

# DCR Hatch Shell Repairs

## Request for Determination of Applicability

July 19, 2022

Revised - September 22, 2022



**Submitted to:** **Boston Conservation Commission**  
1 City Hall Plaza, Room 709  
Boston, MA 02201

**Proponent:** **Massachusetts Department of Conservation and Recreation**  
251 Causeway St., 9th Floor  
Boston, MA 02114

**Prepared by:** **J.M. Booth & Associates, Inc.**  
47 N. Second St., 4th Floor  
New Bedford, MA 02740





# Table of Contents

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## # of Page's

- 1 **Cover Letter**
- 4 **WPA Form 1** - Request for Determination of Applicability
- 5 **Figures**
  - Figure 1: USGS Overview Map*
  - Figure 2: Wetland Resources Map*
  - Figure 3: Floor Plan & 100' Buffer Zone*
  - Figure 4: NHESP Map*
  - Figure 5: FEMA Map*
- 4 **Attachment A** - Request for Determination of Applicability Narrative
- 16 **Attachment B** - Architectural Drawings  
(Sheets T-100, GN-101, AD-101, AD-201, A-101, A-102, A-201, A-501, A-502, A-503, & A-901)
- 1 **Attachment C** - Site Plan
- 7 **Attachment D** - Abutter Notification
  - Affidavit of Service for Abutter Notification
  - Abutter Mailing List
  - Abutter Map





July 19, 2022 / Revised - September 22, 2022

The Boston Conservation Commission  
1 City Hall Plaza, Room 709  
Boston, MA 02210

## Re; DCR Hatch Shell Renovations Request for Determination of Applicability

Dear Commissioners,

On behalf of the Massachusetts Department of Conservation and Recreation, JMBA+ Architects is pleased to submit an updated RDA for the Hatch Shell Renovations. The RDA has been updated to include the additional information requested by the Conservation Commission administrative staff on 7/21/22. Updated information has been highlighted in yellow for ease of review.

Please note that DCR mailed abutter notifications on 7/19/2022. In accordance with the city of Boston filing guide, "when work is on land under water bodies and waterways or on a tract of land greater than 50 acres, written notification must only be given to abutters within 300 feet of the "project site," the abutter notification was sent to all abutters located within 300-feet of the project area. Translation of the notice in different languages, as required by the City's Ordinance, was not completed as there is no second language spoken in the Beacon Hill Neighborhood. For additional information, please see City of Boston's Office of Language and Communication Access: Neighborhood Language documentation (2021).

The project at hand involves repairs to the stage area of the DCR Hatch Shell to help minimize water infiltration to the interior spaces beneath the main stage, and associated repairs. The following application and attachments describe the project in more detail.

DCR respectfully requests that the Commission find that the proposed maintenance activities will not remove, fill, dredge, build upon, over or under, degrade, discharge into, or otherwise alter or pose a significant threat to alter an area subject to the Boston Ordinance, its Regulations or the WPA and its implementing regulations. We further request that this matter be heard at the next scheduled Conservation Commission hearing. Any additional requests for project information can be discussed at that time. A copy of this update has also been sent to the Northeast Regional Office of the Department of Environmental Protection

Please contact us if you have any questions regarding this application or require further clarification / additional information.

Sincerely Yours;

A handwritten signature in black ink, appearing to read 'Joe Booth'.

Joseph M. Booth, AIA  
President  
JMBA+ Architects

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# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Joshua Kane, Department of Conservation and Recreation  
Name josh.kane@state.ma.gov  
E-Mail Address

251 Causway St. 9<sup>th</sup> floor  
Mailing Address

Boston MA 02114  
Zip Code  
City/Town State

617-626-1250  
Phone Number Fax Number (if applicable)

2. Representative (if any):

J. M. Booth & Associates Inc.  
Firm

Joseph M Booth, AIA  
Contact Name jbooth@jmba-architects.com  
E-Mail Address

47 N 2<sup>nd</sup> St, 4<sup>th</sup> flr  
Mailing Address

New Bedford MA 02740  
Zip Code  
City/Town State

508-999-6220  
Phone Number Fax Number (if applicable)

## B. Determinations

1. I request the Boston Conservation Commission make the following determination(s). Check any that apply:

- a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Boston  
Name of Municipality

- e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

Charles River Esplanade	Boston
Street Address	City/Town
0502496000	000
Assessors Map/Plat Number	Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

The Hatch Memorial Shell is bound by the Charles River Reservation to the north and south. Storrow Drive to the east and the Charles River to the west. The project Site includes the Hatch Shell and paved apron, the Charles River Esplanade roadway. Figure 2 depicts the existing condition.

- c. Plan and/or Map Reference(s):

Figures 1 - 5, included in this application	5/16/2022
Title	Date
Architectural Drawings: (Sheets T-100, GN-101, AD-101, AD-201, A-101...)	
Title	Date
Continued from above... (A-102, A-201, A-501, A-502, A-503, A-901)	
Title	Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

The work will include the partial removal and reconstruction of the upper stage within the Hatch Shell to install a new membrane waterproofing above the dressing rooms located in the lower level, as well as associated interior and electrical work. The work will also include minor repointing of the granite stage floor and replacement of the terracotta stage floor to facilitate the waterproofing installation. The work may involve additional minor maintenance repairs to the stage and associated rooms below to maintain waterproofing and integrity of the building. Maintenance activities are occurring on existing surfaces of the structure, primarily inside the dome, and on the stage. All maintenance will be repairing existing historic building features in kind. All work will be complete on existing surfaces. No ground disturbance is proposed



## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

As per the 1999 DEP Wetlands Program Policy, Activities in the Buffer Zone, the Project meets the qualifying criteria for a negative DOA, as it will alter zero percent of the buffer area; will not disturb any vegetation within 50 feet of the resource area; conforms to the Stormwater Management Policy (i.e. it is not applicable to the Project); does not border on specified sensitive areas or contain rare wildlife. No activities are proposed within any resource areas including bank, bordering land subject to flooding, riverfront area or the locally regulated waterfront area. This area is not designated as an ACEC and there is no rare species habitat present.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- Single family house on a lot recorded on or before 8/1/96
- Single family house on a lot recorded after 8/1/96
- Expansion of an existing structure on a lot recorded after 8/1/96
- Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- New agriculture or aquaculture project
- Public project where funds were appropriated prior to 8/7/96
- Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- Residential subdivision; institutional, industrial, or commercial project
- Municipal project
- District, county, state, or federal government project
- Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)





## WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

### D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

Massachusetts Department of Conservation and Recreation

Name

251 Causway St, 9<sup>th</sup> floor

Mailing Address

Boston

City/Town

MA

State

02114

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

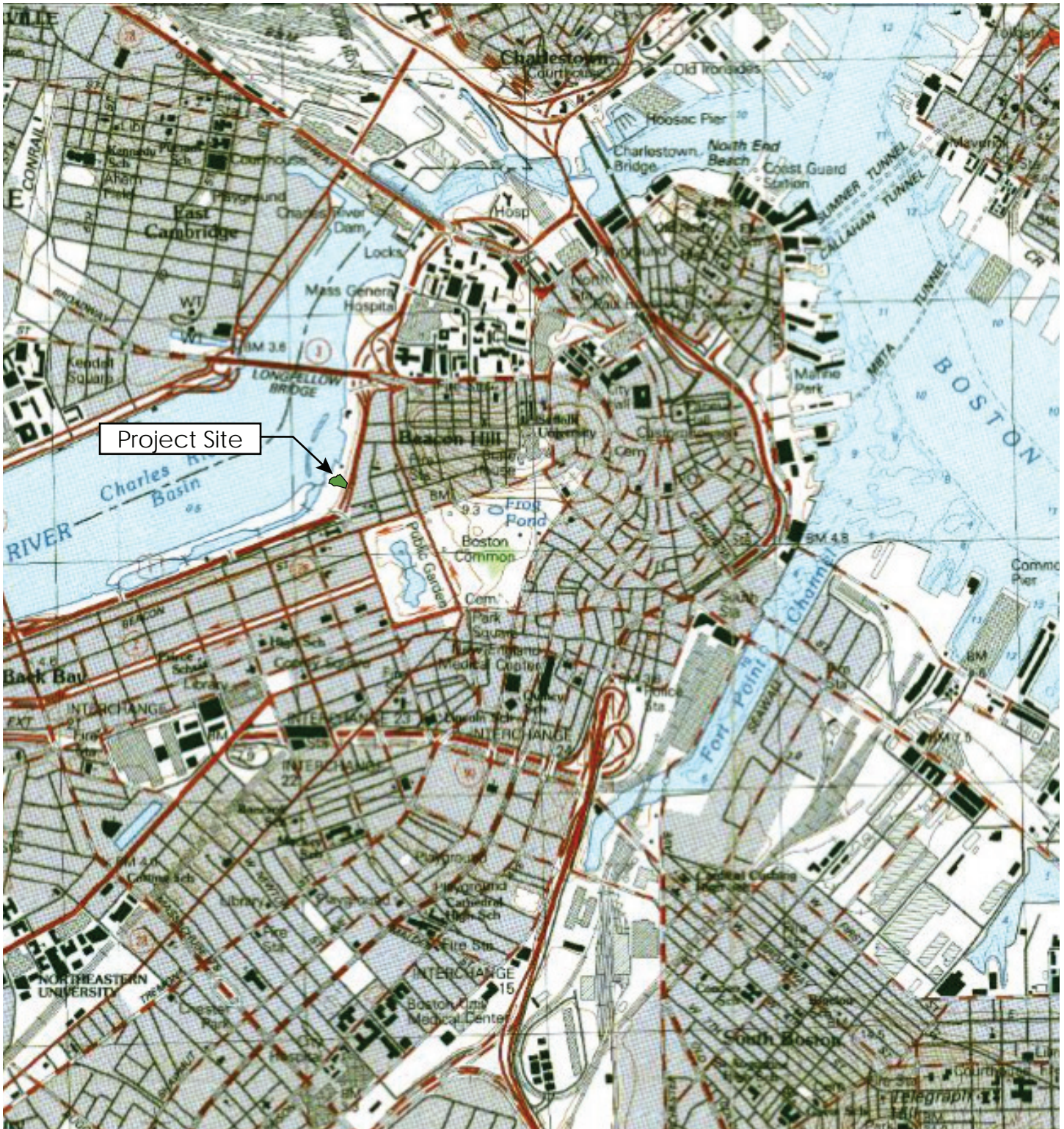
Signature of Applicant

Date

Signature of Representative (if any)

Date

Figure 1: USGS Overview Map



Project Site



Hatch Shell Repairs | Boston, Massachusetts

 Project Site

Source: <http://www.usgs.gov>

Figure 2: Wetland Resources Map

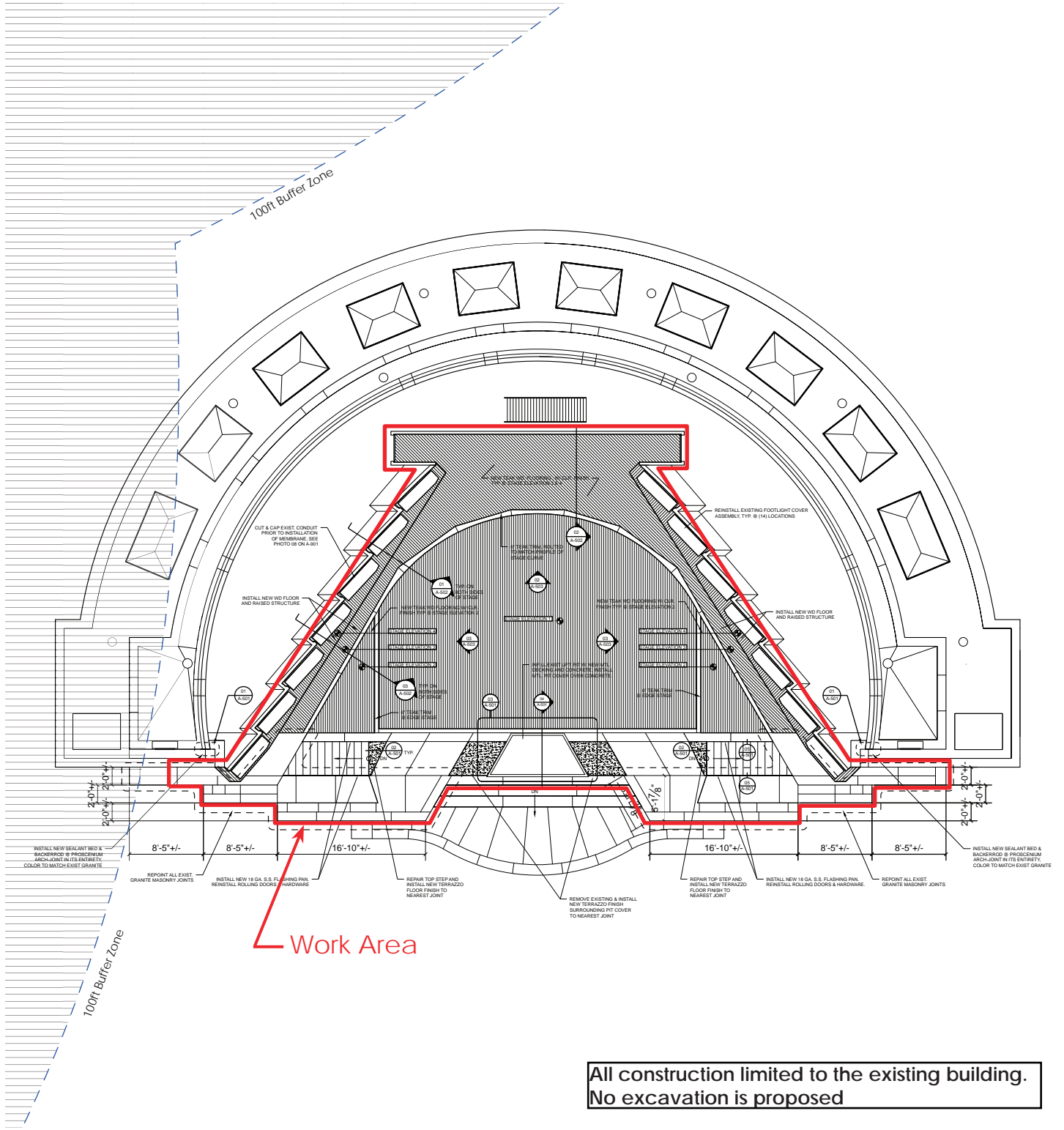


- Coastline
- - - 25-ft Riverfront Area
- - - 25-ft Waterfront Area
- - - 100-ft Buffer Zone
- Work Area
- Site Boundary

Hatch Shell Repairs | Boston, Massachusetts

Source: <http://maps.massgis.state.ma.us>

Figure 3: Floor Plan & 100' Buffer Zone



**All construction limited to the existing building.  
No excavation is proposed**





Figure 4: NHESP Map



- Project Site
- NHESP Priority Habitats of Rare Species

Figure 5: FEMA Map



-  100-Year Floodplain
-  500-Year Floodplain
-  Work Area
-  Site Boundary

Hatch Shell Repairs | Boston, Massachusetts

Source: <http://msc.fema.gov>

# Attachment A: Request for Determination of Applicability Narrative

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Page 1 of 4



This Request for Determination of Applicability (RDA) is submitted pursuant to the requirements of the Massachusetts Wetlands Protection Act (MGL Chapter 131, Section 40) and its implementing regulations (310 CMR 10.00).

## Introduction:

The Department of Conservation and Recreation (the “Proponent”) is requesting that the Boston Conservation Commission issue a negative determination of applicability for proposed repairs to the stage area of the Edward A. Hatch Memorial Shell (the “Hatch Shell”), located on the Charles River Esplanade. The work will include the partial removal of the upper stage within the hatch shell to install a new membrane waterproofing above the dressing rooms located in the lower level. The work will also include minor re-pointing of the granite stage floor and replacement of the terracotta stage floor to facilitate the waterproofing installation. The work may involve additional minor maintenance repairs to the stage and associated rooms below to maintain waterproofing and integrity of the building. The Project contains no site work, and no impacts to wetland resource areas anticipated. Maintenance activities are occurring on existing surfaces of the structure, primarily inside the dome, and on the stage. All maintenance will be repairing existing historic building features in kind. All work will be complete on existing surfaces. No ground disturbance is proposed.

## Site Description:

The Hatch Shell is bound by the Charles River Reservation to the north and south, Storrow Drive to the east and the Charles River to the west. The Project Site includes the Hatch Shell and paved apron, the Charles River Esplanade roadway, and a gravel area, currently used for parking, which is to be used as a construction laydown area. No activities are proposed within any resource areas including bank, bordering land subject to flooding, riverfront area or the locally regulated waterfront area. This area is not designated as an ACEC and there is no rare species habitat present. Access to and stockpiling of maintenance material will occur outside of the 100-foot buffer zone.

Within the building area, the buffer zone consists of a small portion of the Hatch Shell dome, and walkway. Just outside of the project area, the buffer zone consists of a manicured lawn with a historic landscape of linden trees and ornamental shrubs, concrete foundations hosting a series of memorials, and a paved walk way.

Access to and stockpiling of maintenance material will occur outside the 100 foot buffer zone. The contractor will be notified of the location of the 100 foot buffer zone and will be required not to stockpile, or park equipment or vehicles in this area. DCR does not anticipate the need to install staging on the vegetated ground on the River side of the Hatch Shell. DCR will notify the commission in the event that staging needs to be installed outside of the building’s footprint and within the 100-foot buffer zone.

## Attachment A:

# Request for Determination of Applicability Narrative

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Page 2 of 4



### Wetland Resource Area:

Wetland resource areas that are located within the Project Site include the 100-foot buffer to inland bank. The Project Site is landward of, and does not impact the 25-foot Riverfront Area or the 25-foot Waterfront Area. Bordering Land Subject to Flooding is confined within the river bank at this location, and will not be impacted by the Project.

The most recently issued Massachusetts Natural Heritage & Endangered Species Atlas indicates that there are no Priority Habitats of Rare Species, Estimated Habitats of Rare Wildlife or Certified Vernal Pools on or near the site (Figure 4). This mapping also indicates there are no potential vernal pools near the Site. Additionally, there are no Outstanding Resource Waters in the area based on a survey produced by MassDEP and mapping maintained by MassGIS.

No activities are proposed within any resource areas including bank, bordering land subject to flooding, riverfront area or the locally regulated waterfront area. This area is not designated as an ACEC and there is no rare species habitat present.

### Mitigation Measures:

This maintenance project is solely occurring within the outer sections of the 100-foot buffer zone and will not result in adverse impacts to resource areas including but not limited to: erosion, siltation, loss of groundwater recharge, degraded water quality, loss of wildlife habitat, degradation of wetland plant habitat, alteration of hydrology, soil contamination, and proliferation of invasive plants. In addition, the minor maintenance activities will occur on and within the existing Hatch Shell structure and will avoid impacts to the non developed sections of the 100 foot buffer zone include the existing vegetation and grades. As previously noted, maintenance activities will repair existing structures in kind, there are no new permanent impacts proposed as part of the work. As a result, the activities will not reduce or impair the capacity of the buffer zone to protect the functions and values of the associated resource area (310 CMR 10.03(1)(a)3; 310 CMR 10.53(1))

### Stormwater Management:

No stormwater discharges or changes to existing stormwater runoff will result from the in-kind maintenance work proposed within the outer 100-foot buffer zone.



## Attachment A:

# Request for Determination of Applicability Narrative

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Page 3 of 4



### Regulatory Compliance:

As identified in 310 CMR 10.53(1) of the WPA regulations:

*“The issuing authority should consider the characteristics of the buffer zone, such as the presence of steep slopes, that may increase the potential for adverse impacts on resource areas. Conditions may include limitations on the scope and location of work in the buffer zone as necessary to avoid alteration of resource areas. The issuing authority may require erosion and sedimentation controls during construction, a clear limit of work, and the preservation of natural vegetation adjacent to the resource area and/or other measures commensurate with the scope and location of the work within the buffer zone to protect the interests of the Act.”*

The proposed Project has been designed to address these requirements. Little to no work will be performed within the Buffer Zone.

The 1999 DEP Wetlands Program Policy, Activities in the Buffer Zone, allows projects that meet the following criteria to qualify for a negative determination of applicability:

- + *Limiting the area of alteration to the lesser of 10 percent of the buffer area on the lot or 5,000 square feet;*
- + *Leaving at least 50 feet of undisturbed vegetation between the project and the resource area;*
- + *Conforming to the DEP Stormwater Management Policy;*
- + *The buffer zone does not border on ORW such as certified vernal pools, tributaries to public water supplies, or certain ACECs;*
- + *The buffer zone does not contain Estimated Habitats of State-listed Rare Wildlife; and*
- + *Erosion and sedimentation controls are provided at the edge of work.*

The Project meets these criteria as it will alter zero percent of the buffer area; will not disturb any vegetation within 50 feet of the resource area; conforms to the Storm-water Management Policy (i.e. it is not applicable to the Project); and does not border on specified sensitive areas or contain rare wildlife.

# Attachment A: Request for Determination of Applicability Narrative

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Page 4 of 4



## Climate Change:

This project is primarily a maintenance project of a historic building with minimal impact to the environment and resource areas as indicated in this RDA. The project will assist the MA DCR in their efforts to maintain and protect the DCR hatch shell to be used for years to come. Ongoing maintenance to existing buildings can have a significant impact on minimizing construction waste caused by full demolition or reconstruction, and construction waste is one of the leading contributors in greenhouse emissions. This project aims to help protect and preserve the existing building as a social resource near the waterfront for the community.

Due to the nature of this maintenance project, it is not the intent to alter existing vegetated areas, shaded non-vegetated areas, shaded vegetated areas, the quantity of trees on site, or add any impervious surfaces to the site.

In the vicinity of the Hatch Shell- The DCR is committed to maintaining and improving the overall natural landscape around the hatch shell in an effort to restore the natural capacity of the existing Wetland Resource Areas to protect and sustain the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40) (WPA) and the City of Boston Wetland Protection and Climate Change Adaptation Ordinance (Sec. 7-1.4) (the Ordinance) and provide for stable and sustainable shorelines; historic vistas; climate resiliency; and a safe, stable tree canopy. As part of the CRVMP implementation, DCR plans to increase the resilience of the riparian zone through native vegetation installation, invasive plant management, slope stabilization, and higher resilience increased storm-water inputs through phase-based restoration. These restoration efforts will increase the Bank's ability to withstand the increasing impact of higher frequency and higher intensity storms in our changing climate. It will also add more wildlife habitat corridors and provide cover and foraging habitat to a wider variety of native species. See MassDEP 006-1871, recorded on August 4, 2022.

## Summary:

The Proponent respectfully requests that the Boston Conservation Commission issue a negative determination of applicability since the proposed activity meets the criteria for qualifying for such a determination, and it will have a negligible impact on areas subject to the Massachusetts Wetlands Protection Act.

# DCR HATCH SHELL

47 DAVID G. MUGAR WAY  
BOSTON, MA 02114

CONTRACT NO: P15-2980-D2A

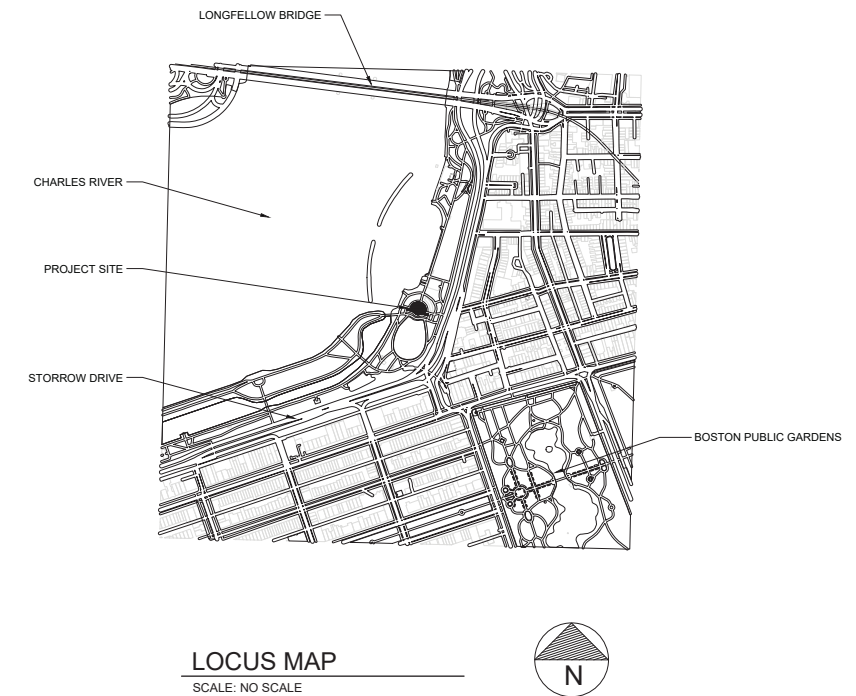
DRAWINGS PREPARED FOR  
**DEPARTMENT OF CONSERVATION & RECREATION**  
251 CAUSEWAY ST  
BOSTON, MA

ARCHITECT

**JM BOOTH & ASSOCIATES, INC.**  
47 NORTH SECOND ST, 4TH FLOOR  
NEW BEDFORD, MASSACHUSETTS 02740  
(508) 999-6220

## DRAWING LIST

Sheet Number	Sheet Title
T-100	TITLE SHEET
GN-101	GENERAL NOTES
AE-101	STAGE FLOOR PLAN
AE-201	EXISTING EXTERIOR ELEVATIONS
AE-202	EXISTING EXTERIOR ELEVATIONS
AD-101	DEMOLITION STAGE PLAN
AD-201	DEMOLITION EXTERIOR ELEVATIONS
A-101	FIRST FLOOR PLAN
A-102	STAGE FRAMING PLAN
A-201	EXTERIOR ELEVATIONS
A-501	DETAILS
A-502	DETAILS
A-503	BRASS GRILL DIAGRAMS
A-901	EXISTING CONDITIONS PHOTOS



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47 N. Second St. 4th Floor  
New Bedford, MA 02740  
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JMBA-ARCHITECTS.COM



ARCHITECTS STAMP

DCR HATCH SHELL REPAIRS  
47 DAVID G. MUGAR WAY  
BOSTON, MA 02114

© J. M. BOOTH & ASSOCIATES INC.

REVISION	DATE	BY

NAME: TITLE SHEET	SCALE: AS NOTED	DRAWN BY: ---
DATE: ---	JOB NO 2113	

DRAWING NO.

T-100

NOT FOR CONSTRUCTION

**Attachment B: Architectural Drawings**  
Not to Scale

# ARCHITECTURAL ABBREVIATIONS

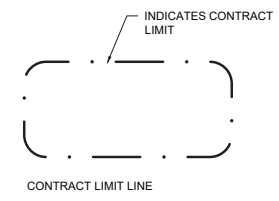
∠	ANGLE	HB	HOSE BIB	R#	THERMAL RESISTANCE # INDICATES VALUE
@	AT	HDWR	HARDWARE	RM	ROOM
ACOUST	ACOUSTICAL	HD	HOT DIPPED	RO	ROUGH OPENING
AFF	ABOVE FINISH FLOOR	HGT,HT	HEIGHT	RUB	RUBBER FLOORING
ALUM	ALUMINUM	HLD	HAND LOTION DISPENSER	(R)	RELOCATED
APPROX	APPROXIMATE	HM	HOLLOW METAL	SC	SKIM COAT
ARCH	ARCHITECTURAL	HR	HANDRAIL	SCHED	SCHEDULE
AUTO	AUTOMATIC	IJ	INSULATION ISOLATION JOINT	SCR	SCREW
		KF	KRAFT FACED	SD	SOAP DISPENSER
		JT	JOINT	SECT	SECTION
		LAM	LAMINATED	SHT	SHEET
		LAV	LAVATORY	SH.C.R.	SHOWER CURTAIN ROD
		LF	LIGHT FIXTURE	SIB	STRUCTURAL ISOLATION BREAK
		LF	LIGHT FIXTURE	SIM	SIMILAR
BLDG	BUILDING	MATL	MATERIAL	SM	SHEET METAL
BLKG	BLOCKING	MAX	MAXIMUM	SPECS	SPECIFICATIONS
BM	BEAM	MB	MACHINE BOLT	SPM	SINGLE-PLY MEMBRANE ROOF SYSTEM
BOT	BOTTOM	MECH	MECHANICAL	SS	STAINLESS STEEL
		MET.MTL	METAL	STL GR	STEEL GRATING
		MANF	MANUFACTURER	STD	STANDARD
		MH	MOP AND BROOM HOLDER	STL	STEEL
		MIN	MINIMUM	STRUCT	STRUCTURAL
		MISC	MISCELLANEOUS	SUSP	SUSPENDED
CAS	CARD ACCESS SYSTEM	MNTD	MOUNTED	SV	SHEET VINYL
CH	CHANNEL	MS	MACHINE SCREW		
CJ	CONSTRUCTION JOINT	M.O.	MASONRY OPENING	TEMP	TEMPERED
CLG	CEILING	(N)	NEW	THKNS	THICKNESS
CLKG	CAULKING	NA	NOT APPLICABLE	THRESH	THRESHOLD
CLR	CLEARANCE	NIC	NOT IN CONTRACT	TO	TOP OF
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL	TOB	TOP OF BRICK
CNTRFLSHG	COUNTER FLASHING	NTS	NOT TO SCALE	TOC	TOP OF CONCRETE
COL	COLUMN			TOP	TOP OF PARAPET
CONC	CONCRETE			TOS	TOP OF STEEL
CONT	CONTINUOUS			TR	TREAD
COORD	COORDINATE	OC	ON CENTER	TS	TUBE STEEL
CS	COUNTERSUNK	OPG	OPENING	TYP	TYPICAL
CT	CERAMIC TILE	OPP	OPPOSITE		
		PC	PRECAST CONCRETE	UNO	UNLESS NOTED OTHERWISE
		P	PAINT	UL	UNDERWRITERS LABORATORIES
		P-EPOXY	EPOXY PAINT		
		PED	RECESSED FLOORMAT	V	VENT
		PEN	PENETRATION	VB	VINYL BASE
		PHB	PRESSED HARD BOARD	VCT	VINYL COMPOSITION TILE
		PL	PLATE	VF	VINYL FLOORING
		PLYWD	PLYWOOD	VP	VENT PIPE
		PNL	PANEL	VTR	VENT THROUGH ROOF
		POLYPRO	POLYPROPYLENE		
		PR	PAIR	W/	WITH
		PREFAB	PREFABRICATED	WB	WONDERBOARD
		PT	PRESSURE TREATED	W/O	WITHOUT
		PTD	PAINTED	WC	WALLCOVERING
		PVC	POLYVINYL CHLORIDE	WD	WOOD
				WF	WIDE FLANGE
		RB	RUBBER BASE	WK.P.	WORKING POINT
		RD	ROOF DRAIN	WP	WATERPROOF
		REF	REFERENCE	WPC	WATERPROOF COATING
		REQD	REQUIRED	WR	WASTE RECEPTACLE
		REV	REVERSE	WS	WOOD SCREW
		RFG	ROOFING	WT	WEIGHT
		RH	ROUND HEAD		
		RL	RAIN LEADER		
FC	FIRE CODE				
FTY	FACTORY				
FD	FLOOR DRAIN				
FEC	FIRE EXTINGUISHER CABINET				
FE	FIRE EXTINGUISHER				
FF	FINISH FLOOR				
FH	FLATHEAD				
FHS	FIRE HOSE STATION				
FIN	FINISH				
FL	FLASHING				
FM	FACTORY MUTUAL				
FLR	FLOOR				
FOB	FACE OF BRICK				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOM	FACE OF MULLION				
FOS	FACE OF STUDS				
FOF	FACE OF FOUNDATION				
FR	FIRE RESISTIVE				
FTF	FACE TO FACE				
GI	GALVANIZED IRON				
GA	GAUGE				
GALV	GALVANIZED				
GWB	GYPSUM WALLBOARD				
GL	GLASS				
GYP	GYPSUM				

# LEGEND

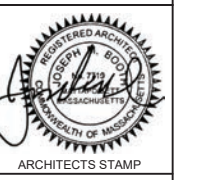
- (X) --- COLUMN LINE CALLOUT
- XX-XXX SECTION LOCATED ON ANOTHER SHEET
- XX SECTION LOCATED ON THE SAME SHEET
- XX-XXX DETAIL LOCATED ON ANOTHER SHEET
- X-XXX DETAIL LOCATED ON THE SAME SHEET
- XX-XXX AREA OF ENLARGEMENT
- XX DETAIL NO. TYP.
- XX-XXX DETAIL NO. TYP.
- XX DETAIL LOCATED ON ANOTHER SHEET
- X-XXX DETAIL LOCATED ON THE SAME SHEET
- XX-XXX DETAIL NO. TYP.
- XX-XXX DETAIL TITLE SCALE
- XX WALL TYPES SEE SHEET A-501
- XX DOOR NUMBERS SEE SHEET A-601
- A-XXX DENOTES WALL ELEVATED
- A-XXX WALL ELEVATIONS SHEET REFERENCE #
- △ REVISION KEY
- ☁ REVISION CLOUD
- (X) KEYED NOTE W/ NUMBER
- OFFICE ROOM NAMES ROOM NUMBERS
- C.H. 10'-0" CEILING HEIGHT INDICATOR
- ⊕ 0.00' ELEVATION MARK

# ARCHITECTURAL MATERIAL SYMBOLS

- EARTH
- GRAVEL
- ROCK
- CONCRETE
- MASONRY UNIT
- RIGID INSULATION
- BATT INSULATION OR MINERAL FIREPROOFING
- STEEL
- ALUMINUM
- PLYWOOD
- WOOD, ROUGH CONTINUOUS
- WOOD, ROUGH NON-CONTINUOUS
- WOOD, FINISHED
- ACOUSTICAL TILE
- GYPSUM WALLBOARD



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Tel. No. 508-999-6220  
JMBA-ARCHITECTS.COM



**DCR HATCH SHELL REPAIRS**  
47 DAVID G. MUGAR WAY  
BOSTON, MA 02114

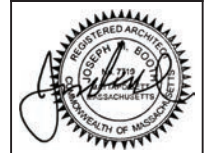
© J. M. BOOTH & ASSOCIATES INC.

REVISION									

NAME: GENERAL NOTES	SCALE: AS NOTED	DRAWN BY: ---	DATE: ---
			JOB NO 2113

DRAWING NO. GN-101

NOT FOR CONSTRUCTION



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REVISION

NAME:	DEMOLITION STAGE PLAN	SCALE: AS NOTED	DRAWN BY: ---
DATE: ---			
JOB NO 2113			

DRAWING NO.

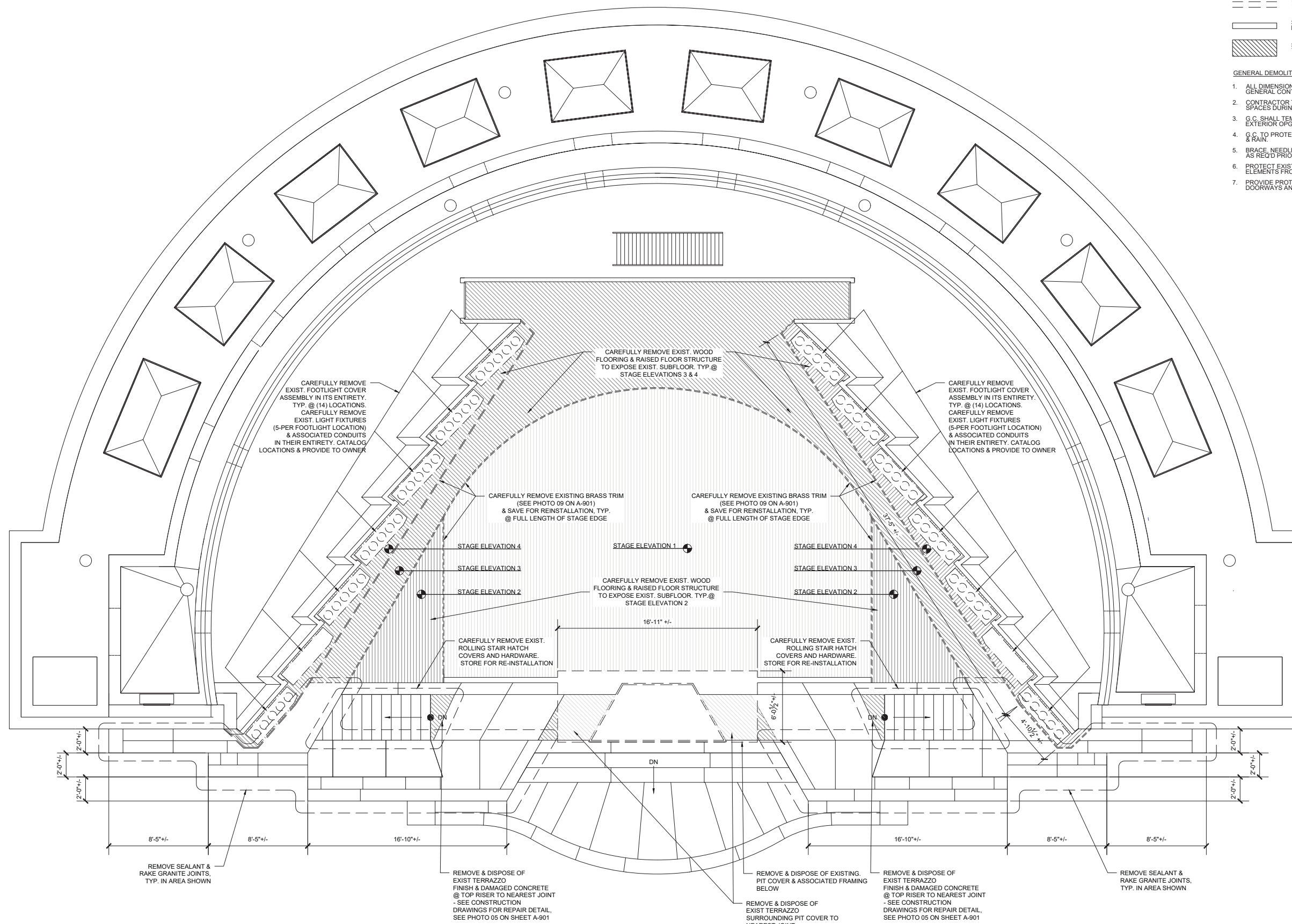
AD-101

NOT FOR CONSTRUCTION

- DEMOLITION PLAN LEGEND**
- DASHED LINES INDICATE ITEMS TO BE DEMOLISHED
  - SOLID LINES INDICATE EXISTING TO REMAIN
  - ▨ STAGE FLOOR AREA TO BE REMOVED

**GENERAL DEMOLITION NOTES**

1. ALL DIMENSIONS ARE TO BE VERIFIED BY THE GENERAL CONTRACTOR
2. CONTRACTOR TO MAINTAIN SECURITY OF ALL SPACES DURING AND SUBSEQUENT TO DEMOLITION
3. G.C. SHALL TEMPORARILY BLOCK AND SECURE EXTERIOR OPNS. EXPOSED BY DEMOLITION.
4. G.C. TO PROTECT EXTERIOR OPENINGS FROM WIND & RAIN.
5. BRACE, NEEDLE & SHORE EXISTING CONSTRUCTION AS REQ'D PRIOR TO DEMOLITION.
6. PROTECT EXISTING BUILDING AND LANDSCAPE ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
7. PROVIDE PROTECTION TO OCCUPANTS AT ALL DOORWAYS AND PUBLIC WAYS, TYP.






**DEMOLITION STAGE PLAN**

SCALE: 1/4" = 1'-0"

**Attachment B: Architectural Drawings**  
Not to Scale

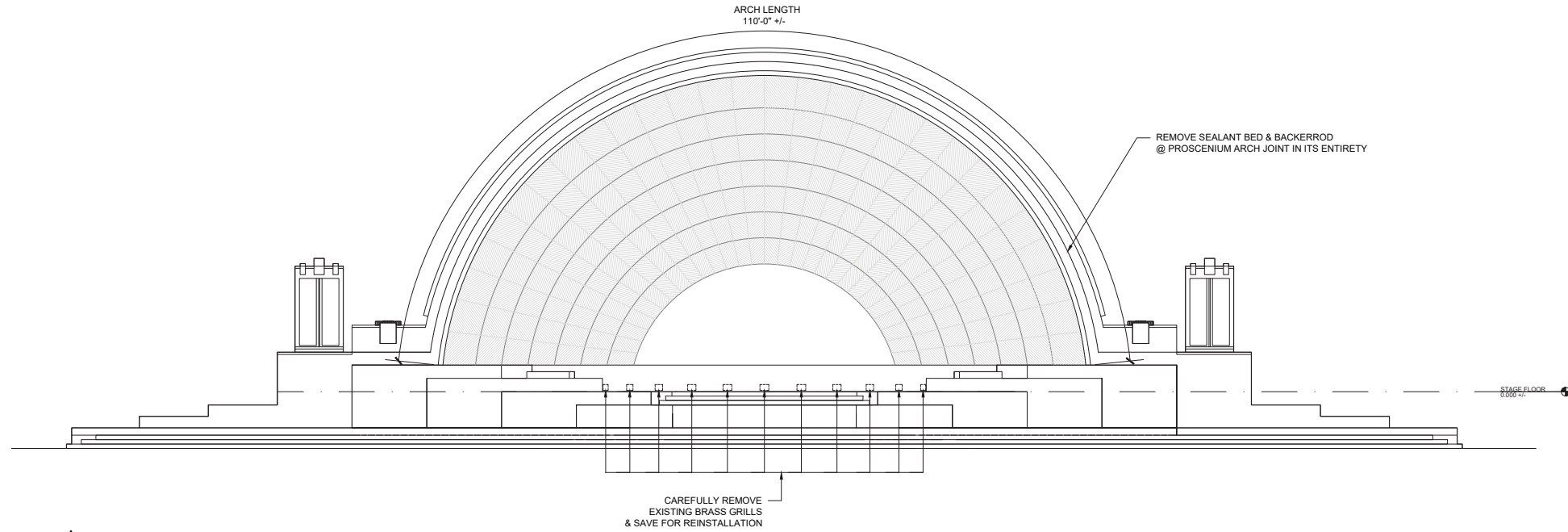


DEMOLITION PLAN LEGEND

-  DASHED LINES INDICATE ITEMS TO BE DEMOLISHED
-  SOLID LINES INDICATE EXISTING TO REMAIN
-  STAGE FLOOR AREA TO BE REMOVED

GENERAL DEMOLITION NOTES

1. ALL DIMENSIONS ARE TO BE VERIFIED BY THE GENERAL CONTRACTOR
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6. PROTECT EXISTING BUILDING AND LANDSCAPE ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
7. PROVIDE PROTECTION TO OCCUPANTS AT ALL DOORWAYS AND PUBLIC WAYS, TYP.



01 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



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New Bedford, MA 02740  
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REVISION	DATE	BY

NAME: DEMOLITION EXTERIOR ELEVATIONS	SCALE: AS NOTED	DRAWN BY: ---
DATE: ---	JOB NO: 2113	

DRAWING NO.

AD-201

NOT FOR CONSTRUCTION



- GENERAL CONSTRUCTION NOTES
1. ALL WORK TO COMPLY WITH THE LATEST EDITION OF THE MASS STATE BUILDING CODE.
  2. G.C. TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
  3. PROTECT EXISTING BUILDING AND LANDSCAPE ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
  4. PROTECT OCCUPANTS AT DOORWAYS AND PUBLIC WAYS AT ALL TIMES DURING CONSTRUCTION.
  5. G.C. TO OBTAIN & POST ON SITE ALL PERMITS REQUIRED FOR PROJECT.
  6. ALL DEMOLITION WASTE TO BE LEGALLY & PROPERLY DISPOSED OF.
  7. DIMENSIONS ARE SHOWN TO THE FACE OF EXISTING WALLS, THE FACE OF MASONRY WALLS AND THE CENTERLINE OF NEW WALLS.

DCR HATCH SHELL REPAIRS

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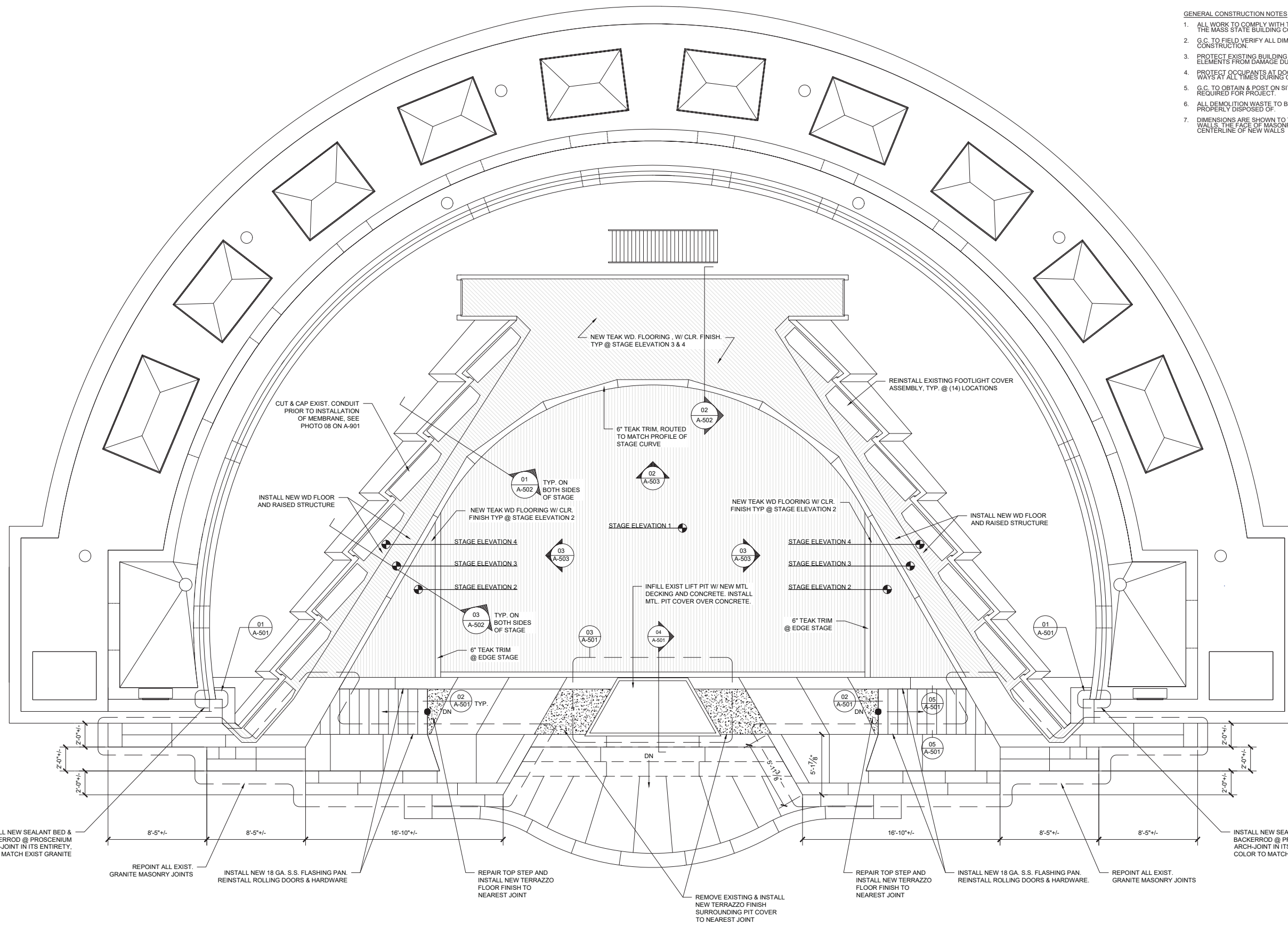
REVISION

NAME:	FIRST FLOOR PLAN	SCALE: AS NOTED	DRAWN BY: ---
DATE: ---			
JOB NO: 2113			

DRAWING NO.

**A-101**

NOT FOR CONSTRUCTION



**STAGE PLAN**

SCALE: 1/4" = 1'-0"

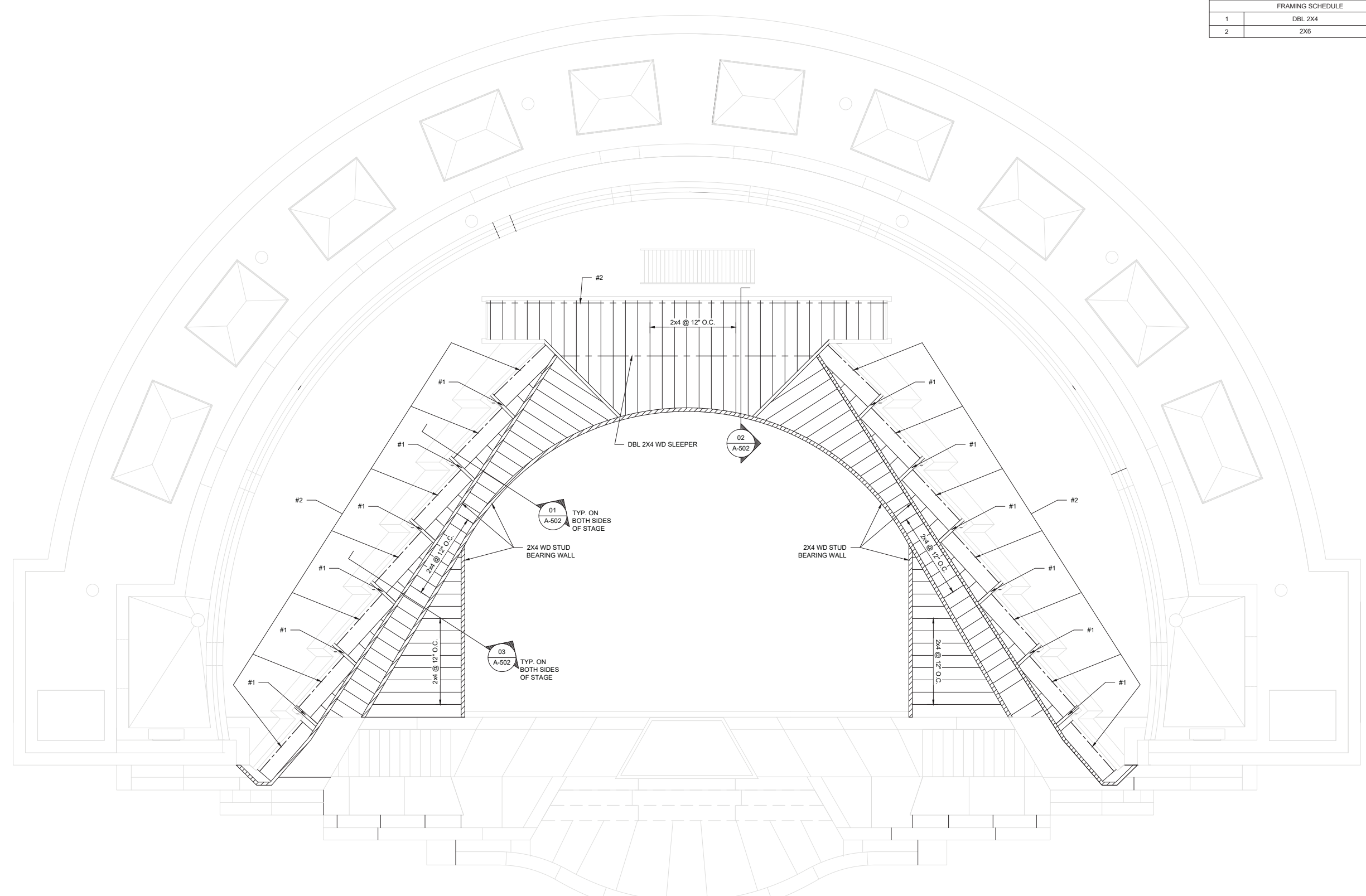


Mar 08, 2022 - 9:07am A-101 FIRST FLOOR PLAN.dwg

FRAMING PLAN LEGEND

 NEW BEARING WALL

FRAMING SCHEDULE		
1	DBL 2X4	BEAM
2	2X6	LEDGER



STAGE FRAMING PLAN

SCALE: 1/4" = 1'-0"



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REVISION

NAME:  
STAGE FRAMING PLAN

SCALE: AS NOTED  
DRAWN BY: ---  
DATE: ---  
JOB NO: 2113

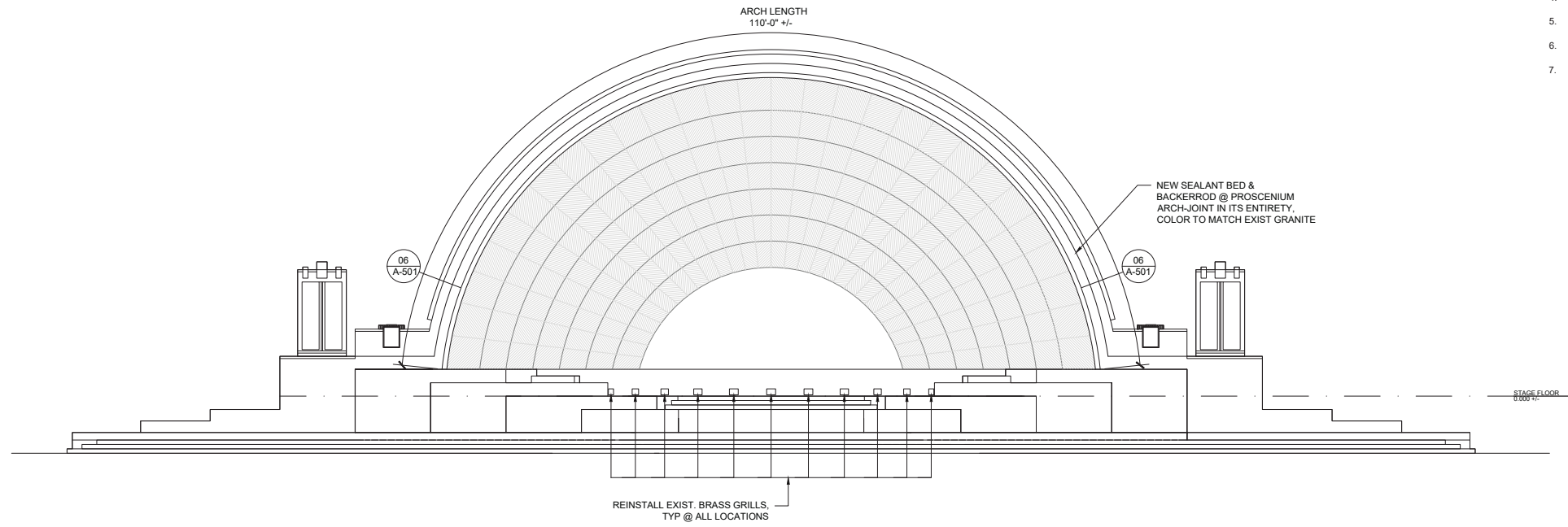
DRAWING NO.

A-102

NOT FOR CONSTRUCTION



- GENERAL CONSTRUCTION NOTES
1. ALL WORK TO COMPLY WITH THE LATEST EDITION OF THE MASS STATE BUILDING CODE.
  2. G.C. TO FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
  3. PROTECT EXISTING BUILDING AND LANDSCAPE ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
  4. PROTECT OCCUPANTS AT DOORWAYS AND PUBLIC WAYS AT ALL TIMES DURING CONSTRUCTION.
  5. G.C. TO OBTAIN & POST ON SITE ALL PERMITS REQUIRED FOR PROJECT.
  6. ALL DEMOLITION WASTE TO BE LEGALLY & PROPERLY DISPOSED OF.
  7. DIMENSIONS ARE SHOWN TO THE FACE OF EXISTING WALLS, THE FACE OF MASONRY WALLS AND THE CENTERLINE OF NEW WALLS.



01 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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ARCHITECTS STAMP

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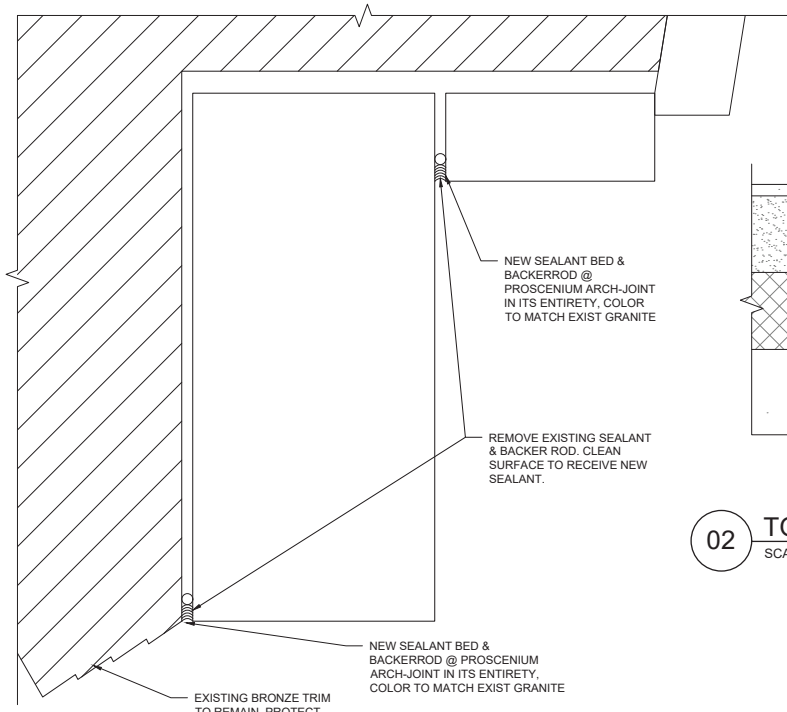
REVISION	DATE	BY

NAME: EXTERIOR ELEVATIONS	SCALE: AS NOTED	DRAWN BY: ---
	DATE: ---	JOB NO 2113

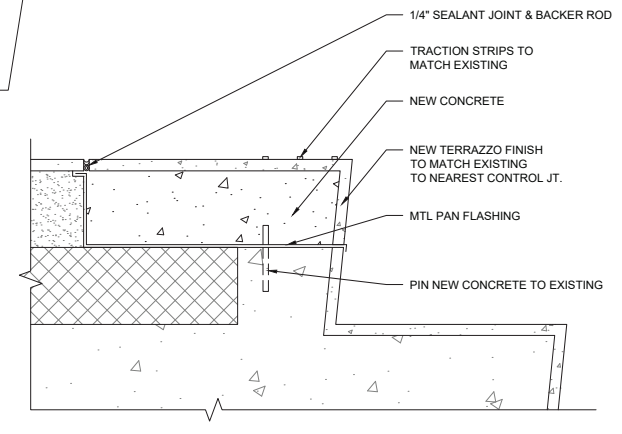
DRAWING NO.

A-201

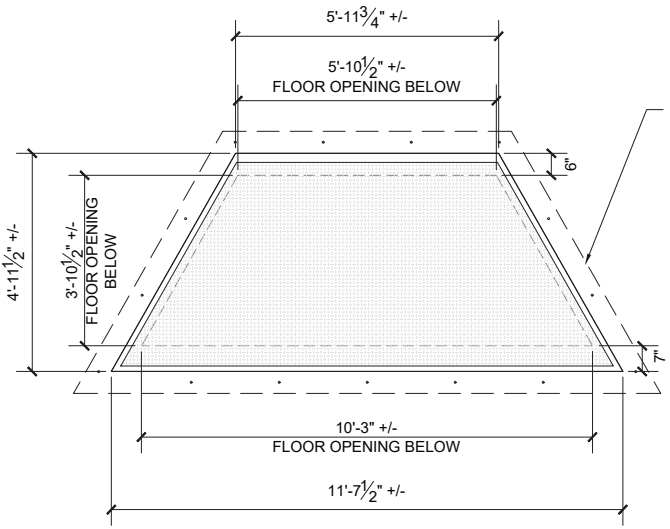
NOT FOR CONSTRUCTION



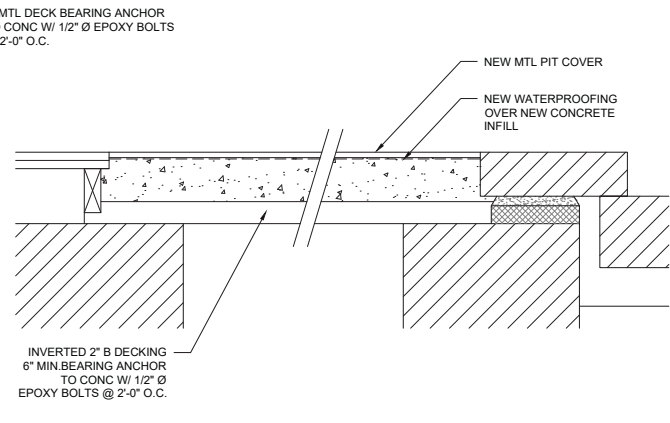
**01 PROSCENIUM ARCH JOINT**  
SCALE: 3" = 1'-0"



**02 TOP STEP DETAIL**  
SCALE: 3" = 1'-0"



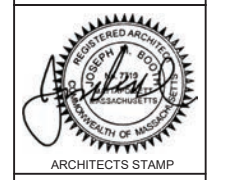
**03 LIFT COVER ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



**04 LIFT COVER SECTION**  
SCALE: 1-1/2" = 1'-0"



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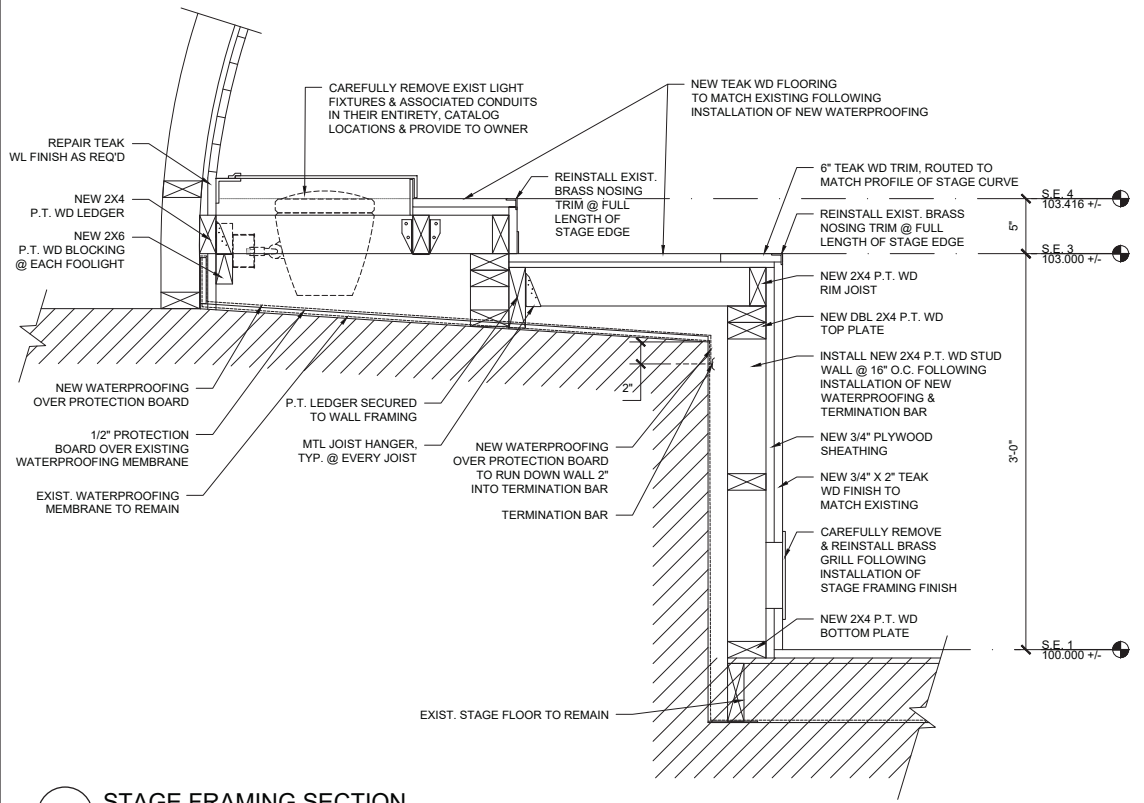
REVISION	DATE	BY

NAME: DETAILS	SCALE: AS NOTED
DATE: ---	DRAWN BY: ---
JOB NO: 2113	

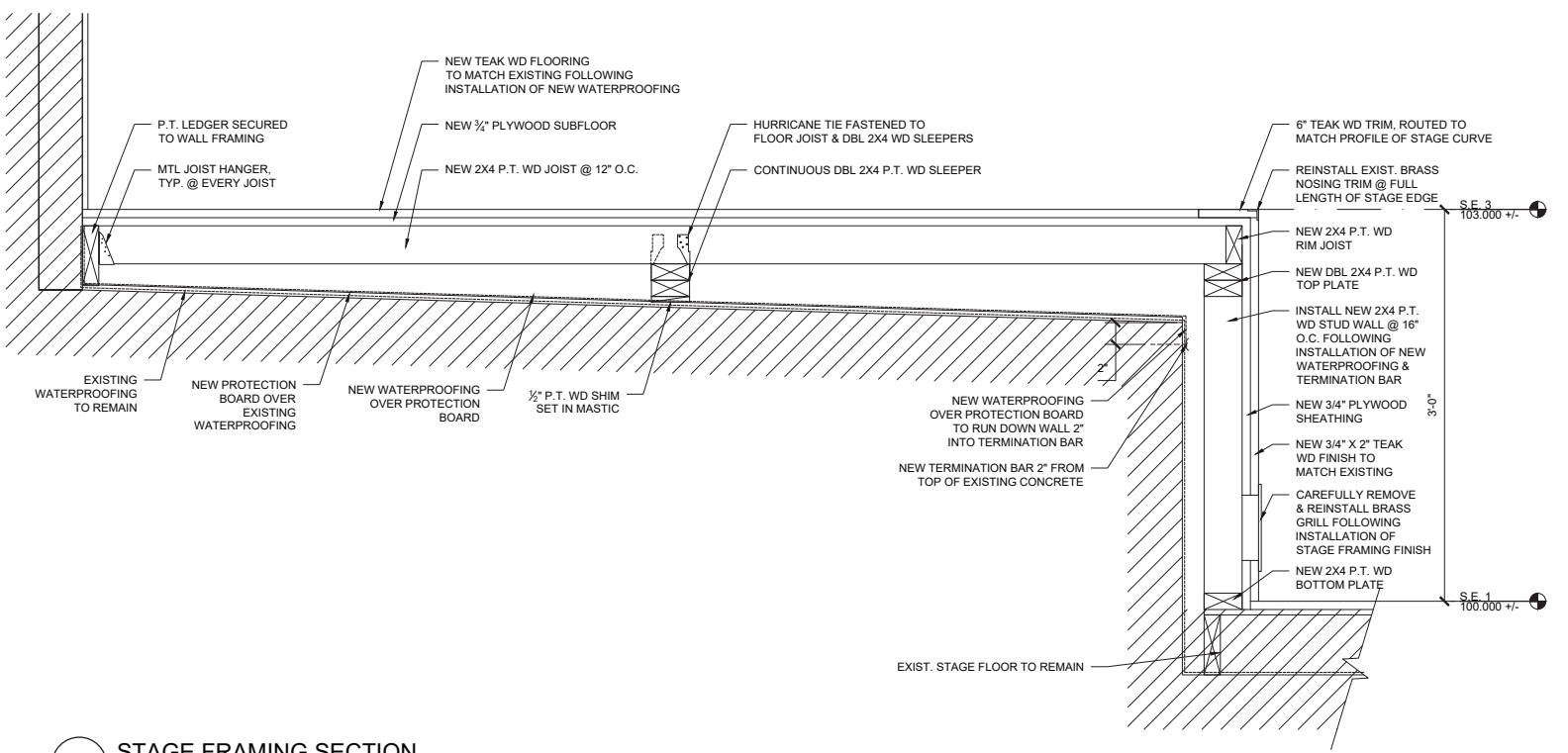
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**A-501**

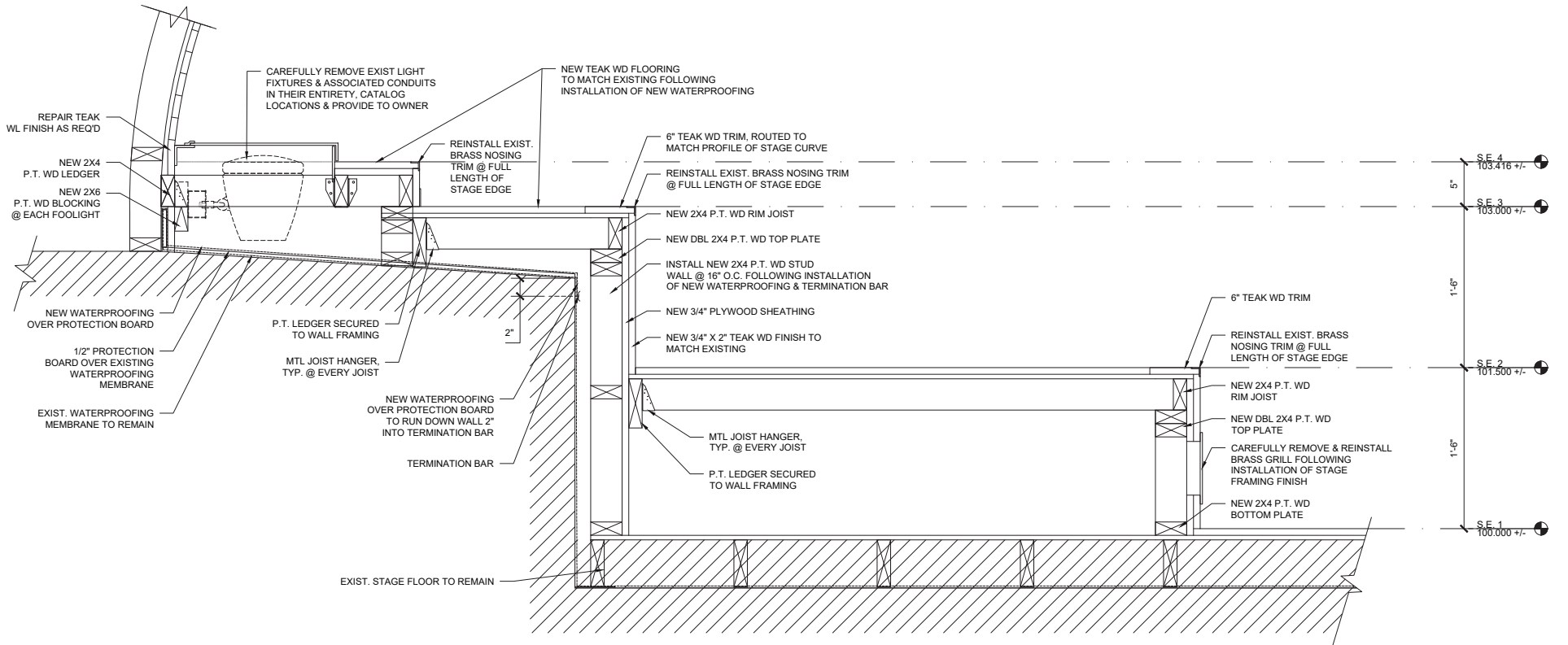
NOT FOR CONSTRUCTION



**01 STAGE FRAMING SECTION**  
SCALE: 1-1/2" = 1'-0"



**02 STAGE FRAMING SECTION**  
SCALE: 1-1/2" = 1'-0"



**03 STAGE FRAMING SECTION**  
SCALE: 1-1/2" = 1'-0"



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REVISION	DATE	BY

NAME: DETAILS	SCALE: AS NOTED	DRAWN BY: ---
DATE: ---	JOB NO: 2113	

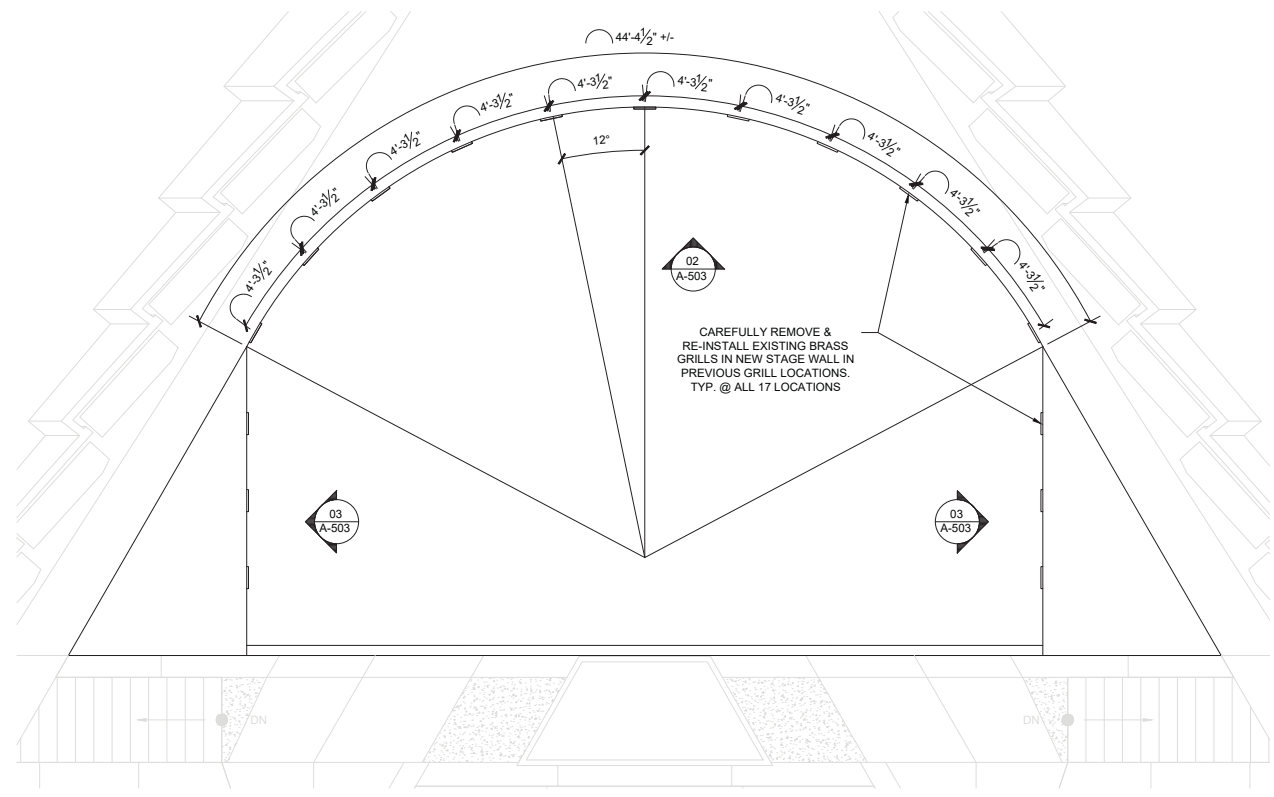
DRAWING NO.

**A-502**

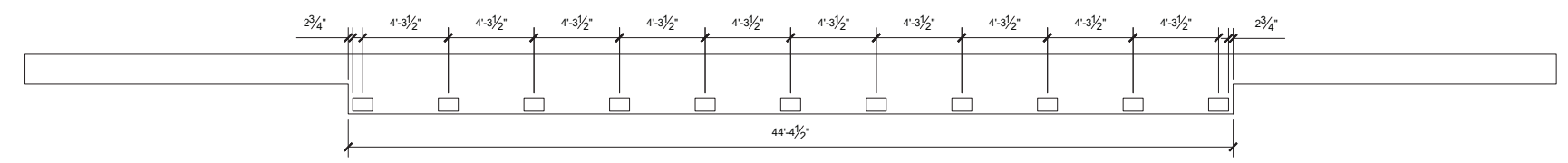
NOT FOR CONSTRUCTION

**Attachment B: Architectural Drawings**  
Not to Scale

Mar 06, 2022 - 9:08am A-502 DETAILS.dwg



**01 BRASS GRILL PLAN DIAGRAM**  
SCALE: 1/4" = 1'-0"



**02 BRASS GRILL INTERPOLATED ELEVATION**  
SCALE: 1/4" = 1'-0"



**03 BRASS GRILL INTERPOLATED ELEVATION**  
SCALE: 1/4" = 1'-0"

02  
A-503  
CAREFULLY REMOVE &  
RE-INSTALL EXISTING BRASS  
GRILLS IN NEW STAGE WALL IN  
PREVIOUS GRILL LOCATIONS.  
TYP. @ ALL 17 LOCATIONS

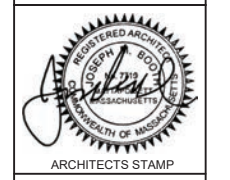
03  
A-503

03  
A-503

Mar 03, 2022 - 9:08am A-503 BRASS GRILL DIAGRAMS.dwg



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REVISION	DATE	BY

NAME: BRASS GRILL DIAGRAMS	SCALE: AS NOTED	DRAWN BY: ---
	DATE: ---	JOB NO: 2113

DRAWING NO.  
**A-503**  
NOT FOR CONSTRUCTION

**Attachment B: Architectural Drawings**  
Not to Scale



01 LIGHTBOX  
SCALE:NTS



02 LIGHTBOXES  
SCALE:NTS



03 ROLL OUT DOOR TRACK  
SCALE:NTS



04 ROLL OUT DOOR  
SCALE:NTS



05 TOP OF STEP  
SCALE:NTS



06 LIFT COVER  
SCALE:NTS



07 PROSCENIUM ARCH JOINT  
SCALE:NTS



08 EXPOSED OPEN CONDUIT  
SCALE:NTS



09 BRASS NOSING TRIM  
SCALE:NTS

Mar 08, 2022 - 9:08am A-901 EXISTING CONDITIONS PHOTOS.dwg



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REVISION	DATE	BY

NAME: EXISTING CONDITIONS PHOTOS	SCALE:AS NOTED	DRAWN BY:----
DATE:----	JOB NO:2113	

DRAWING NO.

A-901

NOT FOR CONSTRUCTION

# Attachment B: Architectural Drawings

Not to Scale

**Attachment C:**

- Site Plan

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BOSTON, MA 02114

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REVISION

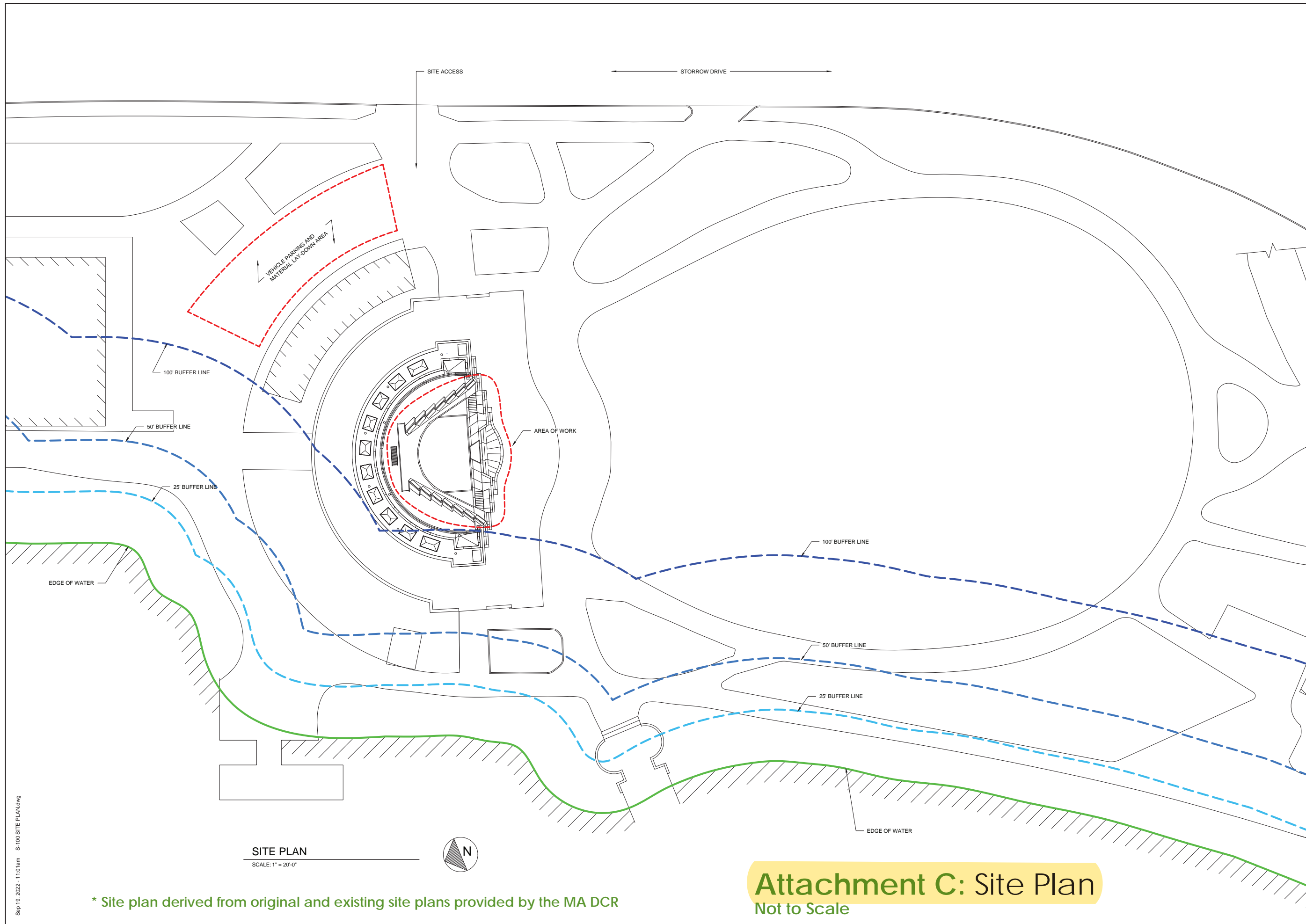
NAME:  
SITE PLAN

SCALE: AS NOTED  
DATE: ---  
JOB NO: 2113  
DRAWN BY: ---

DRAWING NO.

**S-100**

NOT FOR CONSTRUCTION



**SITE PLAN**  
SCALE: 1" = 20'-0"



\* Site plan derived from original and existing site plans provided by the MA DCR

**Attachment C: Site Plan**  
Not to Scale

Sep 19, 2022 - 11:01am S-100 SITE PLAN.dwg

## Attachment D:

- Affidavit of Service for Abutter Notification (1 page)
- Abutter Notification (3 pages)
- Abutter Mialing List (1 page)
- Abutter Map (1 page)





**AFFIDAVIT OF SERVICE  
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act  
and Boston Wetlands Ordinance**

I, Patrick Grime, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Request for a Determination of Applicability was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by The Massachusetts Department of Conservation & Recreation for Repairs to the Hatch Shell Stage Floor located at the DCR Hatch Shell - 47 David G. Mugar Way, Boston, MA 02114.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

  
Name

7/19/2022  
Date



**NOTIFICATION TO ABUTTERS  
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. The Massachusetts DCR \_\_\_\_\_ has filed a Request for Determination with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is 47 David G. Mugar Way, Boston, MA 02114 \_\_\_\_\_.

C. The project involves Repairs to the DCR Hatch Shell floor to help protect against water infiltration into the building \_\_\_\_\_.

D. Copies of the Request for Determination may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).

E. Copies of the Request for Determination may be obtained from J.M. Booth & Associates, Inc. \_\_\_\_\_ by contacting them at (774) 206-8008 \_\_\_\_\_ between the hours of 9am - 5 pm \_\_\_\_\_, Monday - Friday \_\_\_\_\_.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at [CC@boston.gov](mailto:CC@boston.gov) by 12 PM the day before the hearing.



## BABEL NOTICE

English:

**IMPORTANT!** This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at [cc@boston.gov](mailto:cc@boston.gov) or 617-635-3850.

Spanish:

**¡IMPORTANTE!** Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico [cc@boston.gov](mailto:cc@boston.gov) o llamando al 617-635-3850.

Haitian Creole:

**AVI ENPÒTAN!** Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan [cc@boston.gov](mailto:cc@boston.gov) oswa 617-635-3850.

Traditional Chinese:

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Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

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Cape Verdean Creole:

**INPURTANTI!** Es dukumentu ó aplikason ten **informason inpurtanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na [cc@boston.gov](mailto:cc@boston.gov) ó 617-635-3850.

Arabic:

**مهم!** يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائده. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على [cc@boston.gov](mailto:cc@boston.gov) أو 617-635-3850.

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Portuguese:

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French:

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# Attachment D: Abutter Notification - (Mailing List)

Page 6 of 7



## Abutter Mailing List:

The following is a list of all abutters to the Hatch Shell site that was generated using the City of Boston's Abutter Mailing List Generator and cross referenced with the City of Boston's most recent Accessors Database. All abutters listed below were sent a notification via certified mail.

	FULL_ADDRESS	CITY	ZIPCODE	OWNER	ADDRESSEE	MAIL_ADDRESS	MAIL_CS	STATE	MAIL_ZIPCODE
1	39 BRIMMER ST	BOSTON	02108	DAVID ROSENBLOOM		39 BRIMMER	BOSTON	MA	02108
2	101 CHESTNUT ST	BOSTON	02108	ONE HUNDRED ONE CHESTNUT		311 SUMMER ST SUITE #200	BOSTON	MA	02210
3	107 CHESTNUT ST	BOSTON	02108	ONE 07 CHESTNUT CONDO TR		107 CHESTNUT	BOSTON	MA	02108
4	107 CHESTNUT ST 1	BOSTON	02108	GIAN FABBRI		107 CHESTNUT ST #1	BOSTON	MA	02108
5	107 CHESTNUT ST 2	BOSTON	02108	CHESTNUT NOMINEE TRUST		50 Congress Street, Ste 410	BOSTON	MA	02109
6	107 CHESTNUT ST 3	BOSTON	02108	DAVID SCUDDER		107 CHESTNUT ST #3	BOSTON	MA	02108
7	107 CHESTNUT ST 4	BOSTON	02108	OSWALD STREET		107 CHESTNUT ST #4	BOSTON	MA	02108
8	107 CHESTNUT ST 5	BOSTON	02108	ONE 07 CHESTNUT ST LLC		109 CHESTNUT ST #5	BOSTON	MA	02108
9	165 MT VERNON ST	BOSTON	02108	ONE SIXTY FIVE MT VERNON		165 MOUNT VERNON	BOSTON	MA	02108
10	165 MT VERNON ST 1	BOSTON	02108	Clair Carlson	C/O MASON & MARTIN	199 WELLS AV STE 210	NEWTON	MA	02459
11	165 MT VERNON ST 2	BOSTON	02108	Clair Carlson	C/O MASON & MARTIN	199 WELLS AV STE 210	NEWTON	MA	02459
12	165 MT VERNON ST 3	BOSTON	02108	JUDITH DRAKE		165 MOUNT VERNON ST #3	BOSTON	MA	02108
13	165 MT VERNON ST 4	BOSTON	02108	LEAH PRIESTLEY		165A MOUNT VERNON ST #4	BOSTON	MA	02108
14	6 OTIS PL	BOSTON	02108	Eccentric Estate Trust		6 OTIS PLACE	BOSTON	MA	02108
15	7 OTIS PLACE	BOSTON	02108	7 OTIS PLACE CONDO TRUST		7 OTIS PLACE	BOSTON	MA	02108
16	7 OTIS PL 1	BOSTON	02108	OTIS PLACE 7-1 TRUST		7 OTIS PLACE, UNIT 1	BOSTON	MA	02108
17	7 OTIS PL 2	BOSTON	02108	J. LEE MONTAG		7 OTIS PL #2	BOSTON	MA	02108
18	7 OTIS PL 3	BOSTON	02108	J. LEE MONTAG		7 OTIS PL #3	BOSTON	MA	02108
19	8 OTIS PL	BOSTON	02108	TRACEY FLAHERTY		8 OTIS PL	BOSTON	MA	02108
20	10 OTIS PL	BOSTON	02108	SAUL GANICK	C/O STREET & CO	78 CHARLES ST	BOSTON	MA	02114
21	10 OTIS PL 2-A	BOSTON	02108	DOMINIQUE BORDE	C/O SANDRA C STEELE	44 SCHOOL ST SUITE 325	BOSTON	MA	02108
22	10 OTIS PL 2-B	BOSTON	02108	SHARON CONWAY SCHMITT		10 OTIS PL #2B	BOSTON	MA	02108
23	10 OTIS PL 3-B	BOSTON	02108	DAMMIN FAMILY TRUST		10 OTIS PL, UNIT 3-A	BOSTON	MA	02108
24	10 OTIS PL 3-A	BOSTON	02108	DAMMIN FAMILY TRUST		10 OTIS PL, UNIT 3-B	BOSTON	MA	02108
25	10 OTIS PL 4-A	BOSTON	02108	PHYLLIS J DAS REVOCABLE TRUST		10 OTIS PL, UNIT 4-A	BOSTON	MA	02108
26	10 OTIS PL 4-B	BOSTON	02108	DAVID PARKER		10 OTIS PL, UNIT 4-B	BOSTON	MA	02108
27	10 OTIS PL 5-A	BOSTON	02108	RICHARDSON 1999 ISSUE TRUST		10 OTIS PL, UNIT 5-A	BOSTON	MA	02108
28	10 OTIS PL 5-B	BOSTON	02108	KENNEDY RICHARDSON		10 OTIS PL #5B	BOSTON	MA	02108
29	10 OTIS PL 6-A	BOSTON	02108	ROMAN ETAL JACKIW		10 OTIS PLACE #6A	BOSTON	MA	02108
30	10 OTIS PL 6-B	BOSTON	02108	2021 REALTY TRUST		10 OTIS PL, UNIT 6-B	BOSTON	MA	02108
31	12 OTIS PL	BOSTON	02108	ANASTASIA CONTOS		12 OTIS PL	BOSTON	MA	02108
32	14 OTIS PL	BOSTON	02108	WILLIAM ALFOND		14 OTIS PL	BOSTON	MA	02108

Hatch Shell Repairs | Boston, Massachusetts

Sources: <https://www.cityofboston.gov/assessing/search/>  
<https://www.boston.gov/abutter-mailing-list-generator>

# Attachment D: Abutter Notification - (Map)

Page 7 of 7



7/11/22, 3:27 PM

Abutter Mailing List Generator | Boston.gov

CITY of **BOSTON**  
MENU (A)

SEARCH

[COVID-19 INFORMATION](#)

<https://www.boston.gov/government/cabinets/boston-public-health-commission/COVID-19-boston>

## ABUTTER MAILING LIST GENERATOR

Search for an address or enter a parcel ID below.

### ADDRESS SEARCH

Search for an address...

### PARCEL SEARCH

SEARCH

### SELECTED PARCEL

0502497000 - undefined

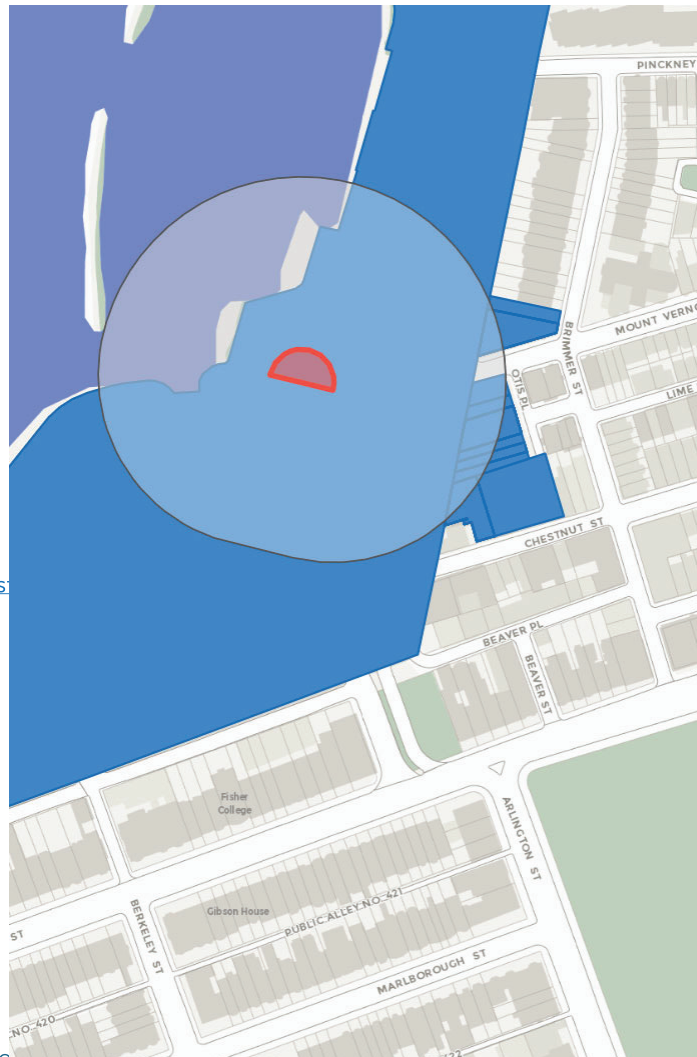
Enter a buffer distance and a mailing list csv will appear below.

### BUFFER DISTANCE (FEET)

300

BUFFER PARCEL

[DOWNLOAD PARCEL DATA](#) [RESULTS](#)



[PRIVACY POLICY](#) ([//DEPARTMENTS/INNOVATION AND TECHNOLOGY/TERMS USE AND CONTACT POLICY](#))  
[CONTACT US](#) ([//DEPARTMENTS/MAYORS-OFFICE/CONTACT-BOSTON-CITY-HALL](#))  
[JOBS AND CAREERS](#) ([HTTPS://WWW.BOSTON.GOV/CAREER-CENTER](https://www.boston.gov/career-center))  
[ALERTS](#) ([//DEPARTMENTS/EMERGENCY-MANAGEMENT/CITY-BOSTON-ALERTS-AND-NOTIFICATIONS](#))

(HTT

<https://www.boston.gov/abutter-mailing-list-generator>

1/2

Hatch Shell Repairs | Boston, Massachusetts

Source: <https://www.boston.gov/abutter-mailing-list-generator>