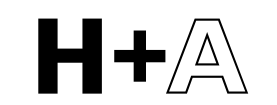




41 BERKELEY STREET

SOUTH END, BOSTON



SELDC Advisories and Public Process

SELDC ADVISORIES

Advisory 1- Aug 24, 2020

- 2-story Union addition
- 145 foot Senior Care



Advisory 2 - Nov 2, 2020

- 2-story Union addition
- 135 foot Senior Care



Advisory 3 - Apr 28, 2022

- 1-story Union addition
- 110 foot Senior Care



OTHER APPROVALS

BCDC Jun 7, 2022

BPDA Board Dec 12, 2022

Zoning (PDA) Jan 11, 2023

Existing Site



Boston Center for the Arts / Franklin Institute Community Facilities (CF) Subdistrict

41 BERKELEY STREET | SOUTH END LANDMARKS HEARING | 7 FEBRUARY 2023

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Site Plan - Current



BERKELEY STREET
BIKE LANE

FRANKLIN UNION
BUILDING

APPLETON STREET

GARAGE
ENTRY

6A APPLETON

6 APPLETON

COURTYARD
ENTRY

COURTYARD
TERRACE

GREEN
TERRACE

ARCADE

TREMONT
PASSAGE

APPLETON
BUILDING

SENIOR CARE
BUILDING

BERKELEY
PLAZA

TREMONT
PARKLET

BIKE LANE

TREMONT STREET



Franklin Union Building - What We Heard

APRIL 28, 2022

- Single story rooftop addition with hidden mechanicals is a better approach than 2 story addition.
- Would help to see additional views, from greater distance
- Greenery on roof is nice, provide assurance it will be retained in the final project



Preservation Challenges - Franklin Union Building

PILES

- Concrete pile caps supported by wood piles.
- Wood piles in average conditions with light soft rotting occurring, cracking at concrete pile caps.
- Supplemental piles and underpinning required to maintain existing loads.

FACADES

- Load-bearing mass masonry supporting interior floors and roof and providing weather resistance.
- Deferred maintenance + deterioration requires full masonry repair, steel corrosion occurring on structural elements from failed weatherproofing.
- Repoint 100% of Brick Façade + 50% of Stone Masonry
- At all masonry repairs, assume the inner wythe will require rebuilding

WINDOWS

- Wood framed with monolithic glazing and paint finish at window exteriors.
- Severely deteriorated, sills, jambs, sashes and perimeter blocking are checked, perimeter sealant joints fail. Replacement recommended.
- All windows are beyond their useful life, need full overhaul or replacement

MEP SYSTEMS

- No life safety sprinkler system.
- Steam heating system, no HVAC or fresh air.

RESTORATION NEEDS

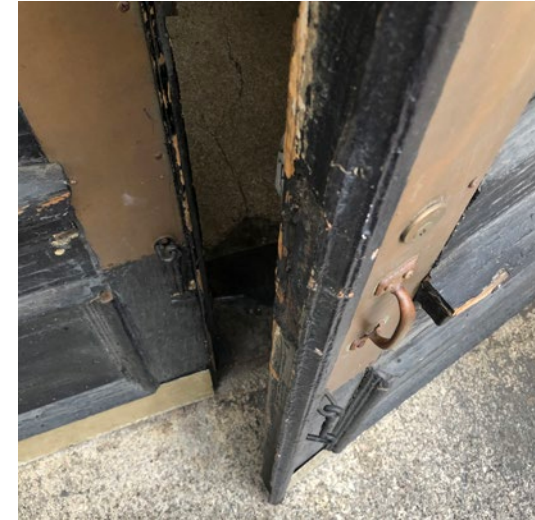
- Roof needs replacement
- Slab underside concrete repairs at roof
- Rebuild spalled brick at all interior basement walls

REPAIR COSTS

- Full renovation: \$698 / SF
- Demo/New Construction: \$395 / SF



Accessible Entrance - Franklin Union Building

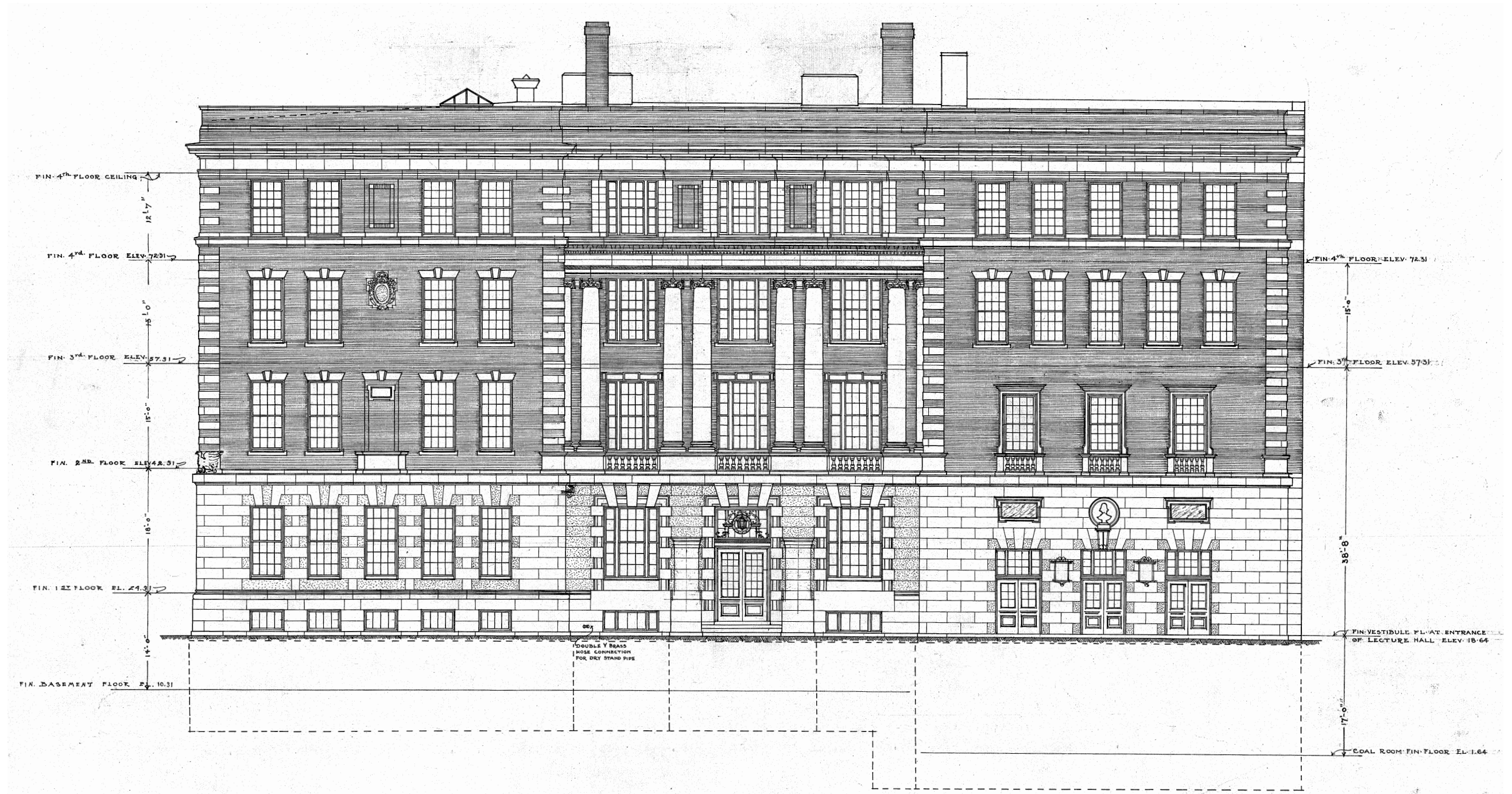


REVISED ENTRIES AND DOORS

- Remove existing granite raised thresholds, reinstall or replace in kind flush with sidewalk
- Replace failing single glazed doors with historic replica doors at revised height.
- Provide ADA door operators, paddles mounted in sidewall adjacent to doors.

Union Building Berkeley Facade

Existing - Historic Drawing



Union Building Berkeley Facade

Proposed

EXISTING FACADE
RESTORATION - BRICK
RECONSTRUCTION AND
REPOINTING. NEW WOOD
INSULATED GLASS
WINDOWS.

12 FOOT HIGH MECHANICAL
SCREEN AT GENERATOR

6 FOOT METAL MECHANICAL
SCREEN, SET BACK 30 FEET

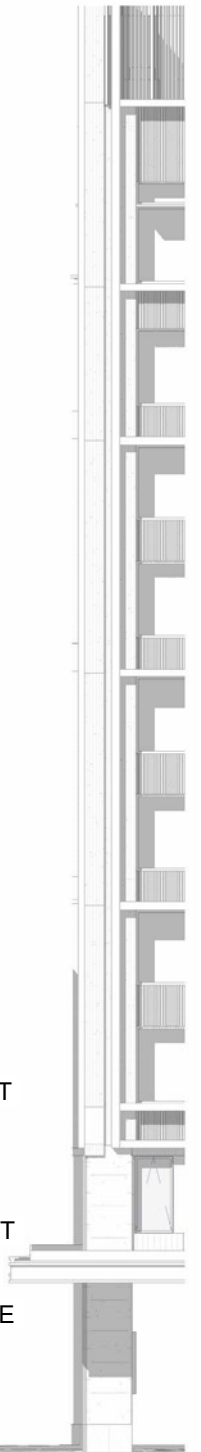
METAL CLAD ADDITION WITH
ALUMINUM WINDOWS, SET BACK
15 FEET



RELIEF FOR BUST
OF FRANKLIN;
FRANKLIN BUST
MISSING

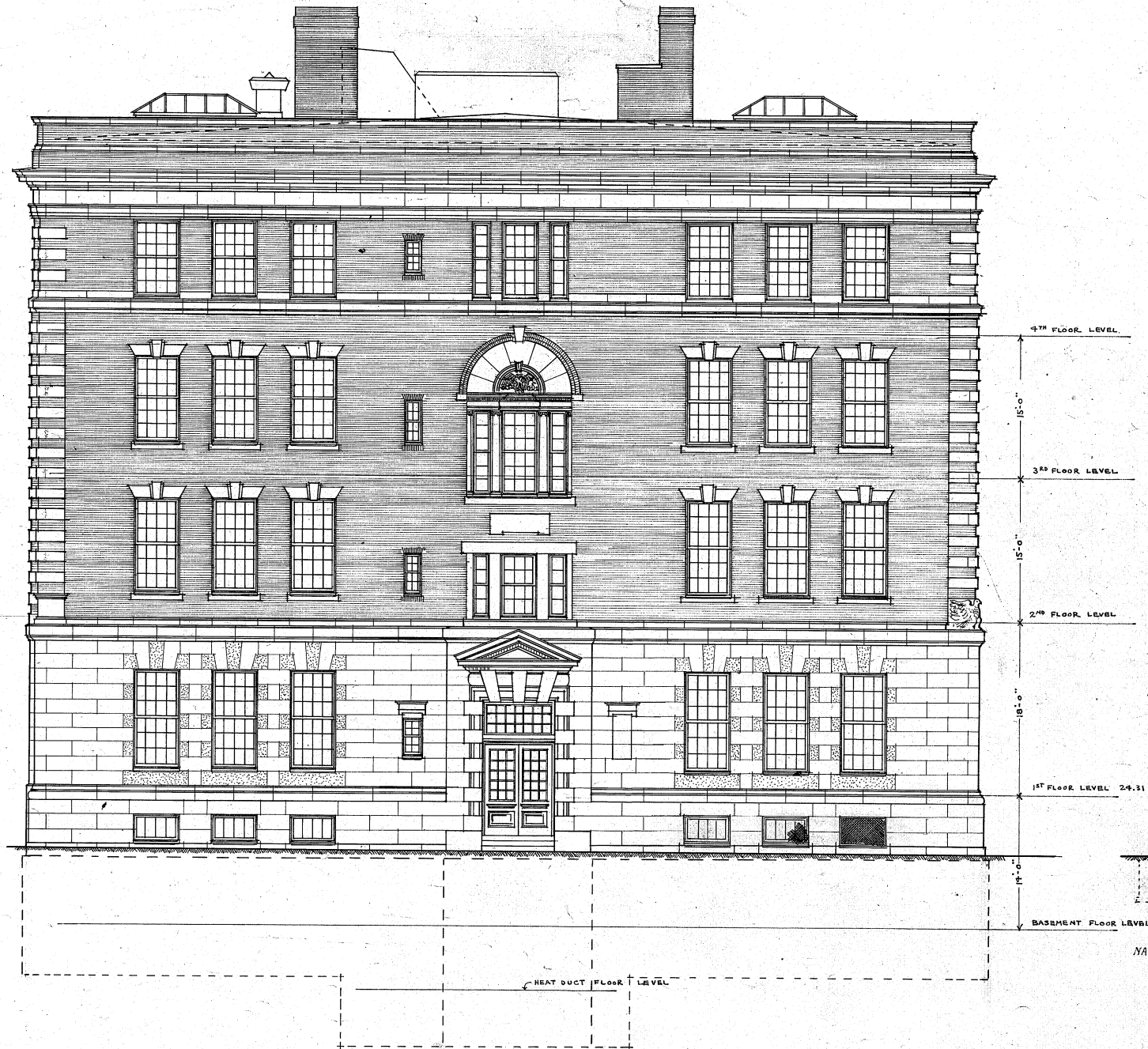
LIGHTS NOT PART
OF HISTORIC
DRAWINGS BUT
PRESENT AT TIME
OF BUILDING
CONSTRUCTION

NEW WOOD ENTRY DOORS TO MATCH
HISTORIC, SILLS DROPPED 4" TO MEET
SIDEWALK



Union Building Appleton Facade

Existing - Historic Drawing

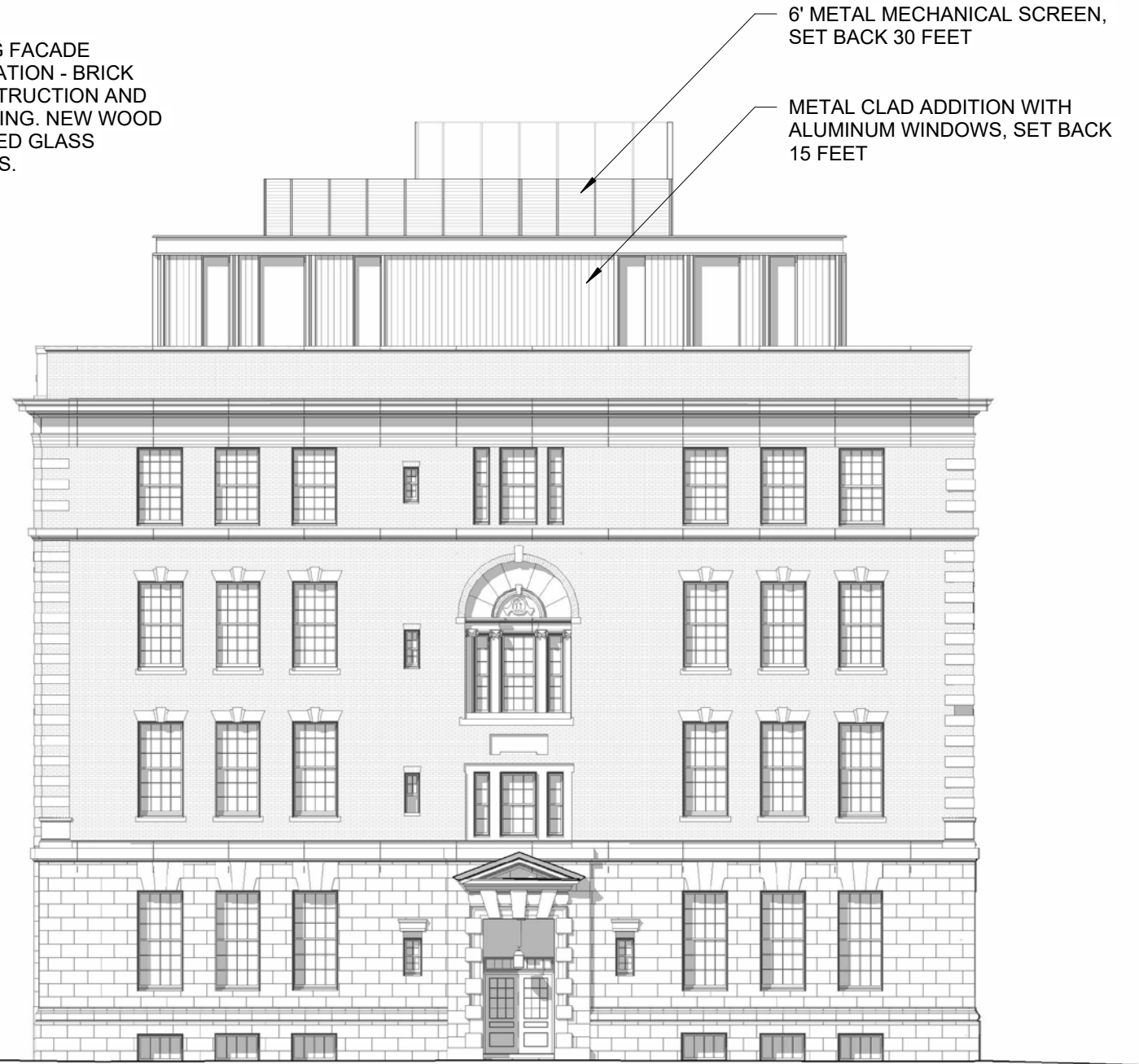


Union Building Appleton Facade

Proposed



EXISTING FACADE
RESTORATION - BRICK
RECONSTRUCTION AND
REPOINTING. NEW WOOD
INSULATED GLASS
WINDOWS.



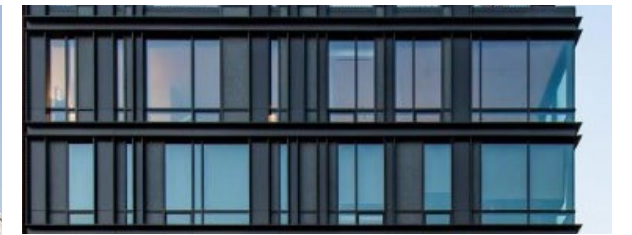
6' METAL MECHANICAL SCREEN,
SET BACK 30 FEET

METAL CLAD ADDITION WITH
ALUMINUM WINDOWS, SET BACK
15 FEET



Union Building at Corner of Berkeley and Appleton

Union Building Facade Materials + Precedents





Berkeley Street looking South across Appleton



Union Building from Gray Street



View into Courtyard from Berkeley



Looking North up Berkeley from Warren



Looking East along Appleton

Senior Care Building - What We Heard

APRIL 28, 2022

- Massing approach is much improved from 2020 scheme given 110 foot height limit
- Orientation relative to Atelier is good - creates a square
- Work to drop the mechanical screen lower; strategy for integrating into architecture is a good one
- Verticality at the corner makes sense - don't pretend height isn't there
- Add a view from down East Berkeley - gateway view
- Illustrate height vs Castle Square



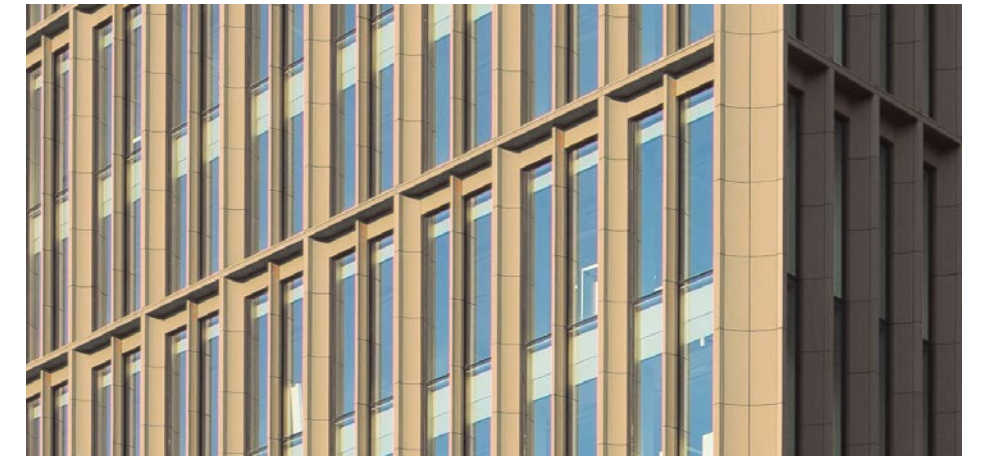
BCDC Approval June 2022



Senior Care Building Materials + Precedents



Senior Care Building Materials + Precedents





Senior Care from Berkeley - Tremont Corner



Berkeley - Tremont Corner from East Berkeley Street



View North along Tremont from Berkeley



Warren Avenue towards Berkeley Street



Tremont Corner Plaza and Courtyard Entry from Warren Avenue



Public Passageway into Courtyard from Tremont



Senior Care Entrance on Tremont

Streetscape Materials + Precedents





Appleton Corner at Tremont

TREMONT PLAZA - CURRENT DESIGN

OUTSIDE OF PROJECT

AFFORDABLE LOBBY

COMMUNITY SPACE ADJACENT OUTDOOR PLAZA

PROVIDE PEDESTRIAN ACCESS ACROSS THE TREMONT - APPLETON CORNER

PEDESTRIAN ACCESS BETWEEN PARK AND BUILDING

COVERED OUTDOOR ACTIVITY SPACE

CONSIDER OTHER PLANTING BESIDES LAWN

TREMONT PASSAGE

COMMUNITY SPACE

NEW PARKLET WITH USABLE LAWN AND SHADE TREES

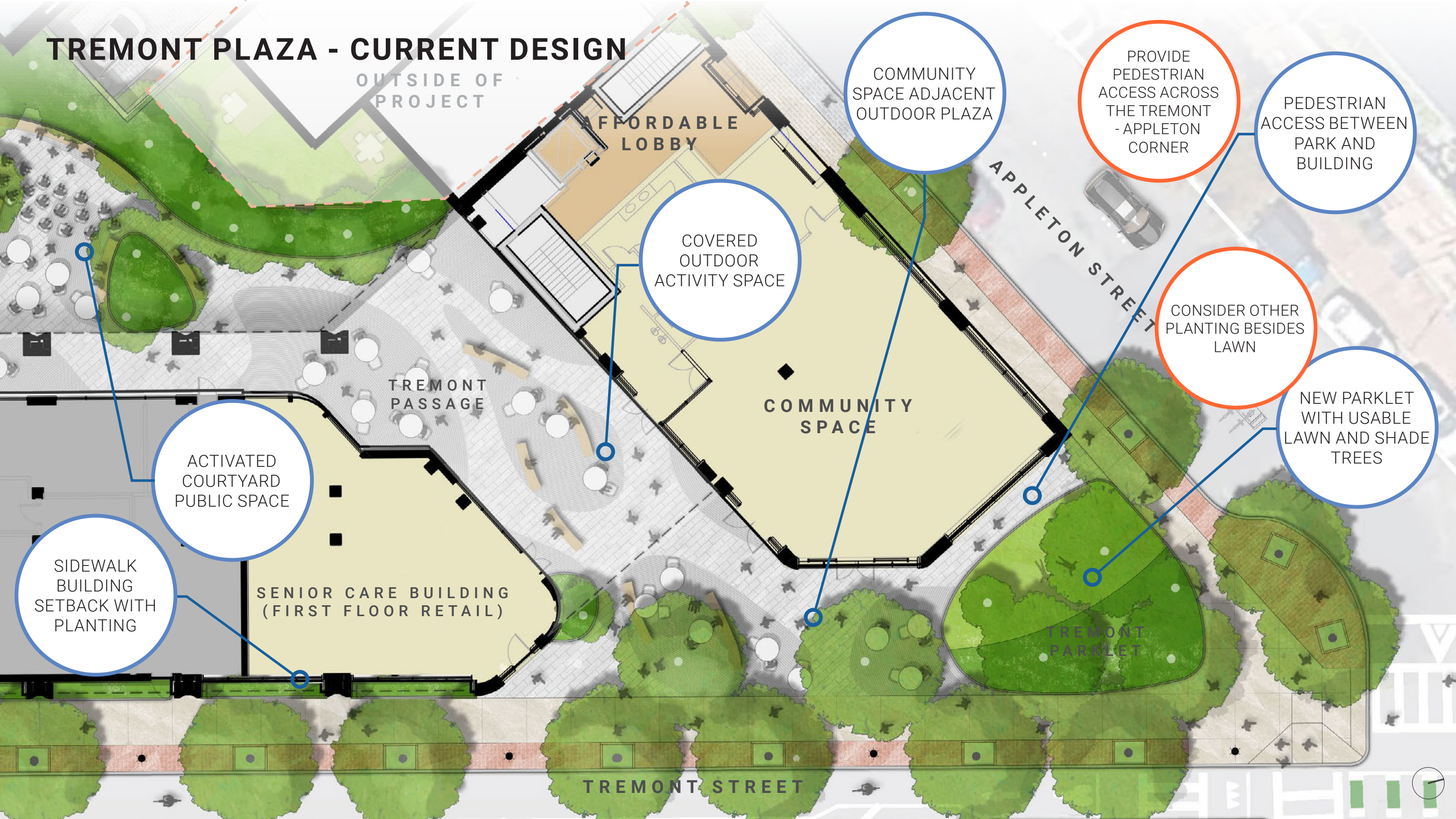
ACTIVATED COURTYARD PUBLIC SPACE

SIDEWALK BUILDING SETBACK WITH PLANTING

SENIOR CARE BUILDING (FIRST FLOOR RETAIL)

TREMONT PARKLET

TREMONT STREET





Appleton Building - What We Heard

APRIL 28, 2022

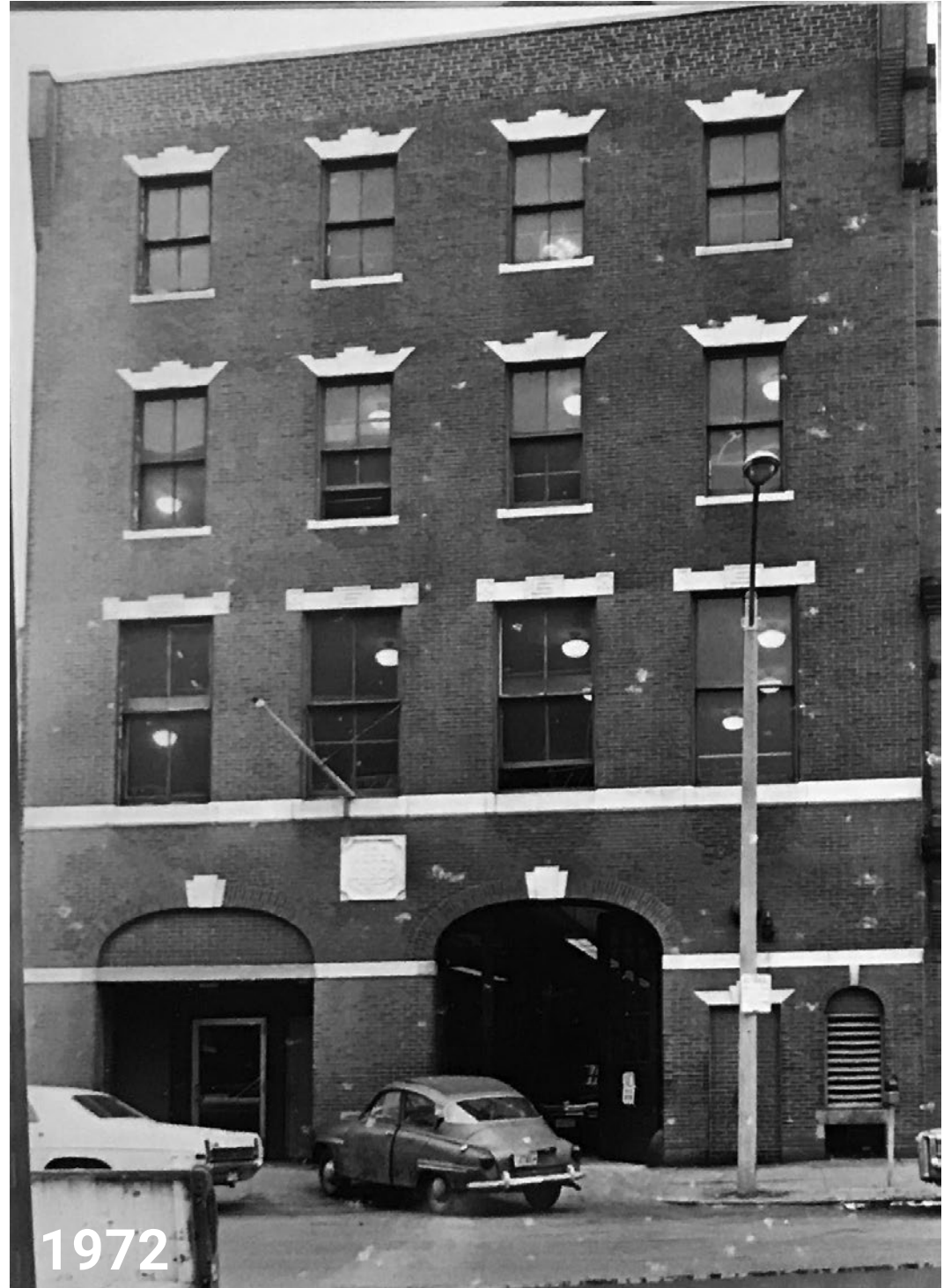
- Addition is a Category A building - use datums and geometries from existing building to guide design
- Windows should be 2 over 2
- If photos of historic cornice are available it would be helpful to guide a reconstruction
- The case for demolition needs to be more than just project convenience



Historic Photos - 4 Appleton



unknown



1972



1972



1960

Preservation Challenges - 4 Appleton

FACADES

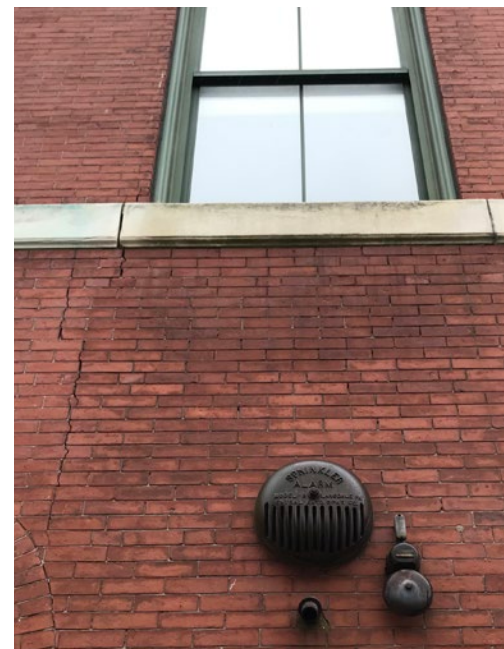
- Load-bearing mass masonry
- Repoint 100% of brick facade + 50% of stone masonry
- Front facade window surrounds and arch expression remain, cornice is lost; no historic record found.
- Concrete fire stair infill at left arch with new infill brick
- Cracking due to settlement; may require localized reconstruction.
- Existing windows are metal replacements. To be replaced with wood windows, insulated glazing, true divided lights.
- Left side elevation is a blank party wall.
- Rear facade includes 1980's stair tower addition.
- Granite base repairs at sidewalk

CODE

- Interior existing wood structure has been significantly altered and does not meet fire resistance standards required by new Type 1 high-rise building.

FOUNDATION

- Stone pile caps supported by wood piles.
- Existing wood piles deteriorated, cracking visible on facade. Underpinning and resupport of facade is required.
- Basement and foundations of new senior care building require excavation of entire building footprint.



Preservation Challenges - 4 Appleton

FACADES

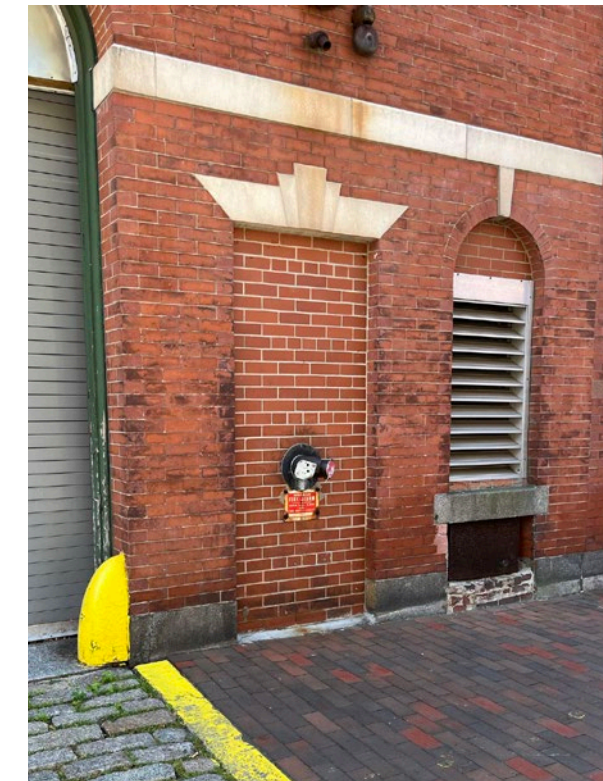
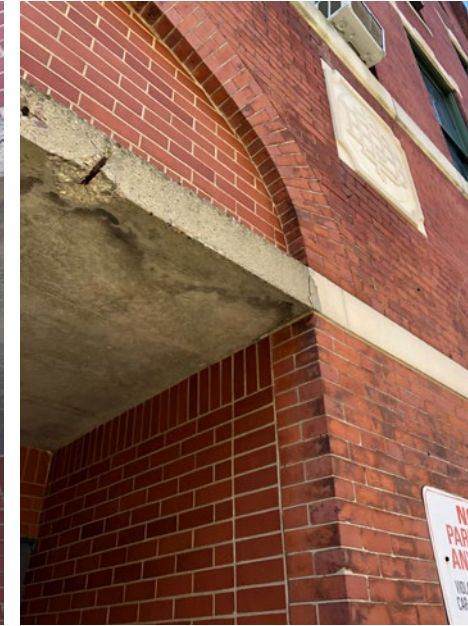
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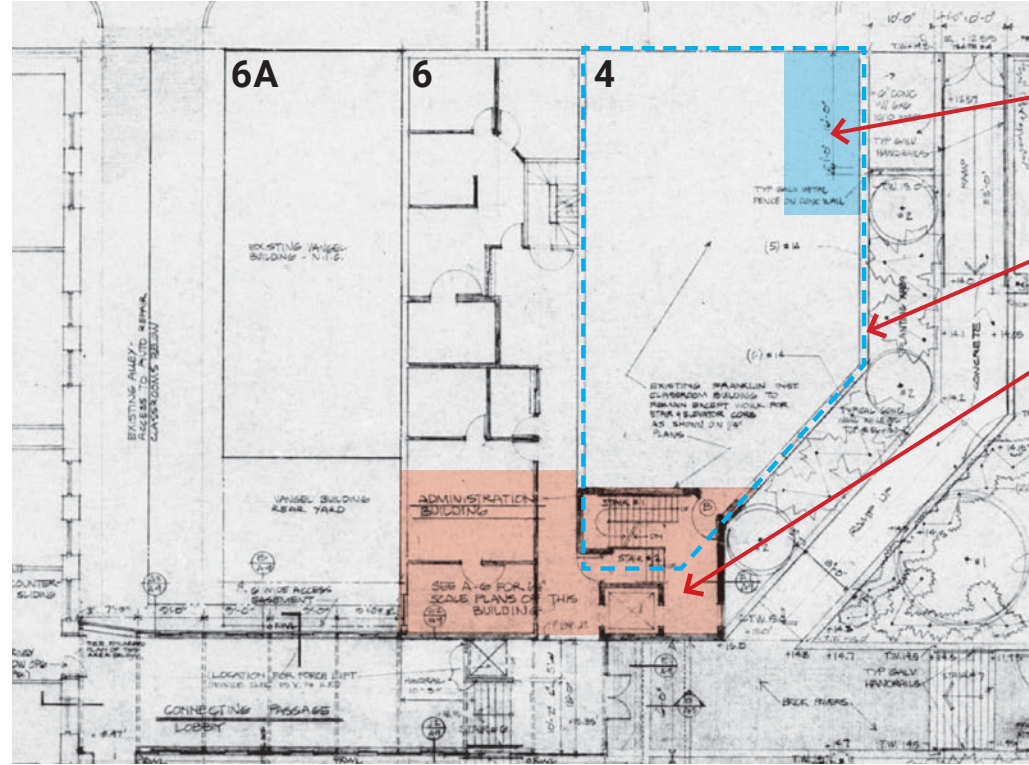
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- Existing wood piles deteriorated, cracking visible on facade. Underpinning and resupport of facade is required.
- Basement and foundations of new senior care building require excavation of entire building footprint.



4-6 Appleton 1980 Rear Addition



Existing Conditions



1980 Drawings

- Approximate concrete stair location
- Original footprint, dashed
- Added structure and stair tower

No drawing or permit records exist for the interior remodel and addition of concrete fire stair prior to the 1980 addition.

4 Appleton

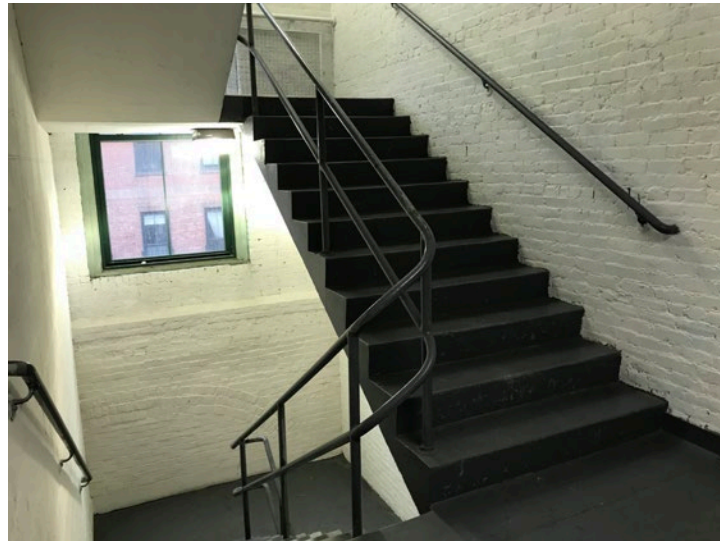
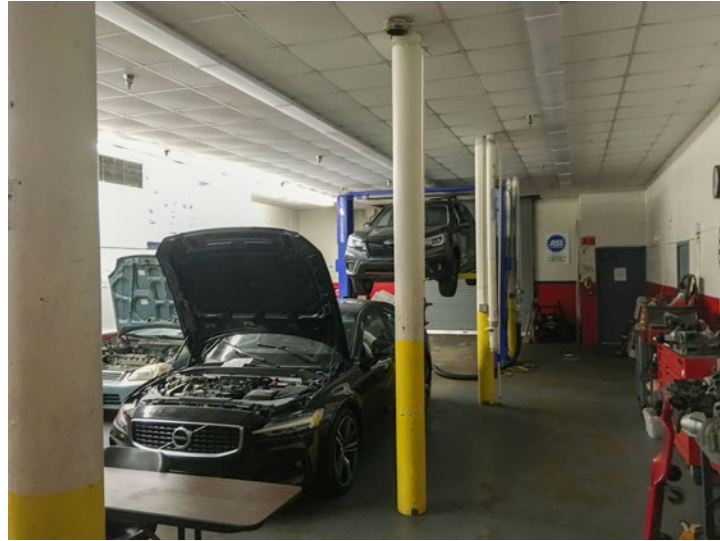


1895 Map



1952 Aerial

4 Appleton Existing Interiors



- Partial interior structure remains - wood floors, center beam and columns
- Almost no original interior finishes remain - some beam wraps, window trim on level 3

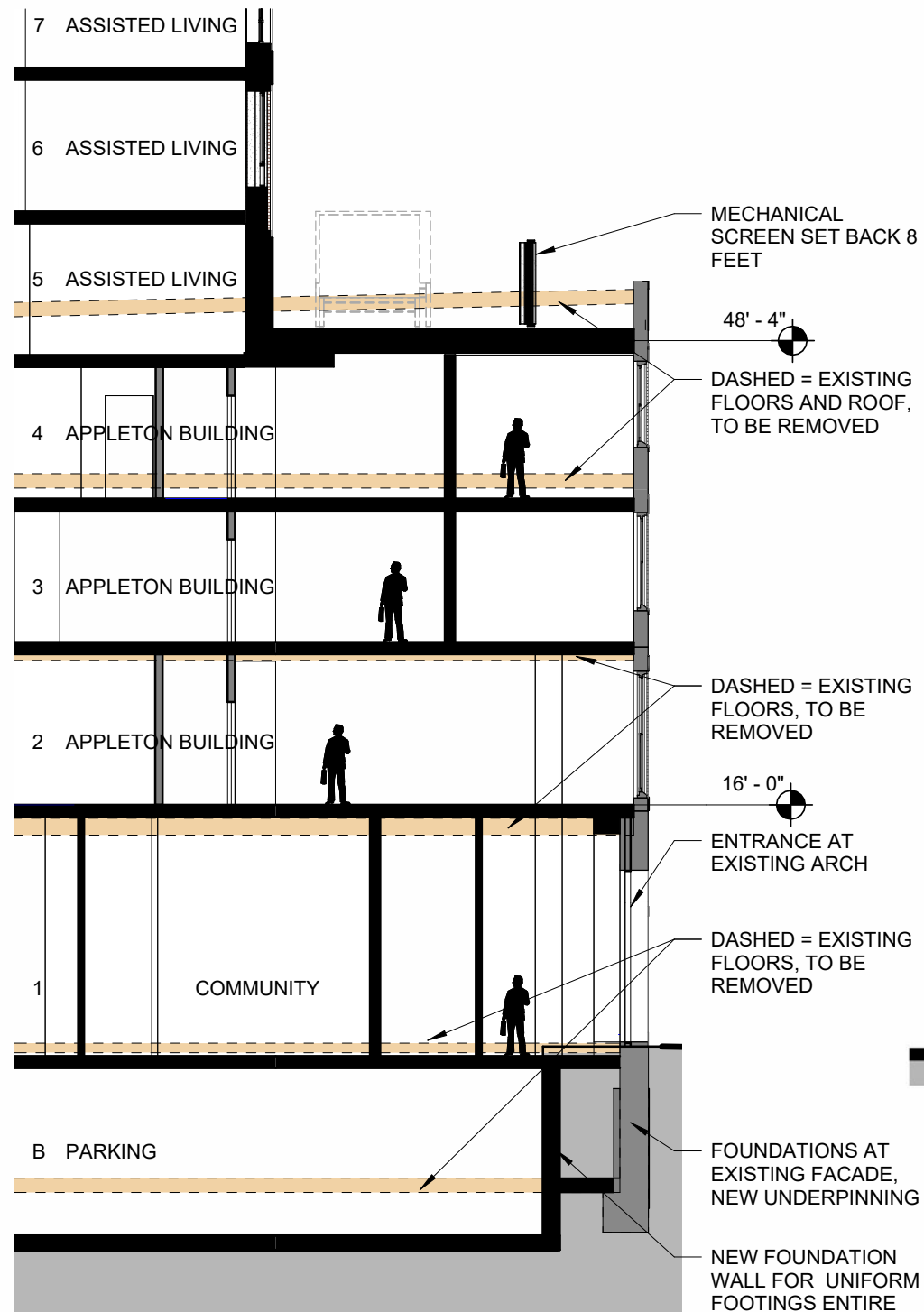
- Fire stair interrupts facade integrity but structurally supports a front section of floor - all requires infill and restructuring to restore facade
- Rear facade was removed when connected to 1980's addition; removal of this addition requires resupporting the building structure

4, 6 and 6A Appleton Facades



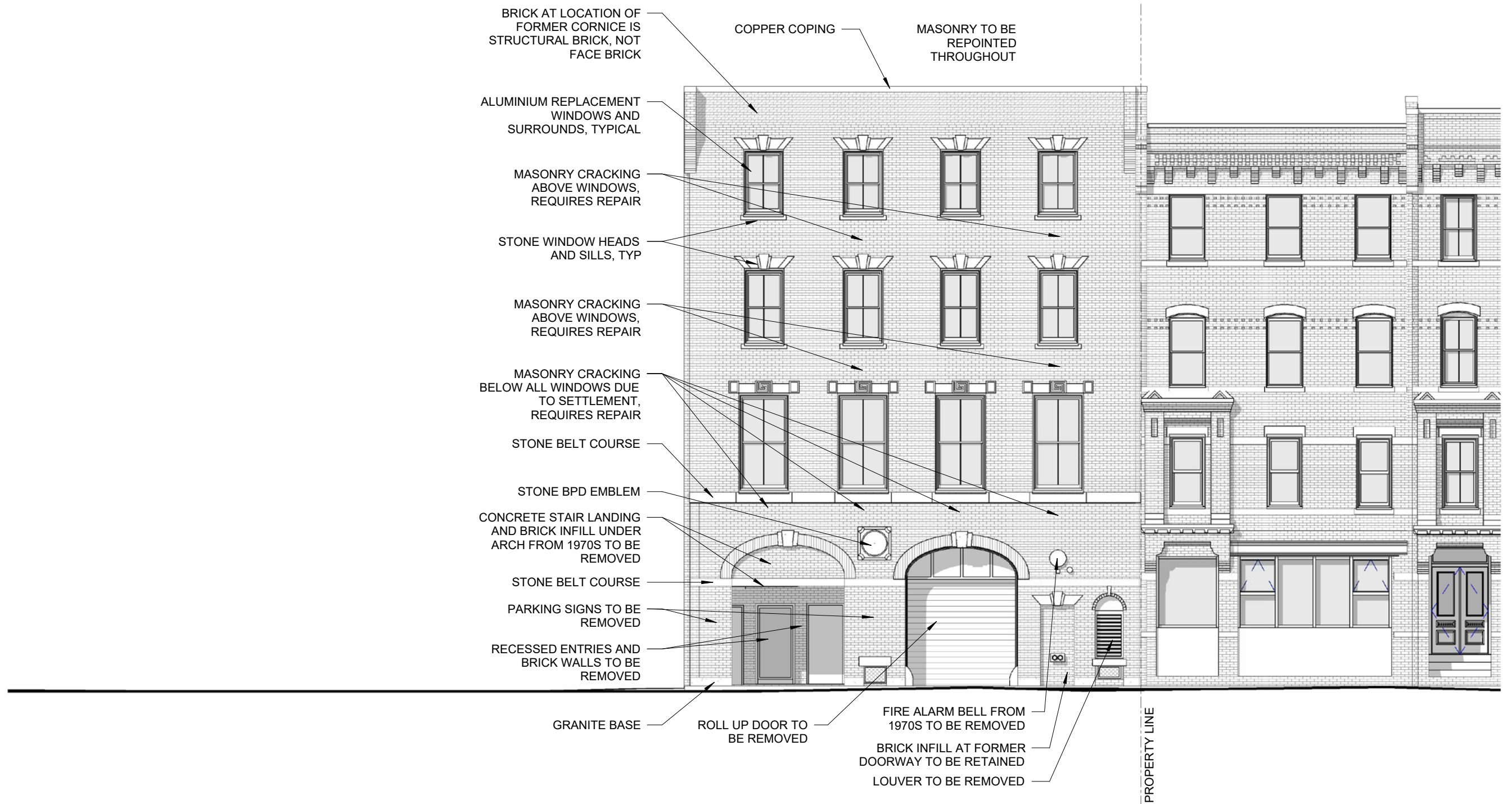
4 Appleton Section and Elevation

Historic Preservation of 6 Appleton with new Structural Components



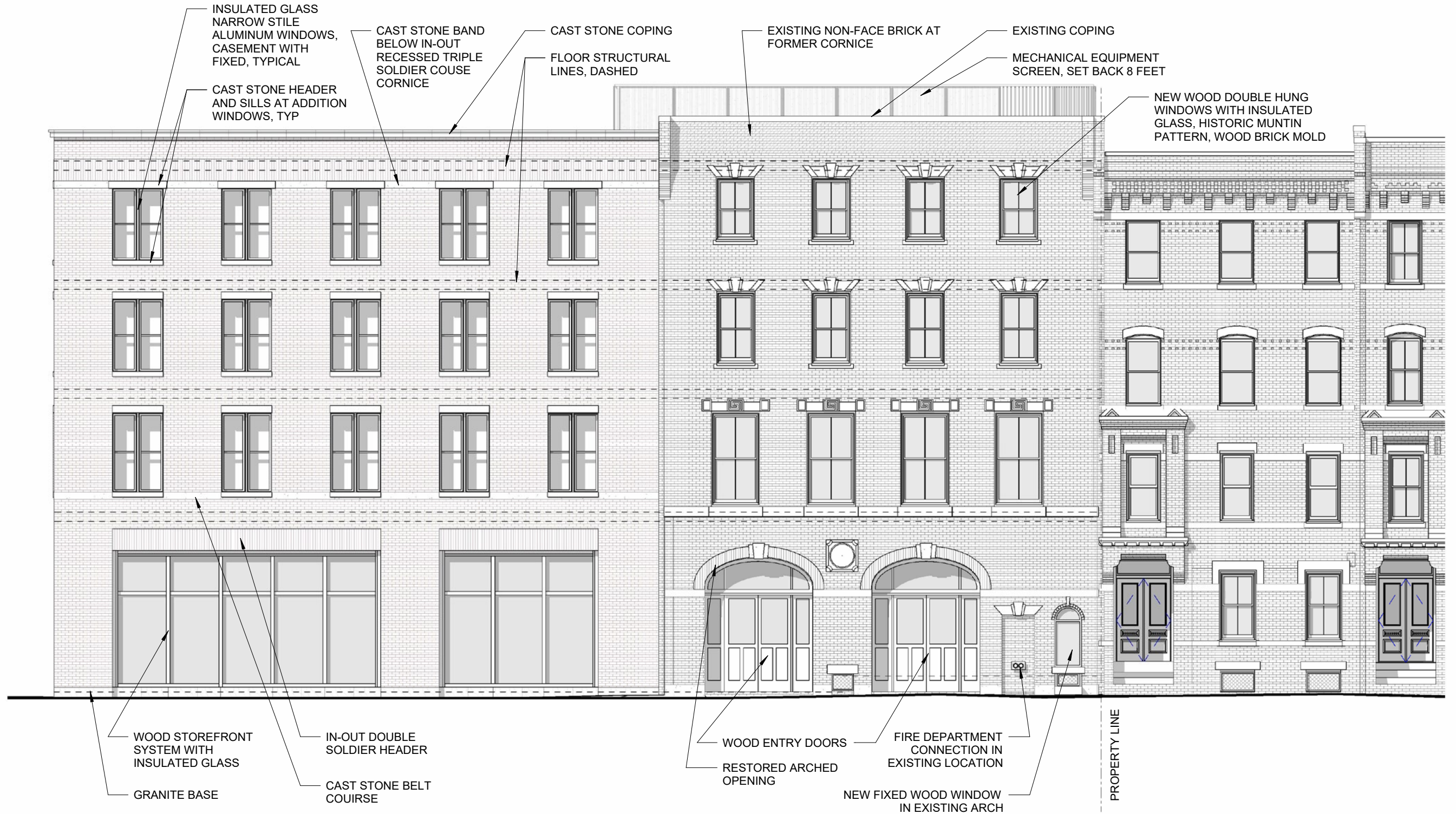
4 Appleton Facade

Existing Conditions



4 Appleton Facade

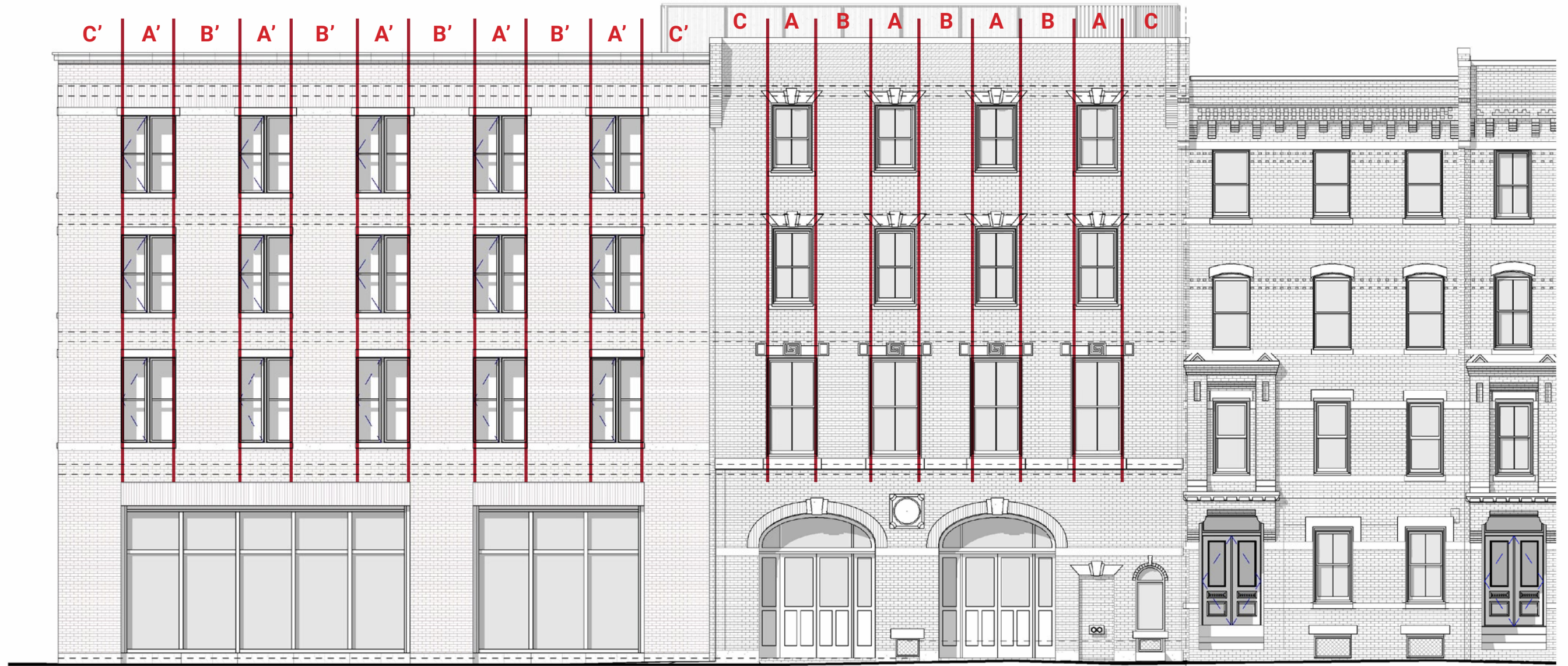
Proposed



SCALE: 1/8" = 1'-0"

4 Appleton Facade

Design Elements



4 Appleton Facade

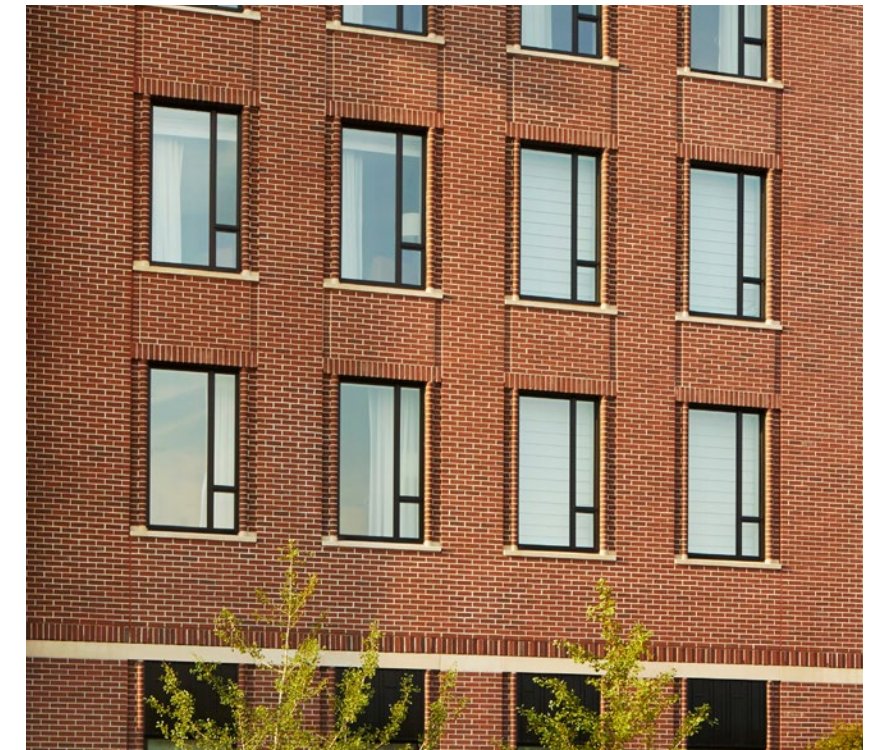
Design Elements





Appleton Building near Tremont Street Corner

4 Appleton Facade Materials + Precedents



Historic Photos - 6 and 6A Appleton



6 Appleton Street



Storefront configuration, visible in 1972, appears not to be the original configuration - brick infill appears where original stone window heads would have been. Proponent would be amenable to keeping a storefront reading if this is preferred as shown in the subsequent renderings.

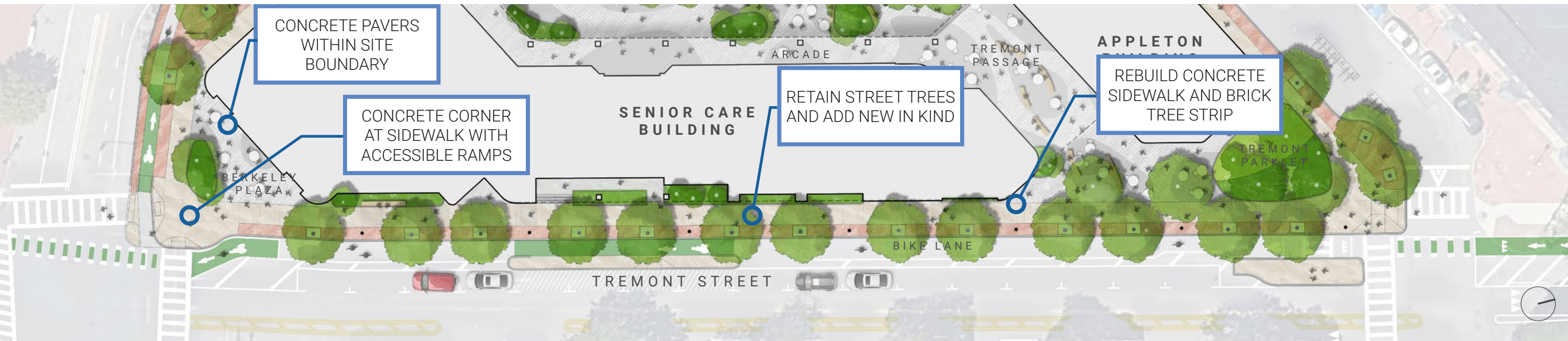


Appleton looking East toward Castle Square

Streetscape - Tremont



Existing Conditions



Proposed Project

Streetscape - Berkeley

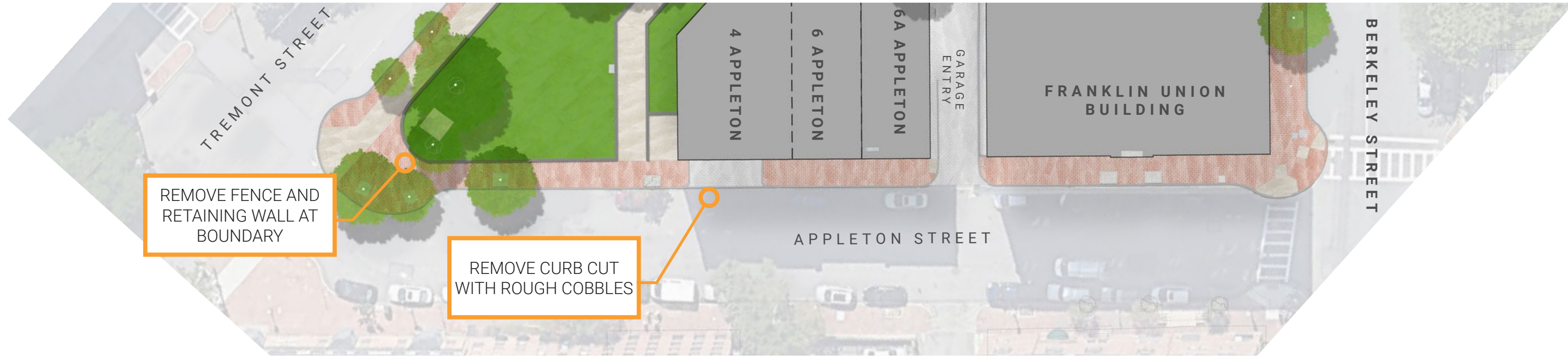


Existing Conditions

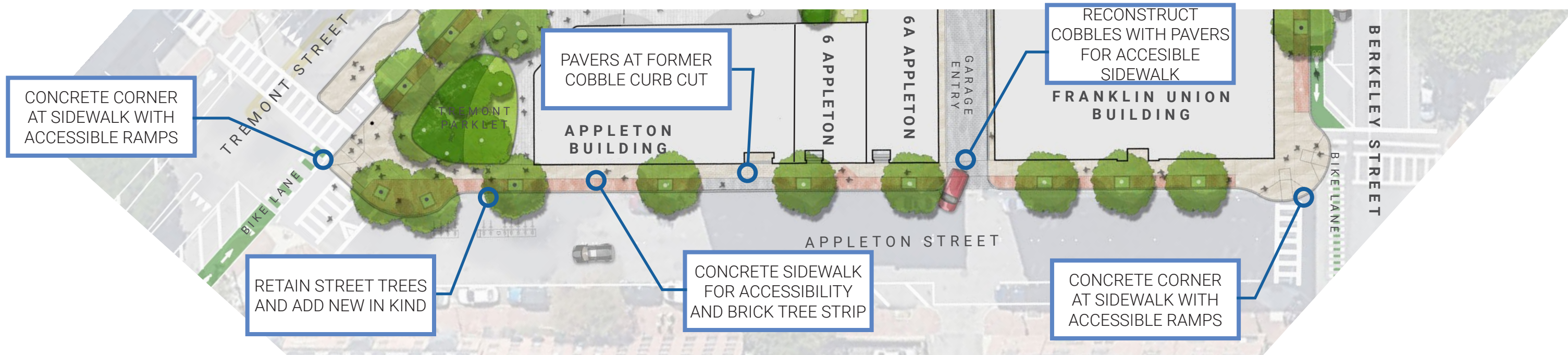


Proposed Project

Streetscape - Appleton



Existing Conditions



Proposed Project