

BHAC APPLICATION | 2021.07.15

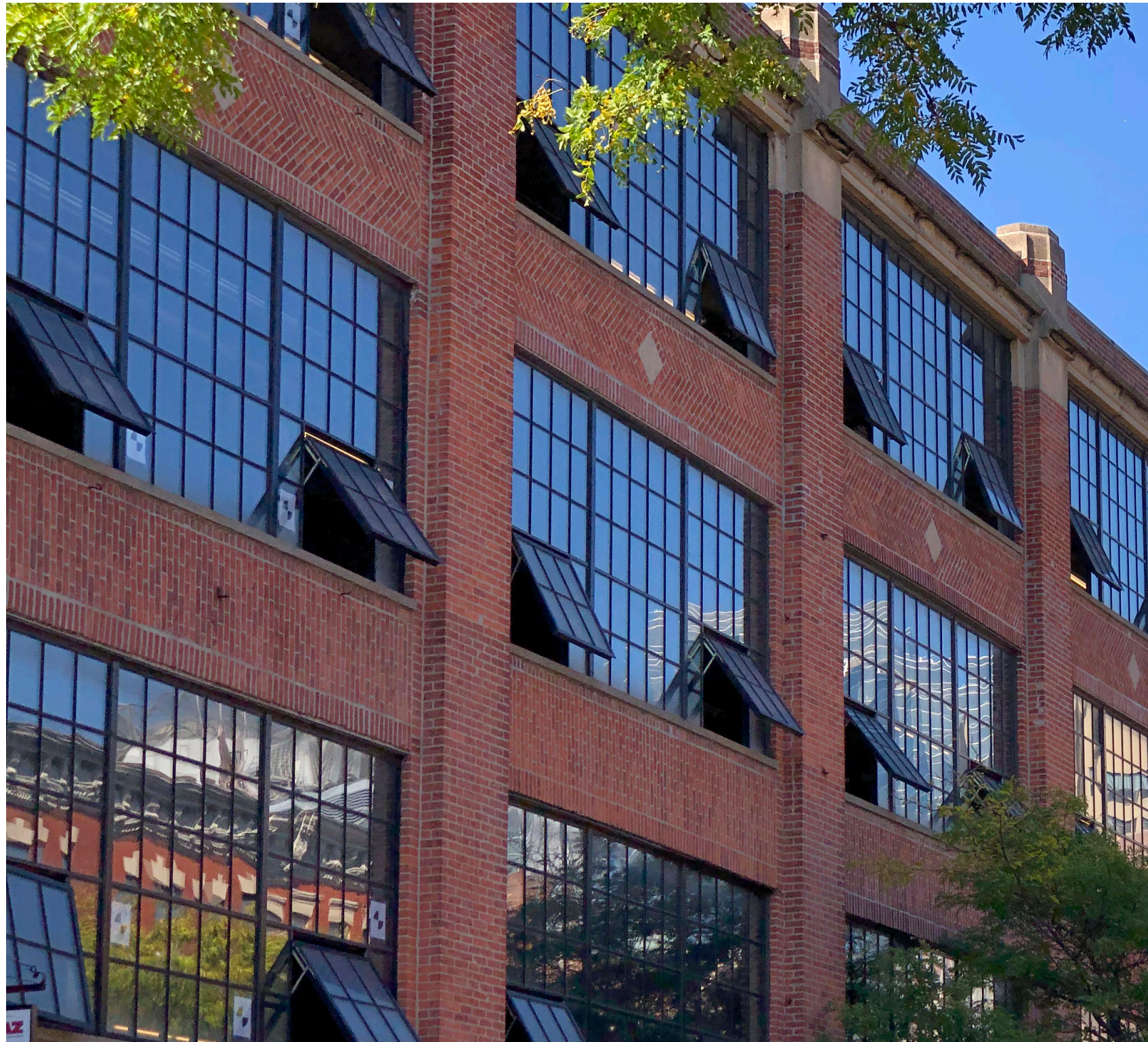
144 CHARLES STREET

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- SITE CONTEXT
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SITE HISTORY



Historic Beacon Hill
aerial photographs



SITE HISTORY

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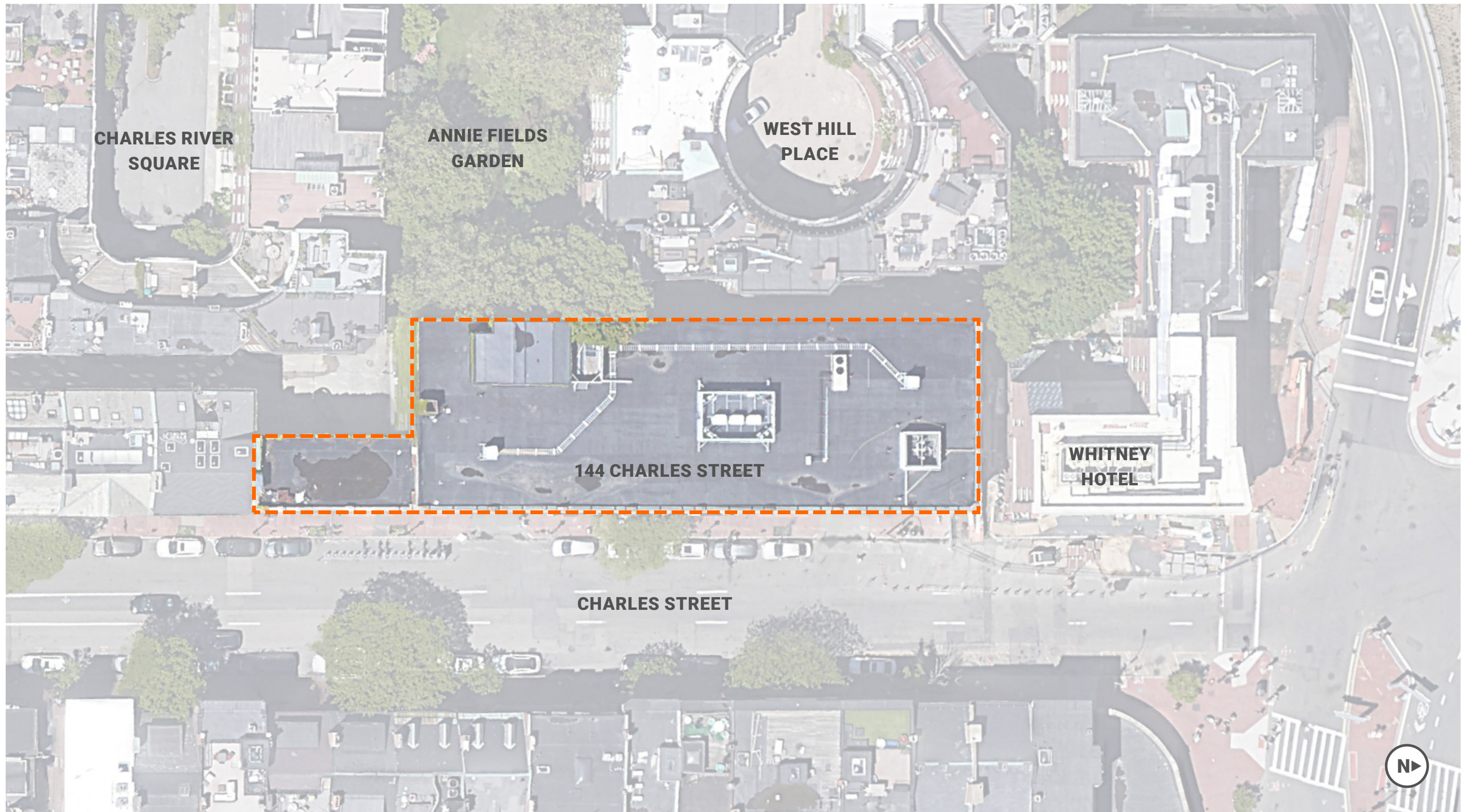
Historic garage photographs circa 1965, showing 144 Charles Street's previous use as a car showroom.

SITE HISTORY

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SITE CONTEXT



SITE PLAN

SITE CONTEXT

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View looking north from Charles Street and Revere Street



View looking northwest from Charles Street and Revere Street

SITE CONTEXT

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View from Charles Street towards parking entry



View through garage passage to West Hill Place



View at garage passage looking south down Charles Street

SITE CONTEXT

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View looking south from Charles Street and Cambridge Street



View from the Whitney Hotel service court

SITE CONTEXT

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View looking east from
Storrow Drive (winter)



View looking east from
Storrow Drive (spring)

SITE CONTEXT

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View from Revere Street
looking north



View from private alley (not
visible from Revere Street)

SITE CONTEXT

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BUILDING CONDITION

EXTERIOR CONDITIONS

- DETERIORATION OF CONCRETE BEAMS
- FRACTURING AND EFFLORESCENCE AT CAST STONE PIER CAPS AND CORNICE
- CRACKING IN BRICK PIERS, SPANDRELS AND SILLS
- DEFICIENT MORTAR JOINTS
- CRACKED GRANITE TILE BASES
- DETERIORATED WOOD STOREFRONT FRAMING, WINDOWS + ENTRY DOORS



BUILDING CONDITION

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DEVELOPMENT CONCEPT + FLOOR PLANS



DEVELOPMENT CONCEPT:

The Project will include a **CHANGE OF USE**, with office space on the upper two floors replacing the existing parking. Renovations include an office lobby and expanded retail on the ground floor and two roof decks serving office users. All new program is within the existing building envelope.

EXTERIOR IMPROVEMENTS will include code required repairs, facade restoration, window repairs and replacement as needed, signage, and lighting, as well as upgrades to the covered passage and to the roofscape.

SITE AREA = 12,077 SF

EXISTING PROGRAM

- RETAIL [5,334 SF]
- PARKING [41,157 SF, 191 SPOTS]

PROPOSED PROGRAM

- RETAIL [6,525 SF]
- PARKING [13,286 SF, 59 SPOTS]
- OFFICE [21,318 SF]

DEVELOPMENT CONCEPT

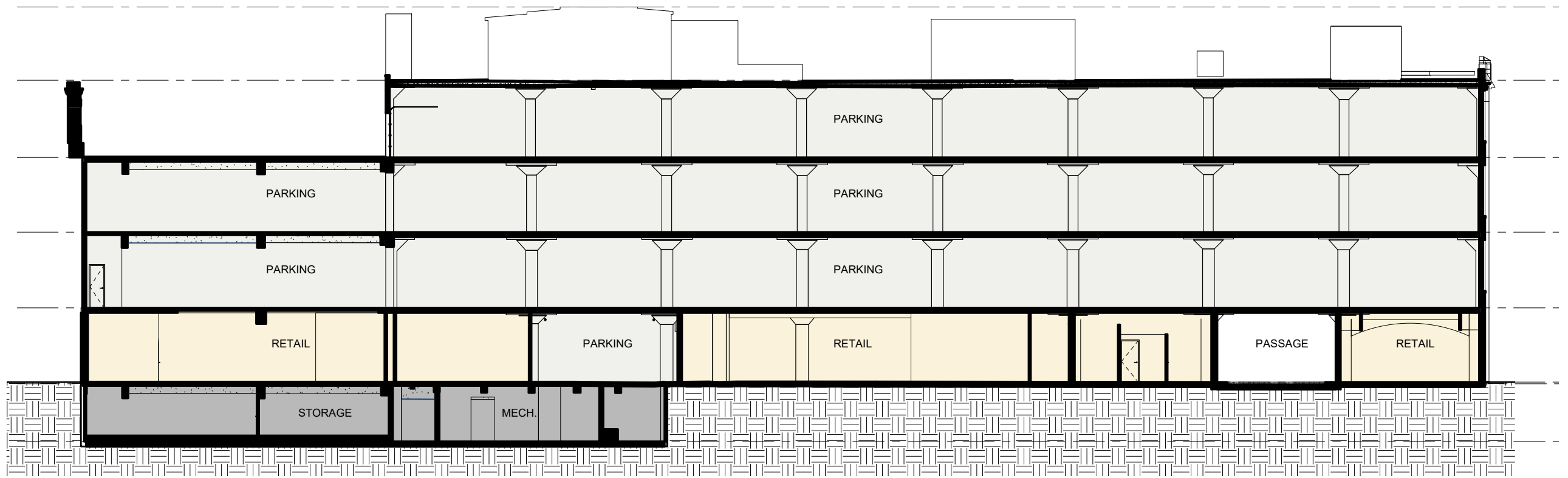
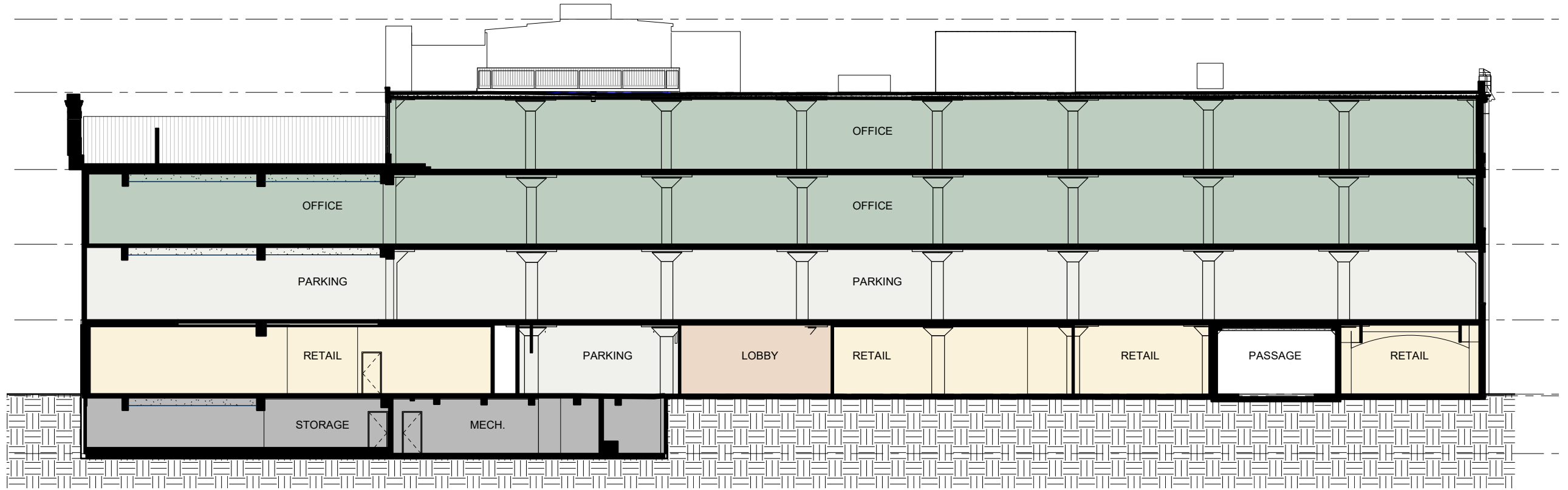
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- RETAIL
- PARKING
- CIRCULATION
- LOBBY
- STORAGE



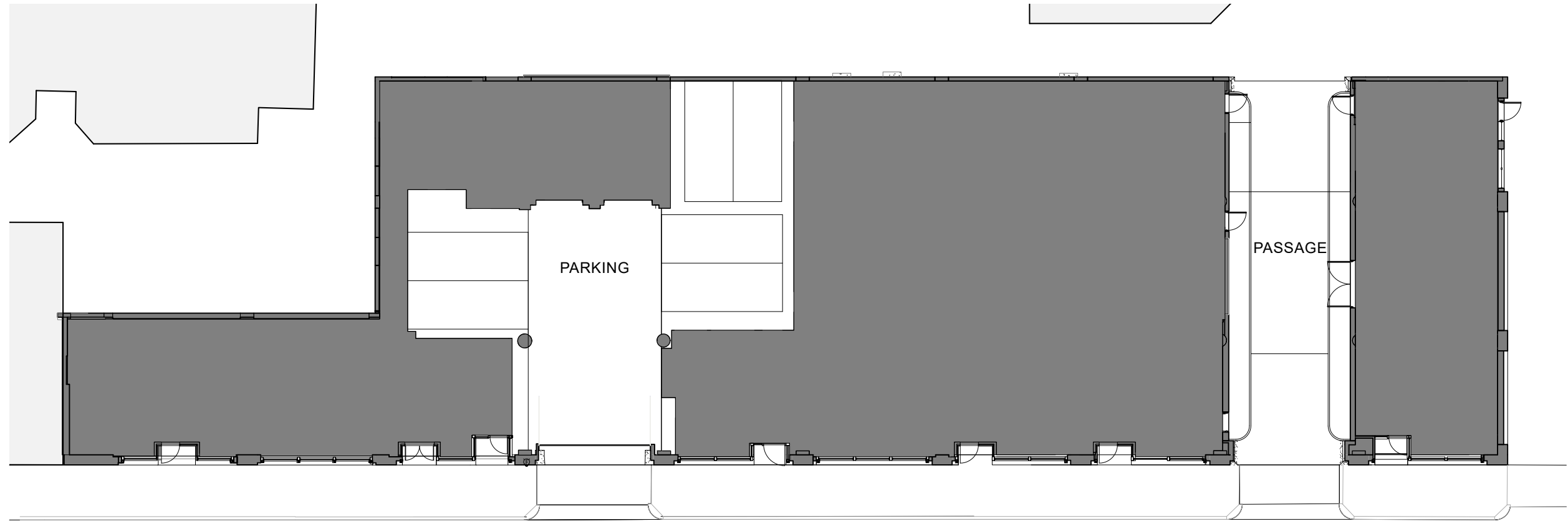
KEY PLAN



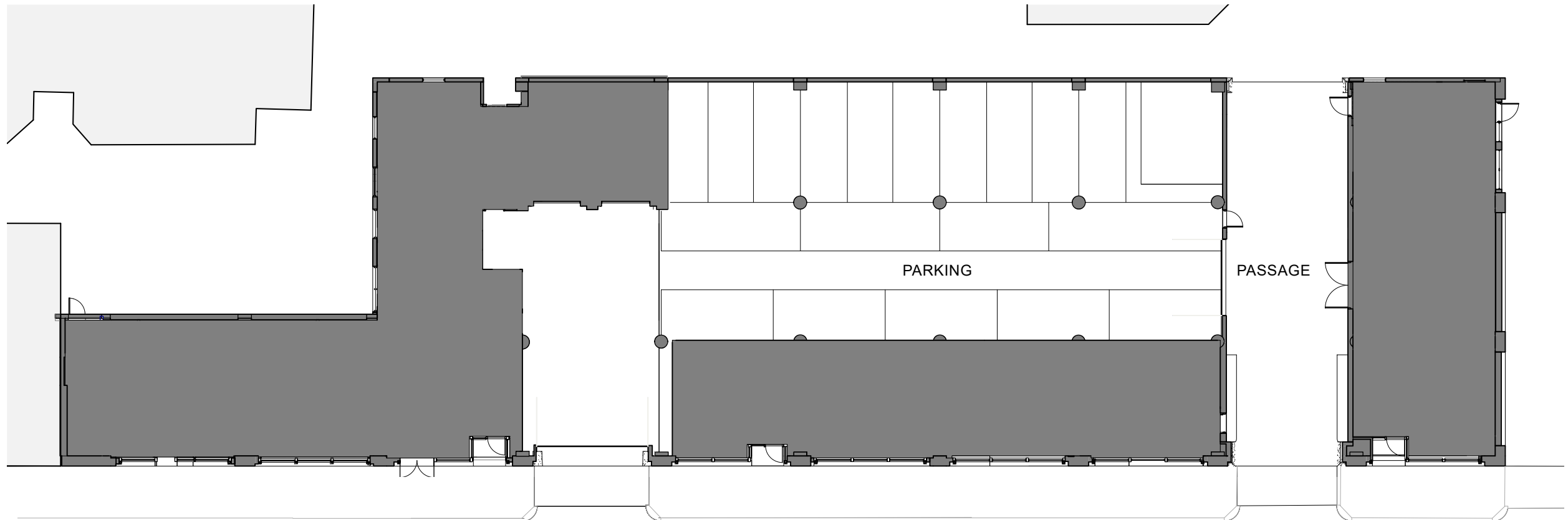
CHANGE OF USE

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■ PROGRAM
□ PARKING



PROPOSED FIRST FLOOR PLAN



EXISTING FIRST FLOOR PLAN

EXISTING + PROPOSED FLOOR PLANS

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BUILDING ELEVATIONS

VISIBLE FROM PUBLIC WAY
 NOT VISIBLE FROM PUBLIC WAY



CHARLES STREET ELEVATION



NORTH ELEVATION



WEST ELEVATION (FACING WEST HILL PLACE, ANNIE FIELDS GARDEN, AND CHARLES RIVER SQUARE)



SOUTH ELEVATION

EXISTING BUILDING ELEVATIONS

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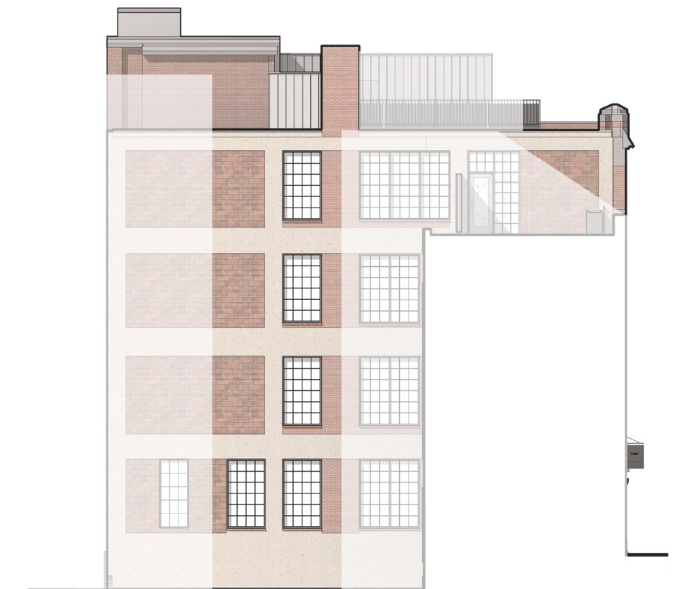
CHARLES STREET ELEVATION



NORTH ELEVATION



WEST ELEVATION (FACING WEST HILL PLACE, ANNIE FIELDS GARDEN, AND CHARLES RIVER SQUARE)



SOUTH ELEVATION

PROPOSED BUILDING ELEVATIONS

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PROPOSED EXTERIOR SCOPE

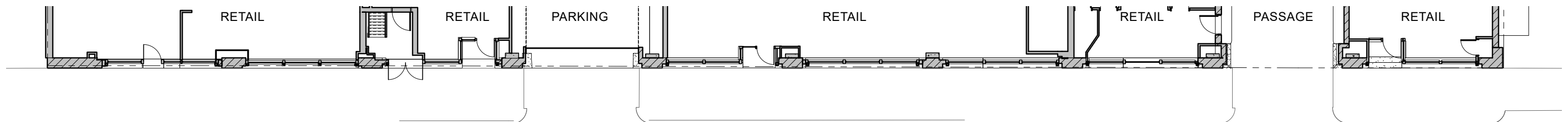
PROPOSED EXTERIOR SCOPE:

- CONCRETE + MASONRY REPAIRS
- STOREFRONT REPAIRS + MODIFIED ENTRANCES
- WINDOW REPAIRS + REPLACEMENT (AS NEEDED)
- MECHANICAL ENCLOSURES + PRIVACY SCREEN
- PASSAGE IMPROVEMENTS
- ARCHITECTURAL DETAILS + MATERIALS

- VISIBLE FROM PUBLIC WAY
- NOT VISIBLE FROM PUBLIC WAY



EXISTING CHARLES STREET ELEVATION



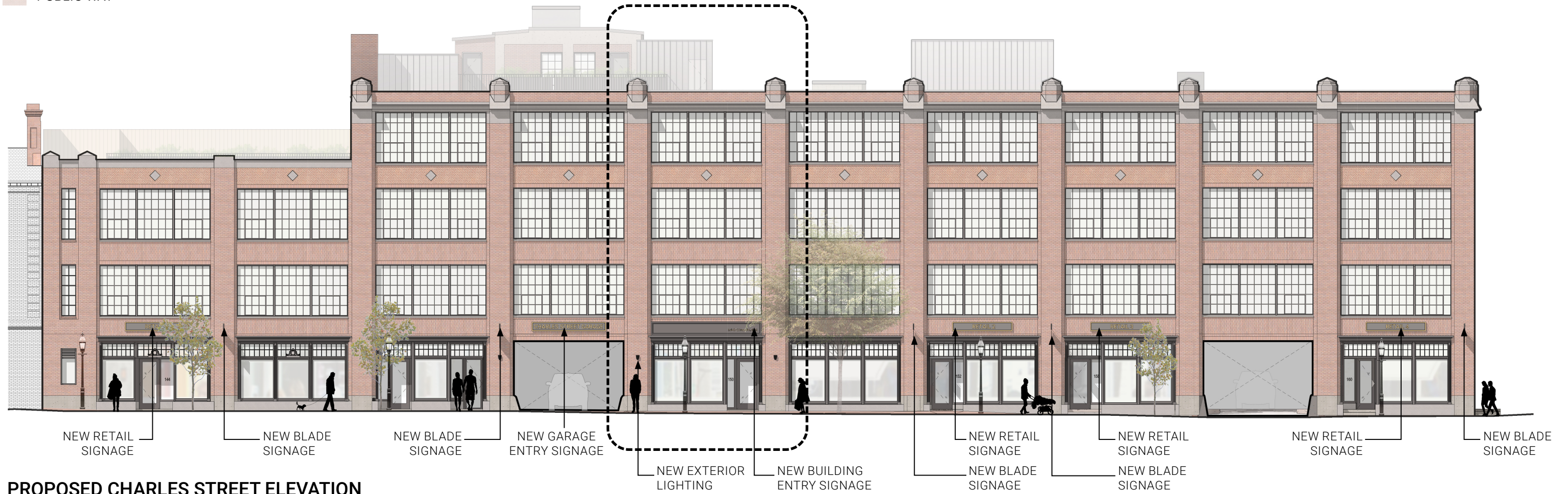
EXISTING FIRST FLOOR PLAN AT ENTRANCES

CHARLES STREET FAÇADE

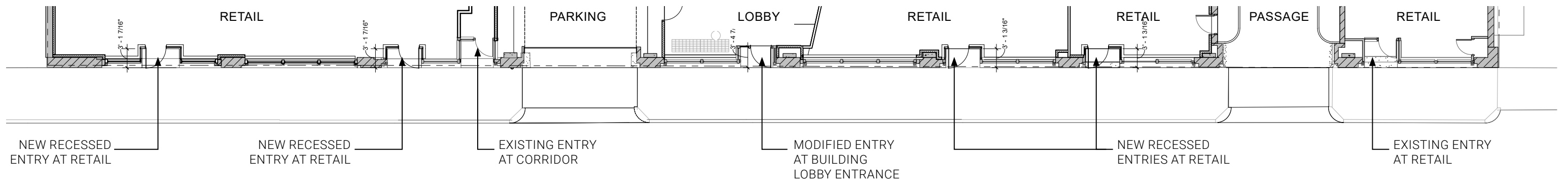
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- VISIBLE FROM PUBLIC WAY
- NOT VISIBLE FROM PUBLIC WAY



PROPOSED CHARLES STREET ELEVATION



PROPOSED FIRST FLOOR PLAN AT ENTRANCES

CHARLES STREET FAÇADE

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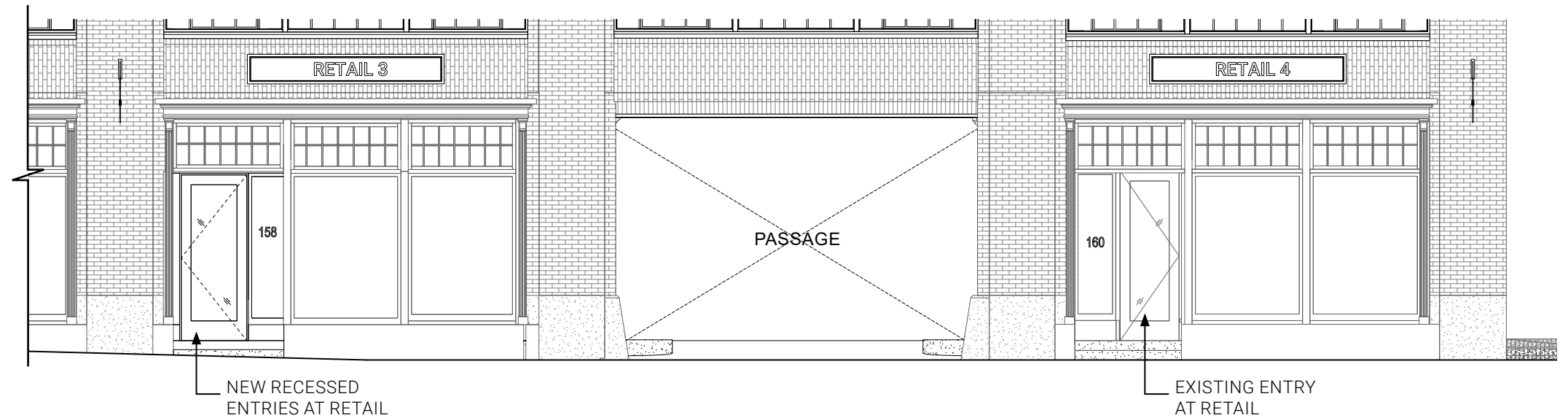
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CHARLES STREET STOREFRONT ELEVATION - LEFT



CHARLES STREET STOREFRONT ELEVATION - MIDDLE



CHARLES STREET STOREFRONT ELEVATION - RIGHT

CHARLES STREET FAÇADE

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MASONRY RESTORATION REPAIRS (TYPICAL EACH ELEVATION)

NEW ENTRY SIGNAGE AT BUILDING LOBBY ENTRANCE

REMOVE EXISTING AWNINGS, TYPICAL ALL STOREFRONTS

PROPOSED SCNCE ENTRY LIGHTING

REPAIR OF SELECT DETERIORATED WOOD STOREFRONT FRAMING, WINDOWS + ENTRY DOORS. PAINT WOOD STOREFRONT WINDOWS + ENTRANCES BLACK.

REPLACEMENT OF CRACKED GRANITE TILE STOREFRONT BASES

CHARLES STREET ENLARGED ELEVATION

CHARLES STREET FAÇADE

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PROPOSED VIEW OF BUILDING ENTRANCE

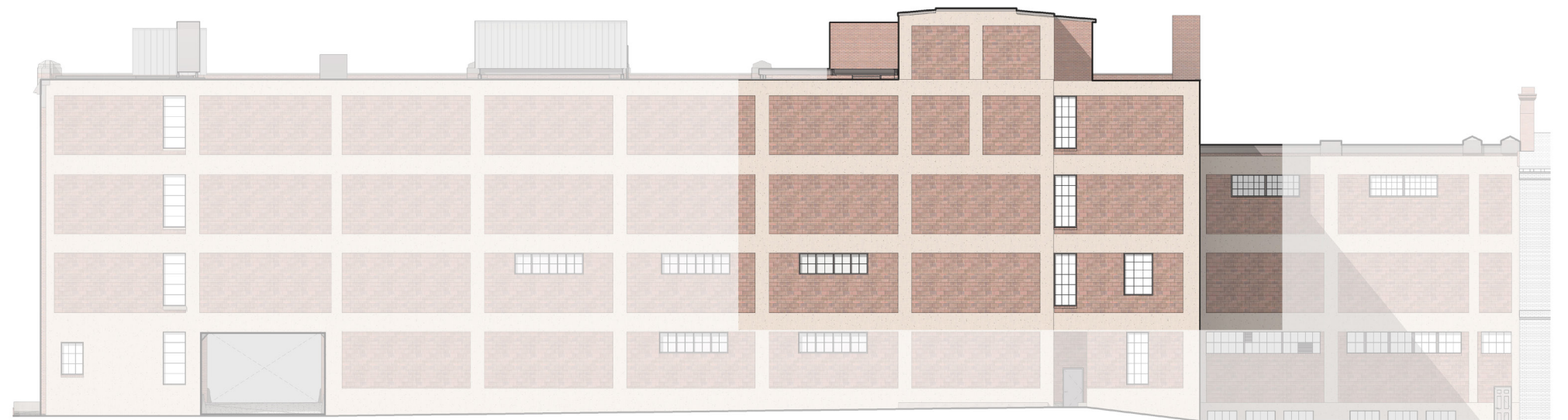
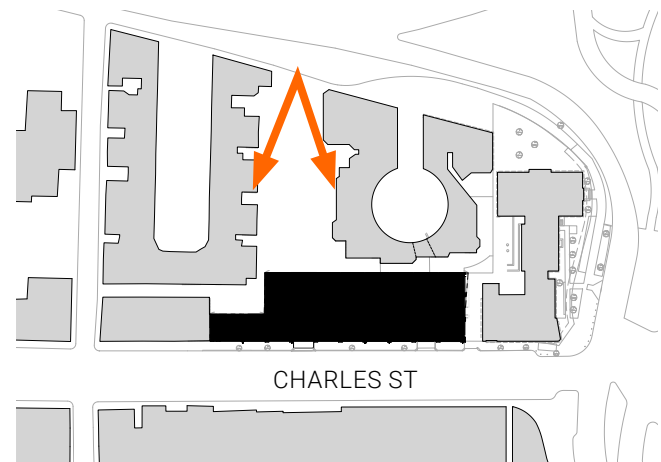


EXISTING VIEW OF CHARLES STREET STOREFRONTS

EXISTING CONDITION



EXISTING VIEW FROM STORROW DRIVE



EXISTING WEST ELEVATION (FACING WEST HILL PLACE, ANNIE FIELDS GARDEN, AND CHARLES RIVER SQUARE)

WEST FAÇADE

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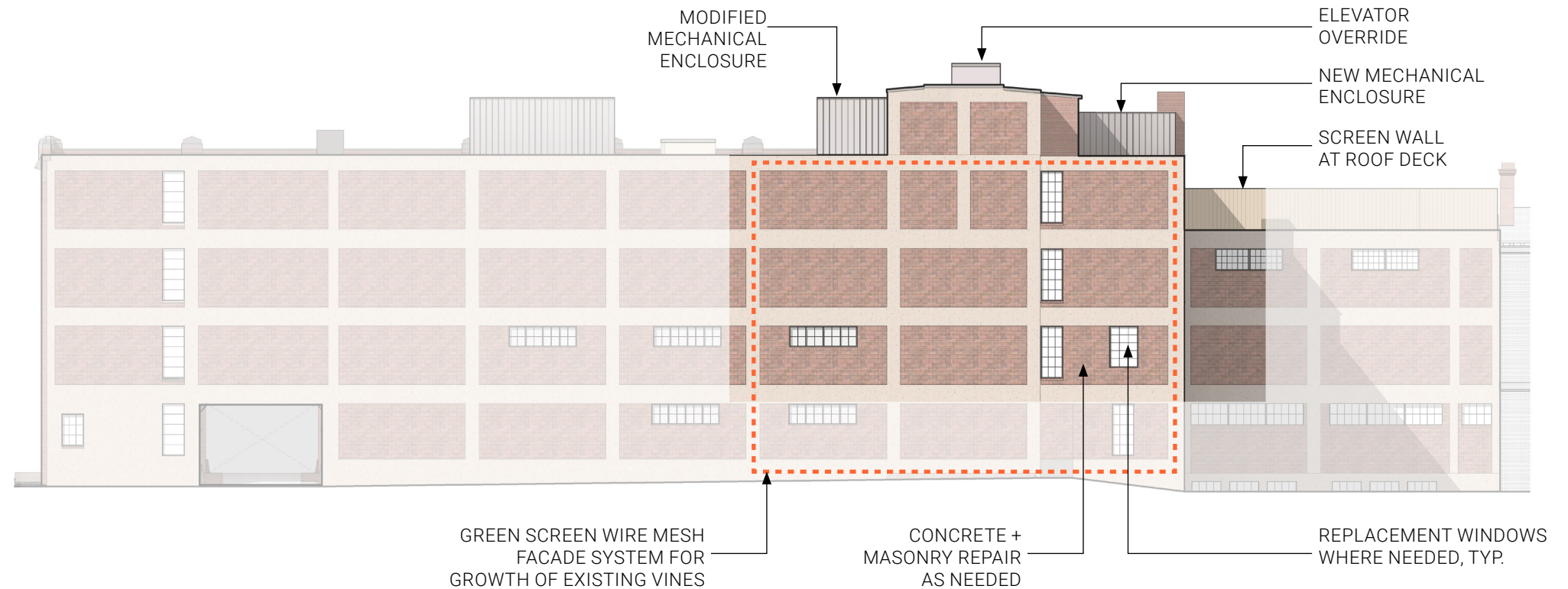
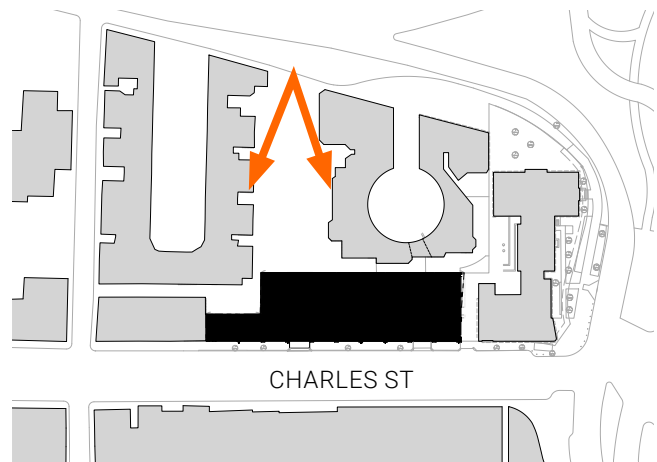
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DESIGN INTENT

- REPLACEMENT WINDOWS WHERE NEEDED TO IMPROVE BUILDING PERFORMANCE
- REPLACEMENT OF FAUX BRICK MECHANICAL ENCLOSURE. ALL ROOF ENCLOSURES TO BE NEW STANDING SEAM METAL TO MATCH TYPICAL EXISTING ENCLOSURES
- ROOF DECK SCREEN WALL REQUESTED BY CHARLES RIVER SQUARE NEIGHBORS FOR PRIVACY
- GREEN SCREEN WIRE MESH FACADE SYSTEM FOR GROWTH OF EXISTING VINES REQUESTED BY CHARLES RIVER SQUARE AND ANNIE FIELDS GARDEN NEIGHBORS.



PROPOSED VIEW FROM STORROW DRIVE (TREES NOT SHOWN FOR CLARITY)



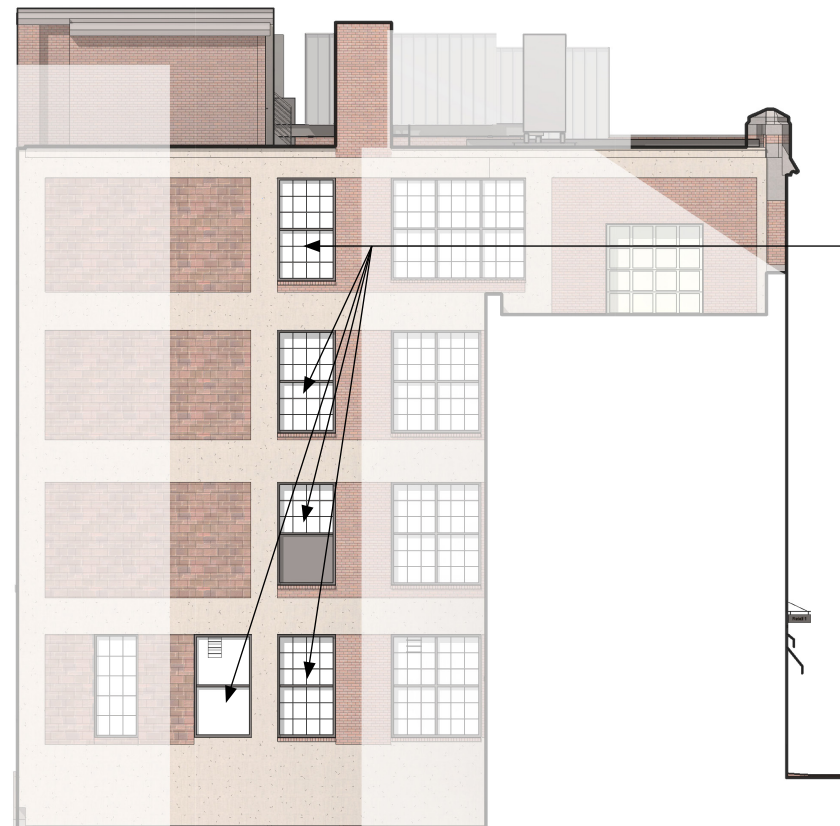
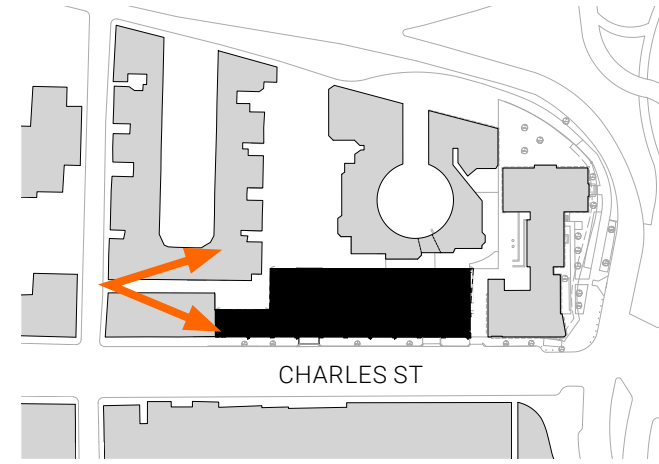
PROPOSED WEST ELEVATION (FACING WEST HILL PLACE, ANNIE FIELDS GARDEN, AND CHARLES RIVER SQUARE)

WEST FAÇADE

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EXISTING CONDITION



EXISTING WINDOWS WITH TRANSLUCENT FILM

EXISTING SOUTH ELEVATION

EXISTING VIEW FROM REVERE STREET

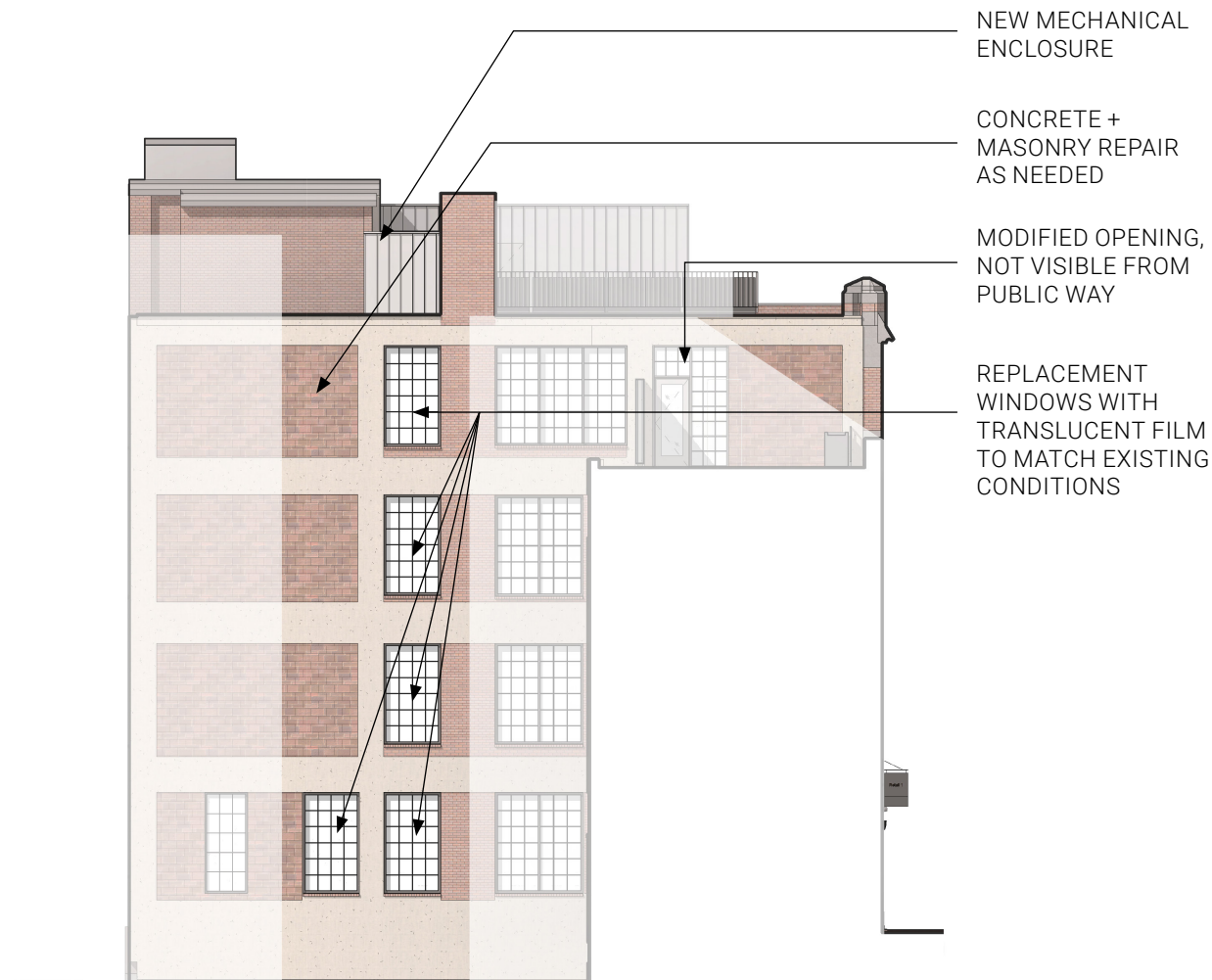
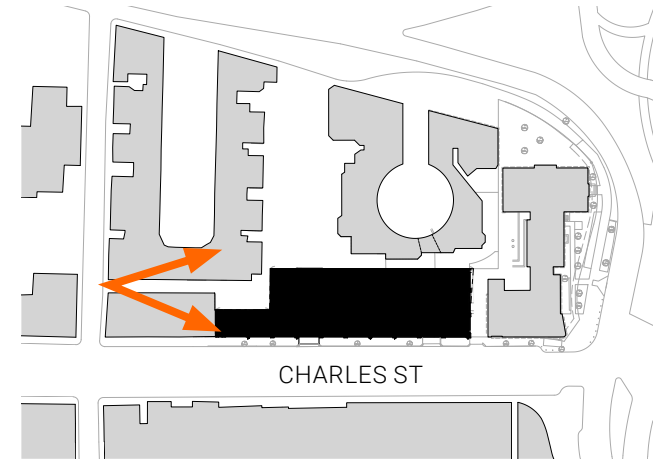
SOUTH FAÇADE

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DESIGN INTENT

- REPLACEMENT WINDOWS WHERE NEEDED TO IMPROVE BUILDING PERFORMANCE
- MECHANICAL SCREEN REQUESTED BY CHARLES RIVER SQUARE NEIGHBORS FOR PRIVACY
- NEW ROOF ENCLOSURE TO BE NEW STANDING SEAM METAL TO MATCH EXISTING ENCLOSURES
- MODIFIED OPENING TO LEVEL 4 ROOF, NOT VISIBLE FROM PUBLIC WAY

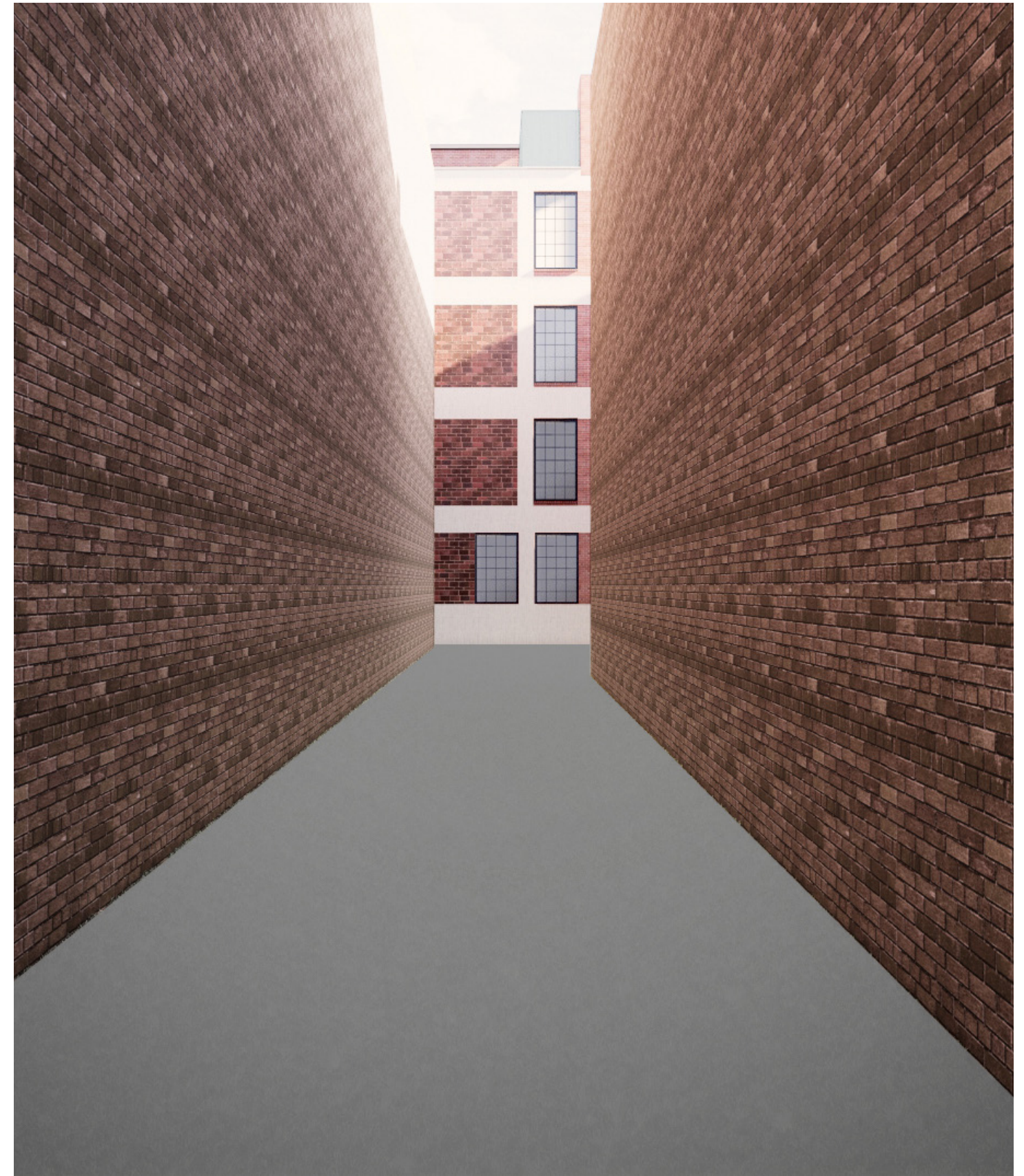


PROPOSED SOUTH ELEVATION

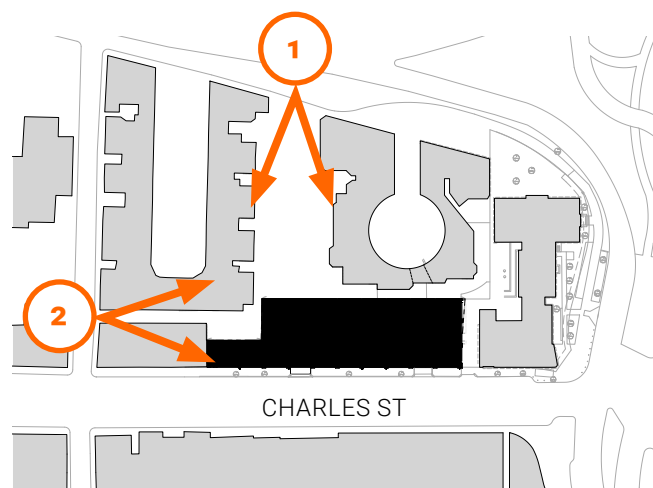
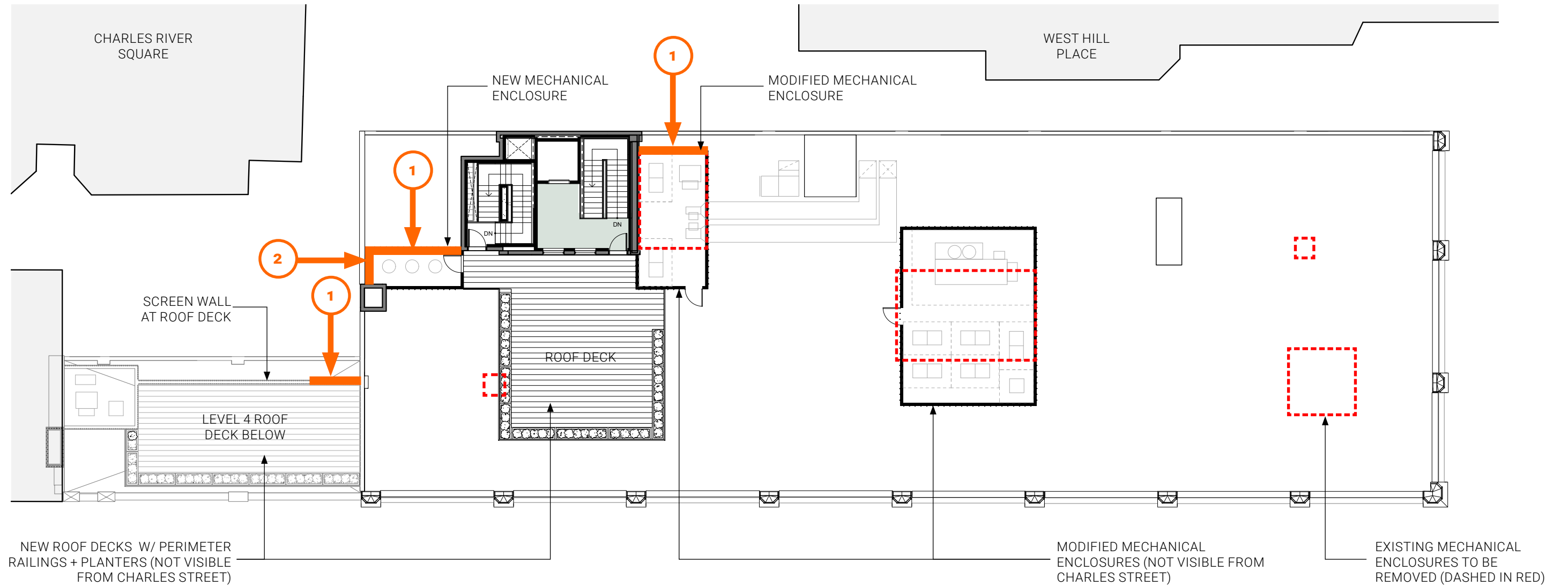
SOUTH FAÇADE

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PROPOSED VIEW FROM REVERE STREET



DESIGN INTENT

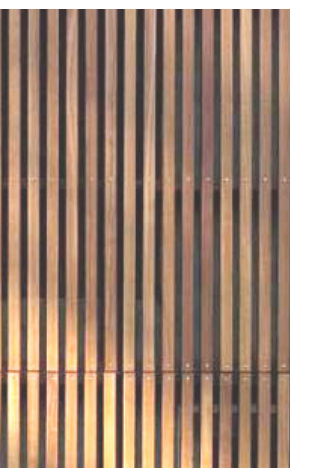
- REPLACEMENT OF FAUX BRICK MECHANICAL ENCLOSURE. ALL ROOF ENCLOSURES TO BE NEW STANDING SEAM METAL TO MATCH TYPICAL EXISTING ENCLOSURES
- MAINTAIN VIEW CORRIDORS FROM WEST HILL PLACE
- ROOF DECK SCREEN WALL REQUESTED BY CHARLES RIVER SQUARE NEIGHBOR FOR PRIVACY



Existing faux brick to be replaced



Whitney Hotel vertical standing seam metal clad roof mechanical screen precedents



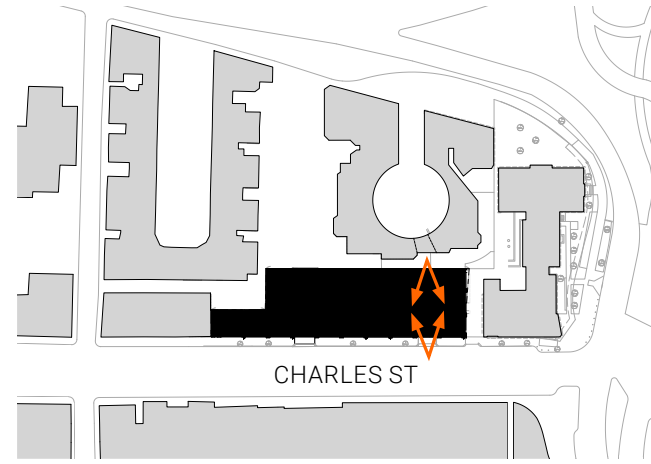
Wood slat privacy screen precedent

ROOF

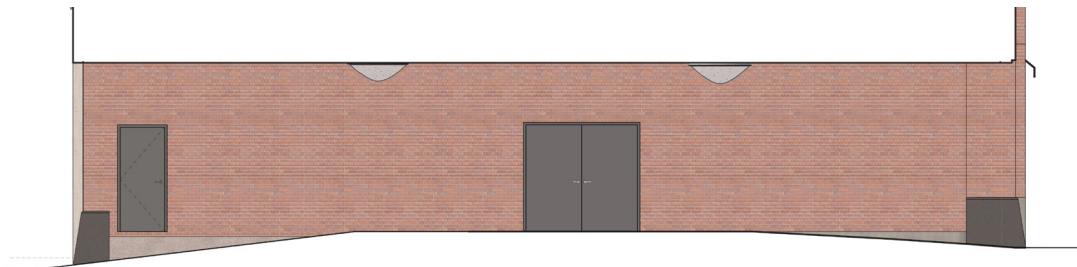
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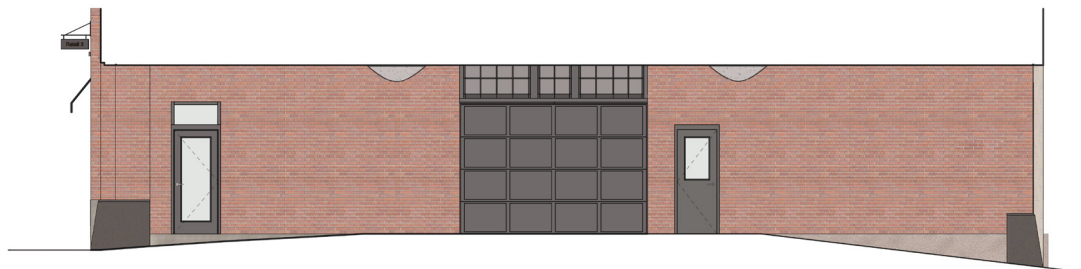
EXISTING CONDITION



EXISTING VIEW LOOKING WEST



EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING VIEW LOOKING EAST

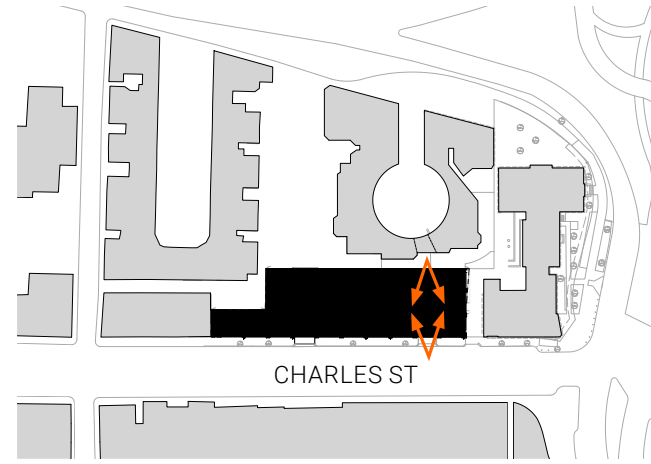
PASSAGE

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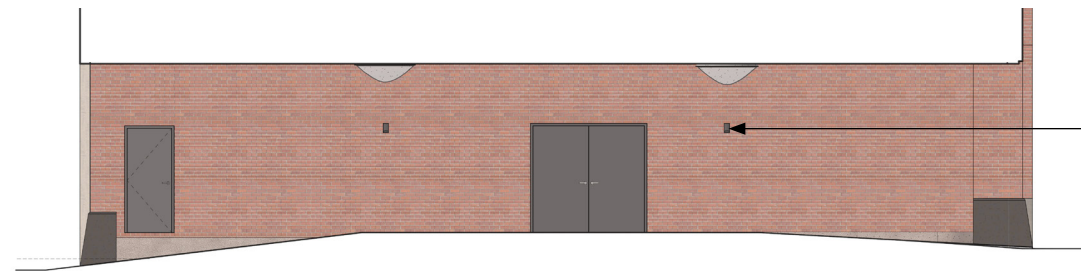
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DESIGN INTENT

- RESURFACING AT SERVICE DRIVE WITH BROOM-FINISHED CONCRETE PAVING
- ADDED EGRESS DOOR AND LOUVERS TO ACCOMODATE CHANGE OF USE
- BRICK WALKWAYS FOR PEDESTRIANS WITHIN PASSAGE
- CONTINUITY OF CHARLES STREET BRICK SIDEWALK GIVEN REDUCED VEHICULAR TRAFFIC
- IMPROVED CEILING SURFACE WITH DIRECT-APPLIED EXTERIOR FINISH STUCCO AND LIGHTING

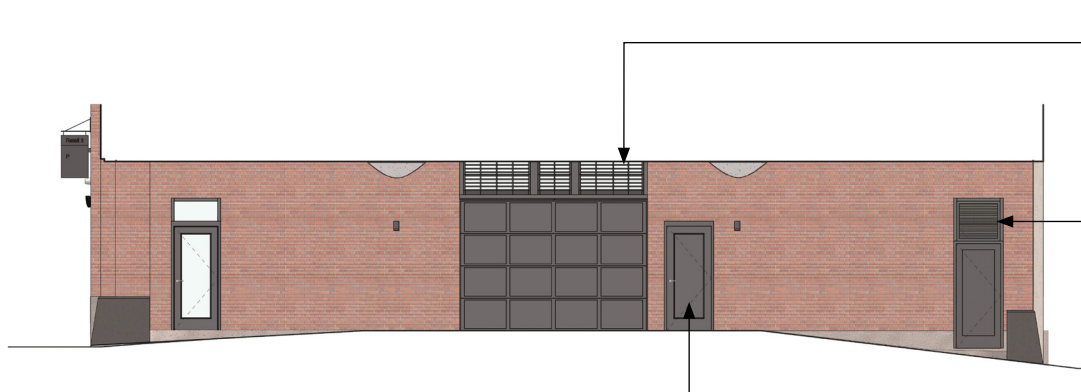


PROPOSED VIEW LOOKING WEST



NEW SCNCE
DOWNLIGHT, TYP. (4)
LOCATIONS

PROPOSED SOUTH ELEVATION



NEW LOUVERED TRANSOM
FOR RETAIL 2+3 BATHROOM
EXHAUST + TRANSFORMER
ROOM EXHAUST

NEW TRANSFORMER
ROOM EGRESS DOOR WITH
LOUVERED TRANSOM FOR
TRANSFORMER ROOM INTAKE

NEW TRANSFORMER ROOM
EGRESS DOOR IN EXISTING
OPENING

PROPOSED NORTH ELEVATION

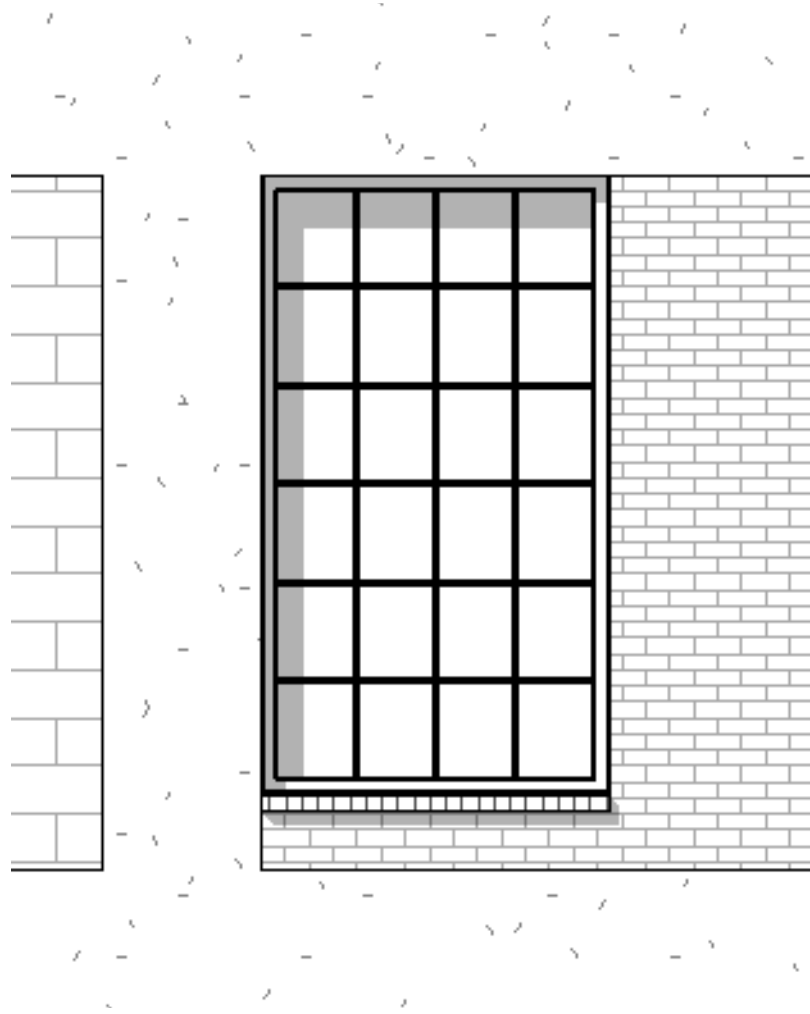


PROPOSED VIEW LOOKING EAST

PASSAGE

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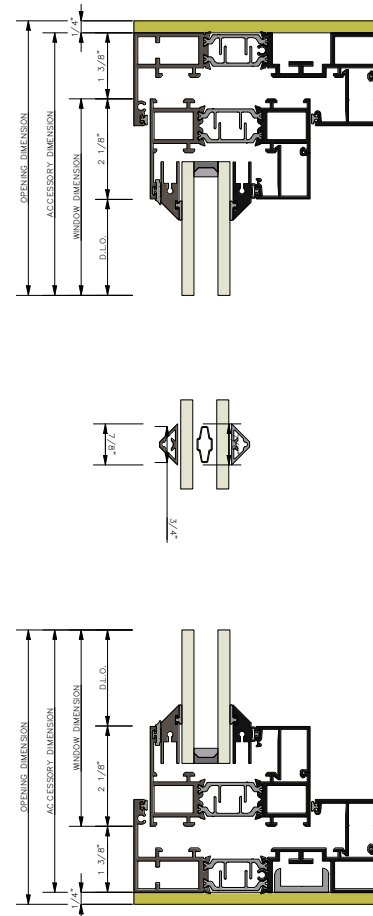
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TYPICAL SOUTH FAÇADE WINDOW

**DETAILS FOR REPLACEMENT WINDOWS
(WHERE NEEDED):**

- STEEL REPLICA ALUMINUM WINDOWS
- DOUBLE PANE INSULATED GLAZING
- SIMULATED DIVIDED LITES W/ HISTORIC REPLICA TRAPEZOIDAL FRAME AND MUNTIN PROFILES
- INTERIOR + EXTERIOR MUNTINS W/ SPACERS BETWEEN GLAZING



Existing windows with translucent film on south facade



Existing damaged window on south facade

WINDOW REPLACEMENTS

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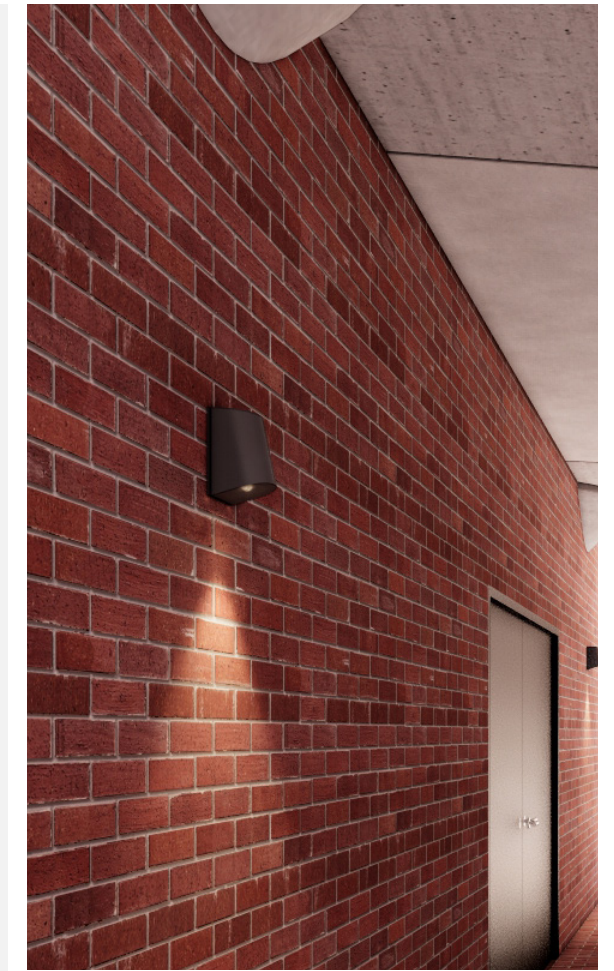
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PROPOSED ENTRY LIGHTING



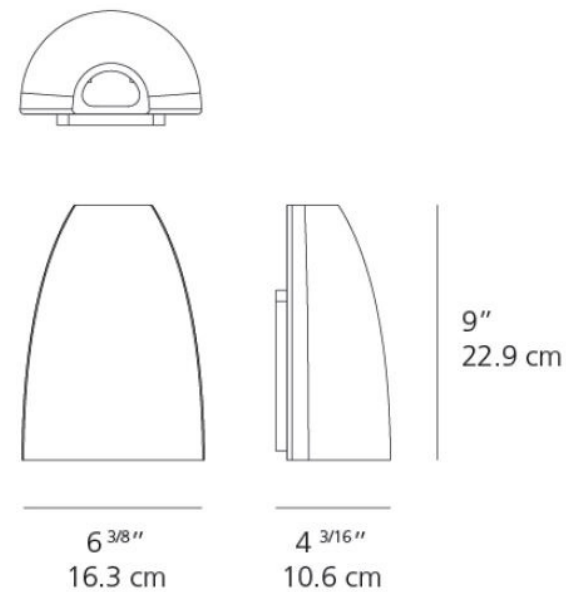
Contrast with Whitney lighting



PROPOSED PASSAGE LIGHTING

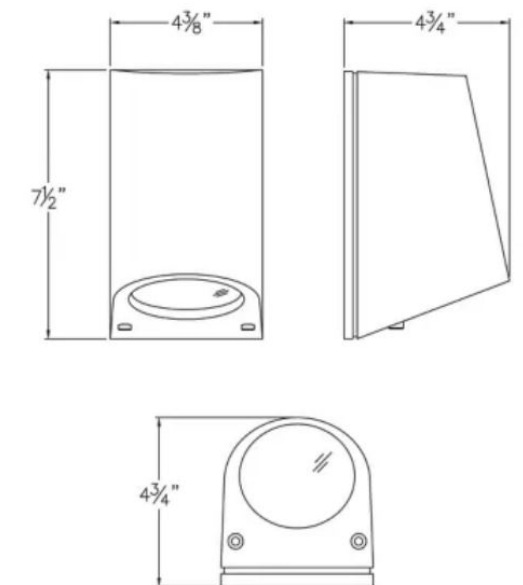
EXTERIOR ENTRY SCONCE:

- ARTEMIDE WALL FIXTURE
- ANTHRACITE GREY ALUMINUM FINISH
- UPPER + LOWER DIFFUSERS IN SILKSREENED TEMPERED GLASS
- 3000K LED
- 13W (10W ARRAY + 3W ARRAY)
- 9'-0" HEIGHT (T.O. STOREFRONT DOORS)



EXTERIOR PASSAGE SCONCE:

- BEGA DIRECTIONAL WALL FIXTURE
- GRAPHITE ALUMINUM FINISH
- 3000K LED
- 15W
- 7'-4" HEIGHT (ALIGNED WITH T.O. EGRESS DOORS)

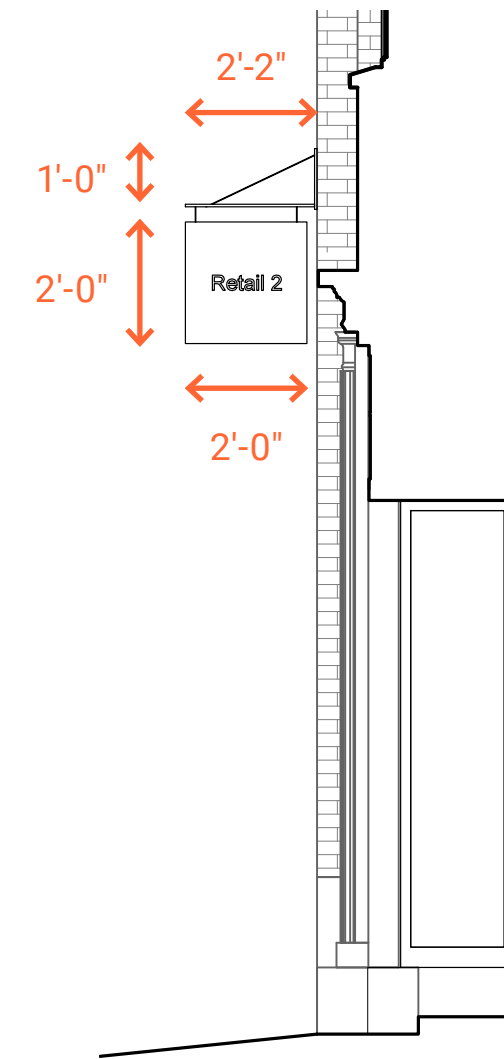


EXTERIOR ENTRY + PASSAGE LIGHTING

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PROPOSED RETAIL BUILDING SIGNAGE + BLADE SIGNAGE



SECTION AT TYPICAL RETAIL ENTRY



Existing retail building signage

RETAIL BUILDING SIGNAGE:

- OVERALL SIZE/PROPORTIONS TO BE STANDARD ACROSS CHARLES STREET FACADE
- PAINTED BLACK WOOD SIGNAGE BOARD W/ GOLD TRIM
- LOGO AND LETTERING BY TENANT
- REMOVE EXISTING GOOSE NECK LIGHTING [CURRENTLY AT SAVENOR'S ONLY]



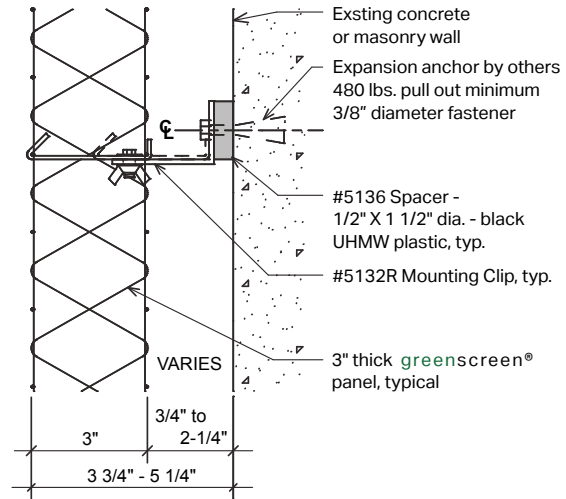
Existing garage blade signage

RETAIL BLADE SIGNAGE:

- BLACK METAL BRACKETS
- ESTABLISH CONSISTENT MOUNTING HEIGHT ACROSS CHARLES STREET FACADE
- PAINTED BLACK WOOD SIGNAGE BOARD
- LOGO AND LETTERING BY TENANT

STOREFRONT SIGNAGE

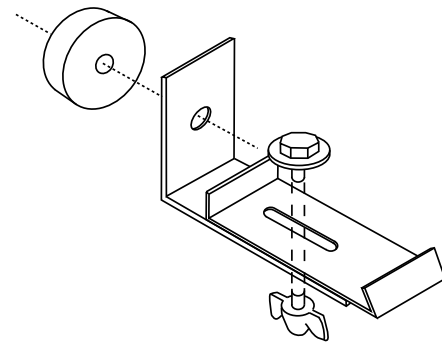
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SECTION



Matte Texture Black



5132R ADJUSTABLE CLIP

The 5132R Adjustable Clip provides panel support for both download and uplift. The clip can mount to wall surfaces or to a steel frame. The slot allows for panel adjustment and ease of installation.

GREEN SCREEN SYSTEM:

- ADDRESSES ABUTTER REQUESTS FOR MAINTAINING IVY AT REAR OF BUILDING
- 3" THICK MODULAR PANELS ANCHORED DIRECTLY TO THE EXISTING MASONRY USING ENGINEERED ATTACHMENT CLIPS
- MATTE TEXTURE BLACK FINISH



Existing view of ivy at west elevation

VINE SYSTEM AT WEST FAÇADE

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THANK YOU