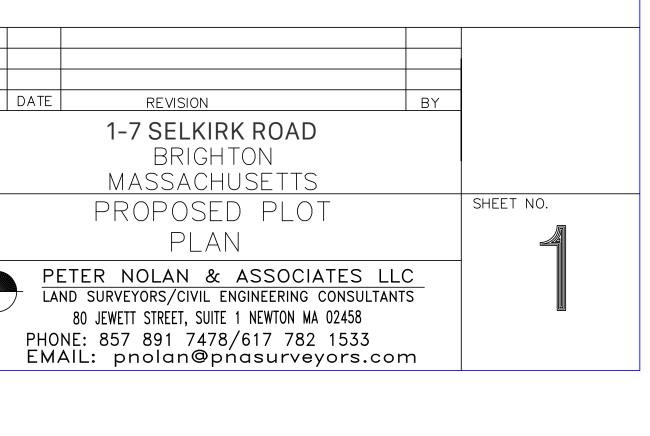
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0	IRON PIN/PIPE	
$\odot$	STONE POST	
	TREE	
۶ <u>٦</u>	TREE STUMP	
Q	SHRUBS/FLOWERS	
<del>م</del>	SIGN	
0	BOLLARD	
S	SEWER MANHOLE	
Ø	DRAIN MANHOLE	
Ħ	CATCH BASIN	
Ŵ	WATER MANHOLE	
¥¥	WATER VALVE	
Þ.	HYDRANT	
Xs.	GAS VALVE	
Ē	ELECTRIC MANHOLE	
EL	ELECTRIC HANDHOLE	
ပြ	UTILITY POLE	
¢	LIGHT POLE	
Ø	MANHOLE	
148.00	SPOT GRADE	
ΤW	TOP OF WALL	
BW	BOTTOM OF WALL	
	EXISTING BUILDING	
	RETAINING WALL	
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	STONE WALL	
0	FENCE	
UUU	TREE LINE	
S	SEWER LINE	
D	DRAIN LINE	
₩	WATER LINE	
G	GAS LINE	
Е	OVERHEAD ELECTRIC LINE	
онw	OVERHEAD WIRES	
	CONTOUR LINE (MJR)	
	CONTOUR LINE (MNR)	

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF

8. ZONING DISTRICT = 3F-6000 ALLSTON/BRIGHTON



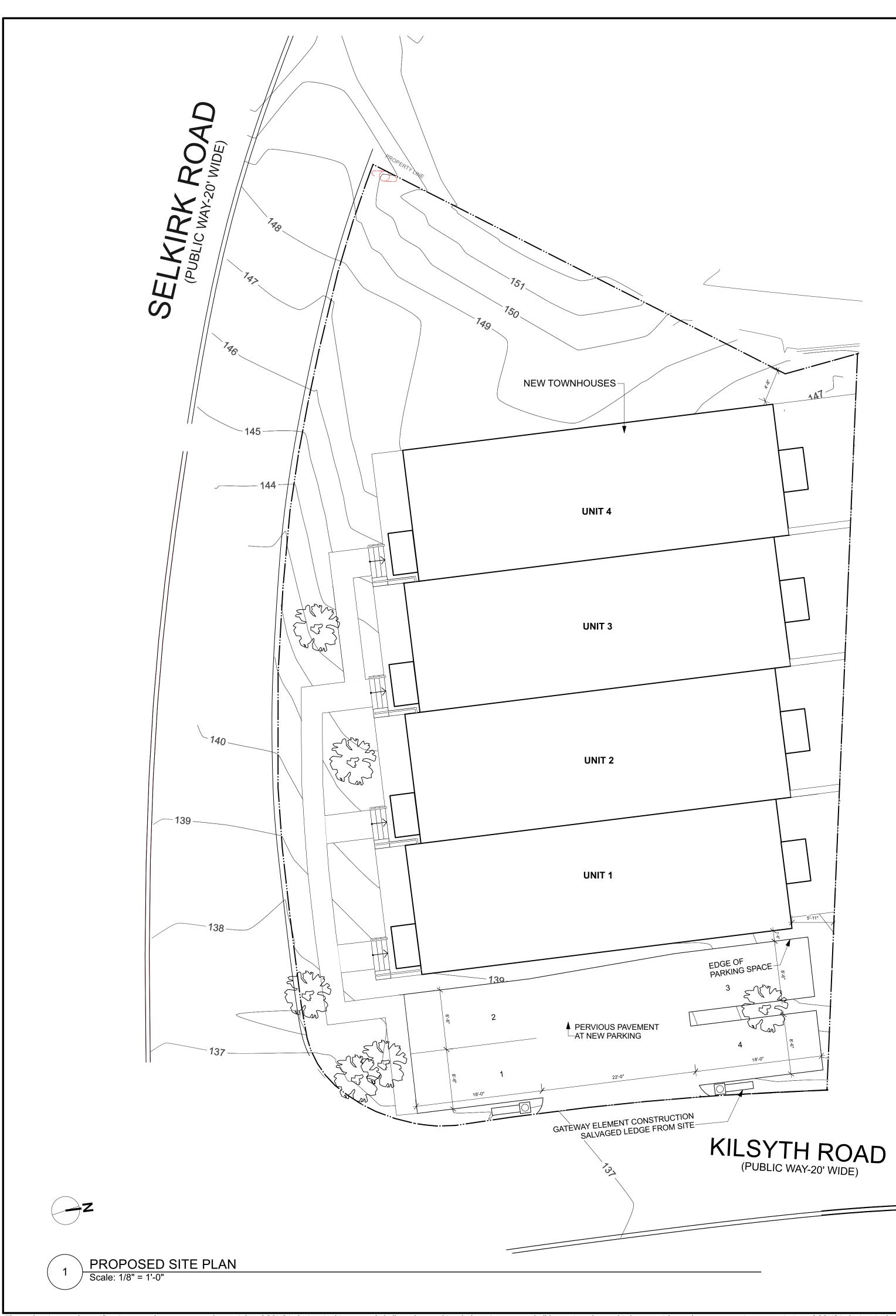
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SOUSA design Architects B1 Boylston Street, 2nd Floor Brookline, MA. 02445 617 . 879 . 9100 www.sousadesign.com
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Job # 202301 Drawn by Ckd by Date 09.28.2023
Revisions 1 REVISION 01-02-24 2 REVISED COMMENTS 03-22-24 - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - - -
PROPOSED PLOT PLAN
C-002



1-7 Selkirk Road

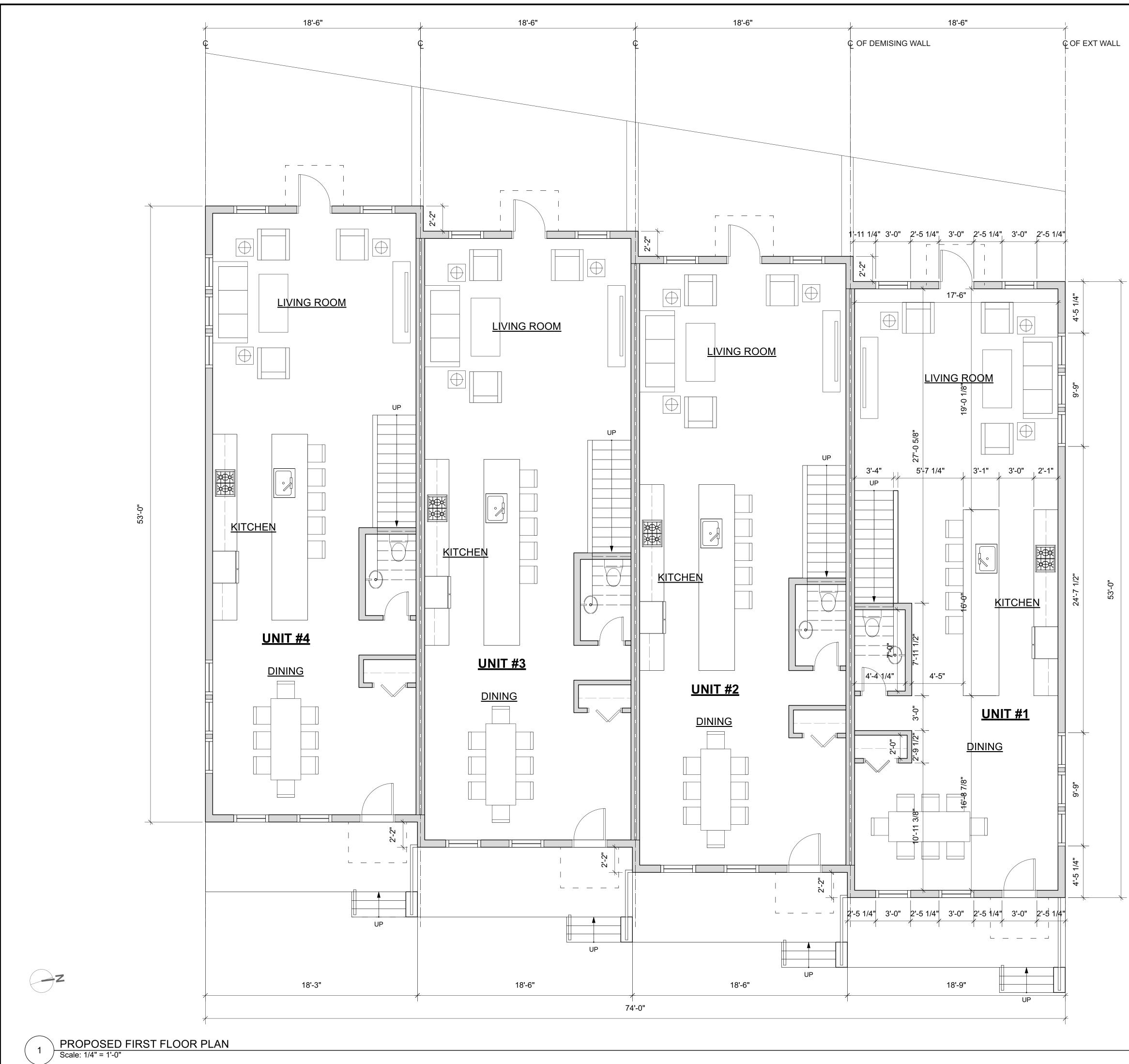
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Job # 202301
Drawn by Ckd by
Date 09.28.2023
Revisions
1 REVISION 01-02-24 2 REVISED COMMENTS 03-22-24
PROPOSED SITE PLAN
A-001



SQUARE FOOTAGE COUNTS:

UNIT 1:	±2,881 GSF
UNIT 2:	±2,816 GSF
UNIT 3:	±2,816 GSF
UNIT 4:	±2,881 GSF

TOTAL GROSS SQ. FOOTAGE: ±11,394 GSF NOTE: LAUNDRY ROOM AND H.W. CLOSET ARE EXCLUDED FROM GSF COUNT, AS PER BOSTON ZONING DEFINITION

1-7 Selkirk Road

Brighton, MA 02135

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Date 09.28.2023	
Revisions 1 REVISION 2 REVISED COMMENTS	01-02-24 03-22-24
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PROPOSED FIRST FLOOR PLAN



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SQUARE FOOTAGE COUNTS:

UNIT 1:	±2,881 GSF
UNIT 2:	±2,816 GSF
UNIT 3:	±2,816 GSF
UNIT 4:	±2,881 GSF

TOTAL GROSS SQ. FOOTAGE: ±11,394 GSF NOTE: LAUNDRY ROOM AND H.W. CLOSET ARE EXCLUDED FROM GSF COUNT, AS PER BOSTON ZONING DEFINITION

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TOWNHOUSE PROPOSED SECOND FLOOR PLAN



SQUARE FOOTAGE COUNTS:

JNIT 1:	±2,881 GSF
JNIT 2:	±2,816 GSF
JNIT 3:	±2,816 GSF
JNIT 4:	±2,881 GSF

TOTAL GROSS SQ. FOOTAGE: ±11,394 GSF NOTE: LAUNDRY ROOM AND H.W. CLOSET ARE EXCLUDED FROM GSF COUNT, AS PER BOSTON ZONING DEFINITION

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1 PROPOSED SOUTH ELEVATION Scale: 1/4" = 1'-0"

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EXTERIOR ELEVATION

TOWNHOUSE



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PROPOSED NORTH ELEVATION Scale: 1/4" = 1'-0"

1

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TOWNHOUSE EXTERIOR ELEVATION



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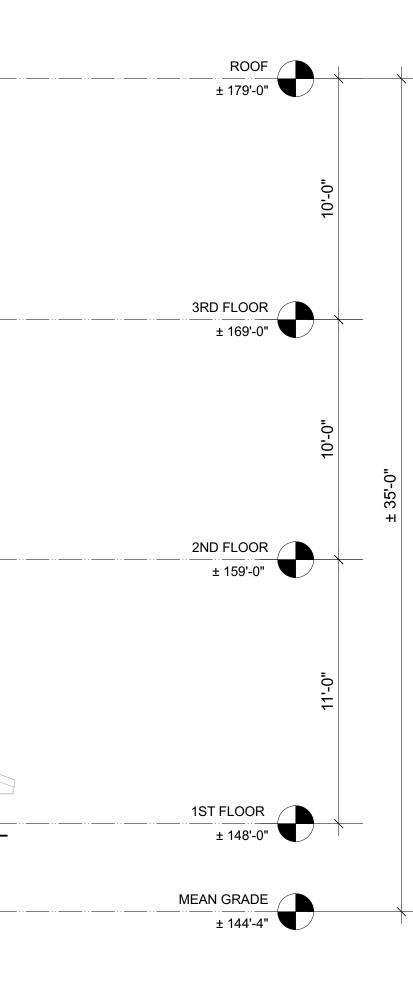
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TOWNHOUSE EXTERIOR ELEVATION



Contractor to verify all information and dimensions in the field prior to start of construction and is to notify SOUSA design Architects of any discrepancies



PERSPECTIVE VIEW FROM SELKIRK ROAD

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3 PERSPECTIVE NORTHWEST Scale: 1/4" = 1'-0"





PERSPECTIVE SOUTHEAST AERIAL VIEW Scale: 1/4" = 1'-0"





PERSPECTIVE VIEW FROM KILSYTH ROAD Scale: 1/4" = 1'-0"

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