

14 HOLYOKE STREET



14 HOLYOKE STREET SITE LOCATION & SITE PLAN





DESCRIPTION OF PROPOSED WORK

1. Clean, repair and repoint existing brick masonry facades, cornices, and chimneys, as required.
2. Repair and repaint existing brownstone decoration, lintels, and sills as required.
3. Repair and repaint existing wood cornices, corbels and trims as required.
4. Repair and restore existing front stoop as required.
5. Repair and repaint existing railings at front stoop as required.
6. Repair and repaint existing overhang, corbels and trim at entry as required.
7. Repair and restore existing front entry door, glass transom, and door hardware.
8. Repair and repaint existing door at side entry as required.
9. Fill-in existing lot-line window at side-entry. Toothed-in brick to match existing.
10. Repair and restore existing wood frame windows as required.
11. Install new '2 over 2' wood windows in existing dormer window locations. Refer to attached drawings.
12. Repair and restore existing trim at doors and windows.
13. Replace existing storm windows with new storm windows. Color to match existing.
14. Remove existing security bars at windows.
15. Replace existing gutter and downspouts. Color to match existing.
16. Repair and restore existing iron fence.
17. Install new A/V intercom system at front entry return.
18. Install new hanging pendant at entry to match surrounding context.
19. Construct new roof deck and headhouse. Refer to attached drawings.
20. Existing slate tile roofing to be repaired in kind.
21. Repair (1) lightwell at garden level with access to street level. Refer to attached drawings.



FACADE

PROVIDE DETAILS/SCOPE OF MASONRY REPAIRS - METHODS AND MATERIALS :

Masonry Cleaning.

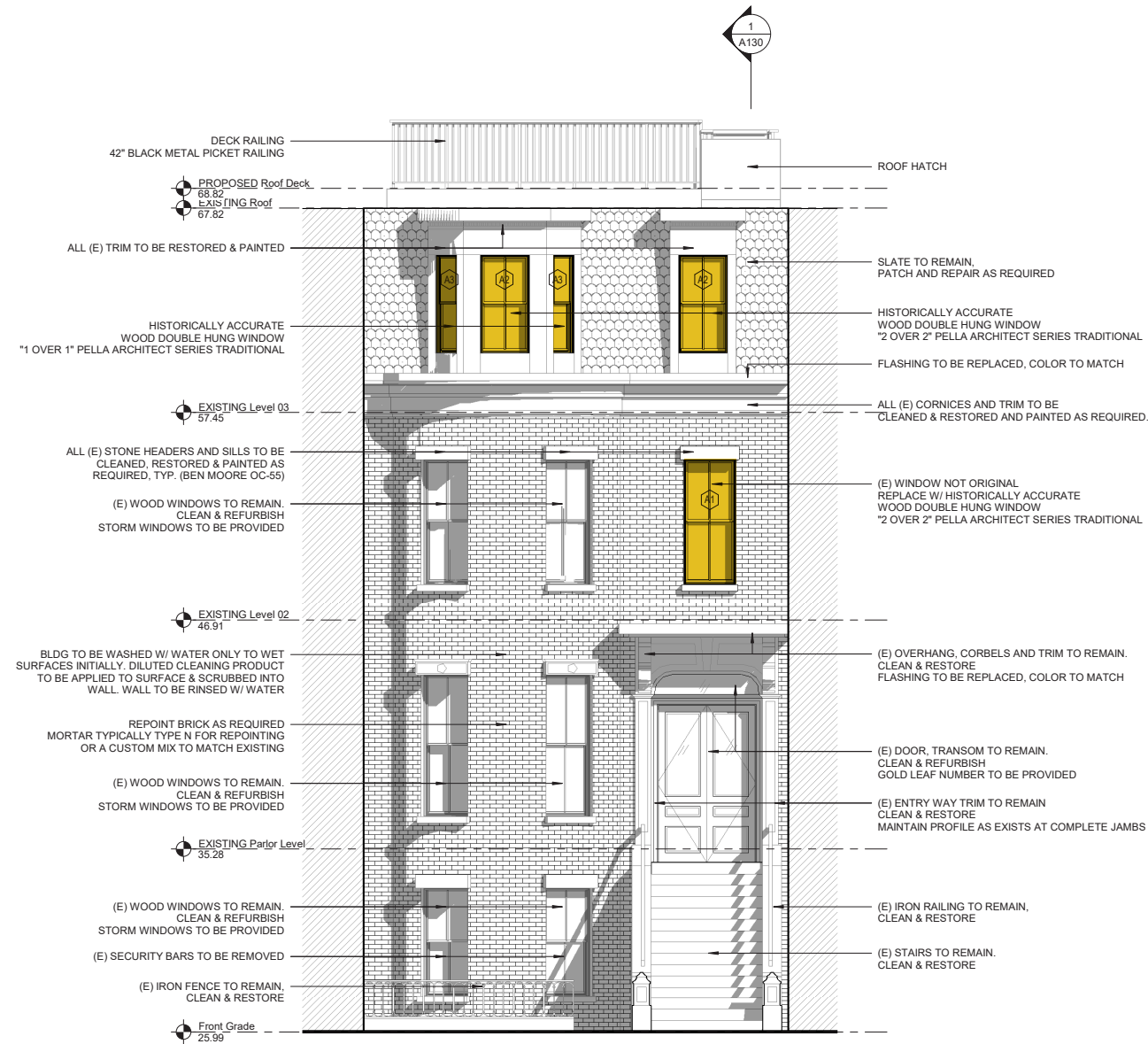
- Sample cleaning of discreet locations using various means and methods including different products to be completed and reviewed in advance.
- Typically use Proso-co family of cleaning products varying from mild to stronger cleaners depending on requirements of the project and results achieved.
- Building to be washed down with water only to wet surfaces initially. Diluted cleaning product (dilution rates to be determined during sample phase) to be applied to surface and scrubbed into wall. Wall to be rinsed with water. No power washing to be used.

Repointing.

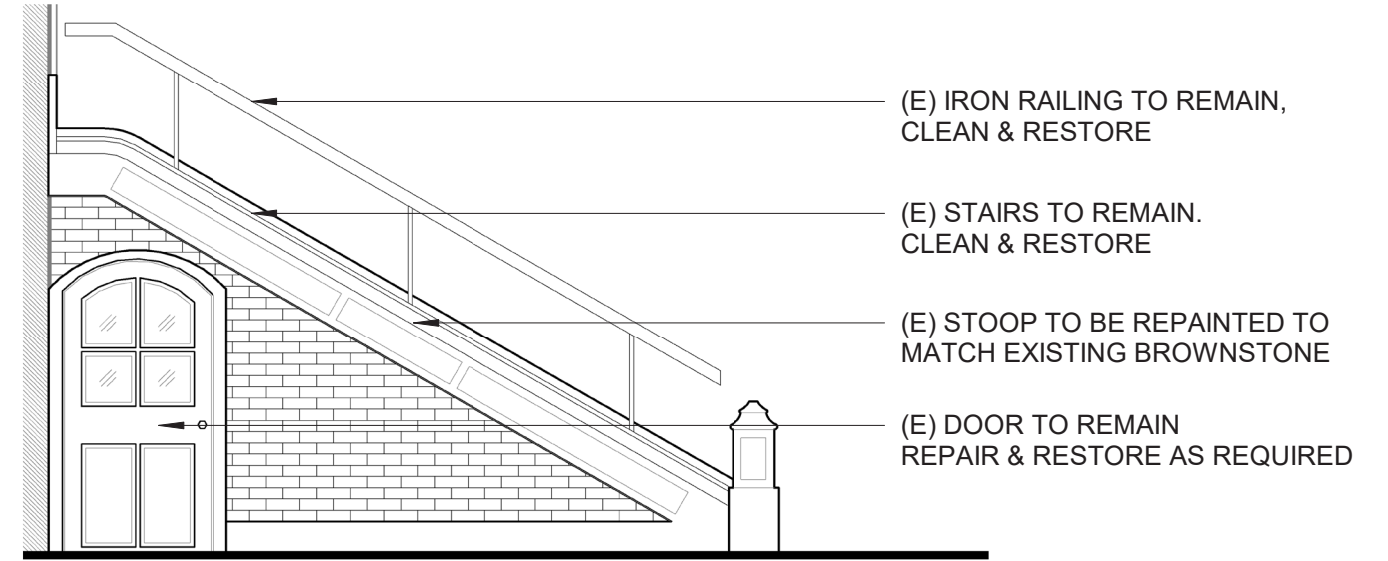
- Typically, we complete samples of repointing for review and approval of color and finish.
- Existing mortar joints to be cut out using a combination of mechanical grinders and hand tools to complete head joints.
- Mortar typically Type N for repointing or a custom mix to match existing.

Brownstone Repair

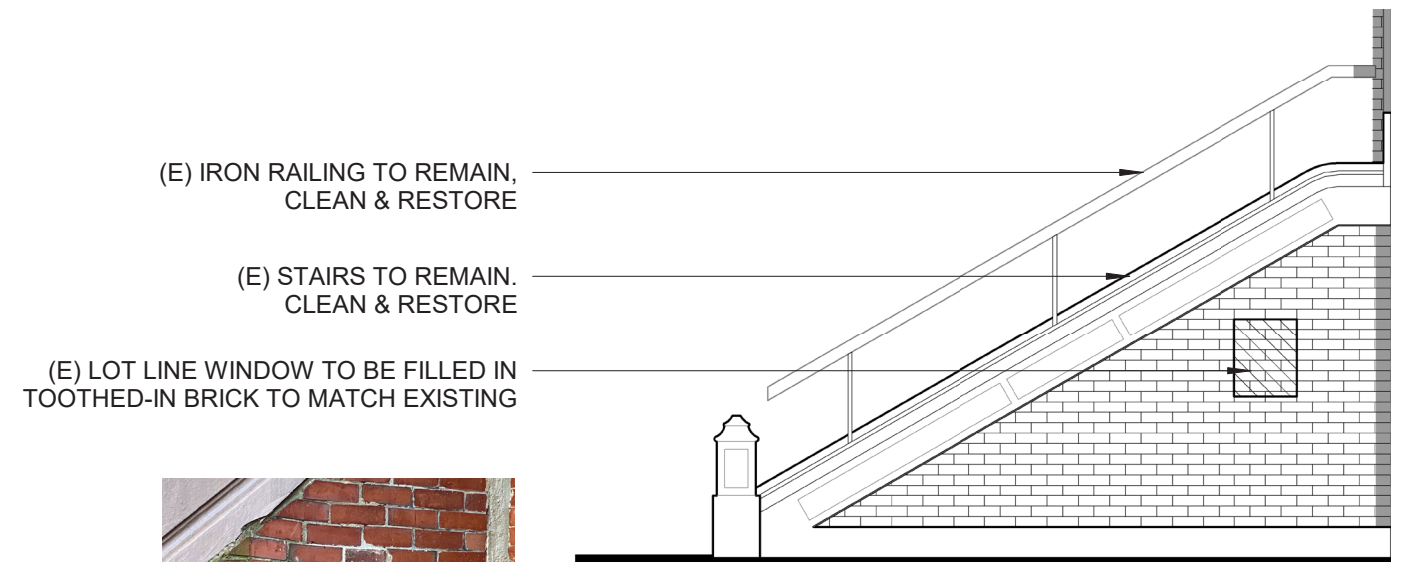
- Brownstone to be cut back to stable material and replaced with concrete/stucco mix and brownstone coat.



FRONT ELEVATION



SIDE DOOR ELEVATION



WINDOWS



FRONT ENTRY DOOR

- EXISTING FRONT ENTRY DOOR AND TRANSOM TO BE RESTORED & REPAINTED W/ NEW GOLD LEAF STREET NUMBER
- EXISTING TRANSOM GLASS INFILL TO BE CLEANED

SIDE ENTRY DOOR

- EXISTING SIDE ENTRY DOOR TO BE RESTORED & REPAINTED

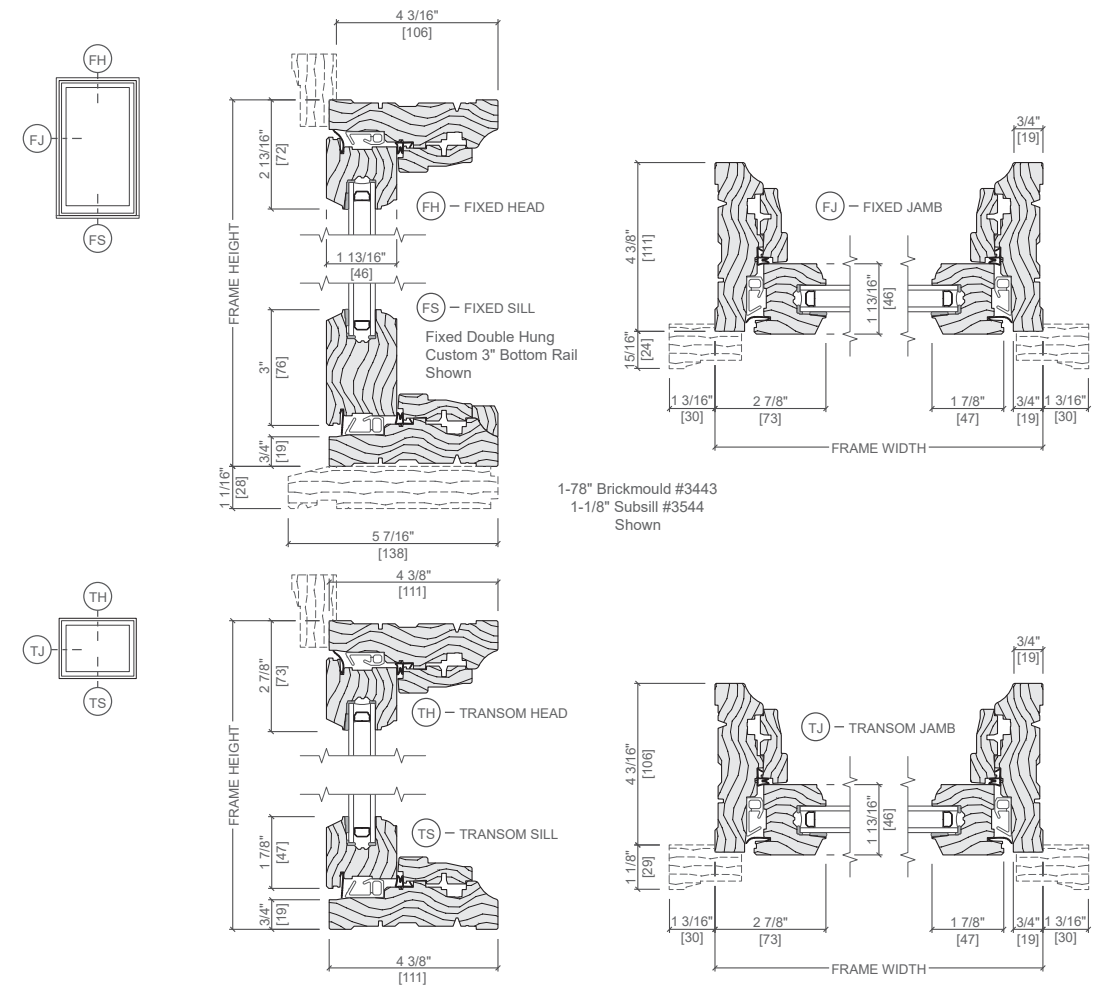
WINDOWS

- EXISTING (ORIGINAL) WOOD FRAME WINDOWS TO BE RESTORED
- EXISTING MISMATCHING REPLACEMENT WINDOWS TO BE REPLACED W/ HISTORICALLY ACCURATE WOOD DOUBLE HUNG WINDOW, "2 OVER 2" AND "1 OVER 1" PELLA ARCHITECT SERIES TRADITIONAL
- EXISTING MISMATCHING STORM WINDOWS TO BE REPLACED W/ NEW STORM WINDOWS. COLOR TO MATCH EXISTING.

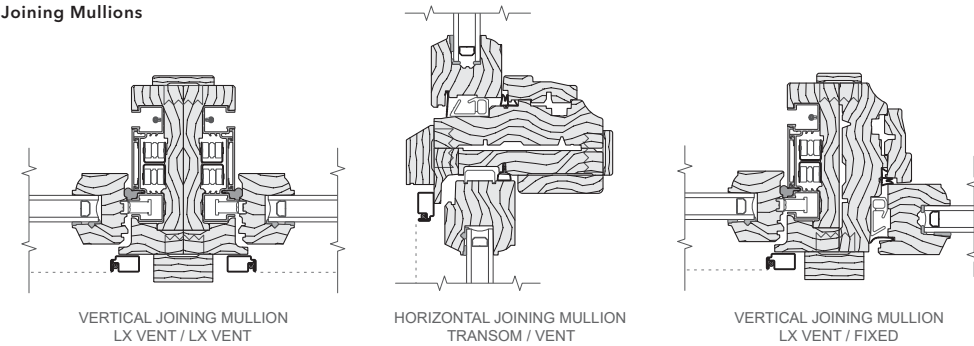


Architect Series® Traditional Hung Window

Unit Sections - Wood Exterior Putty Glaze Exterior Profile



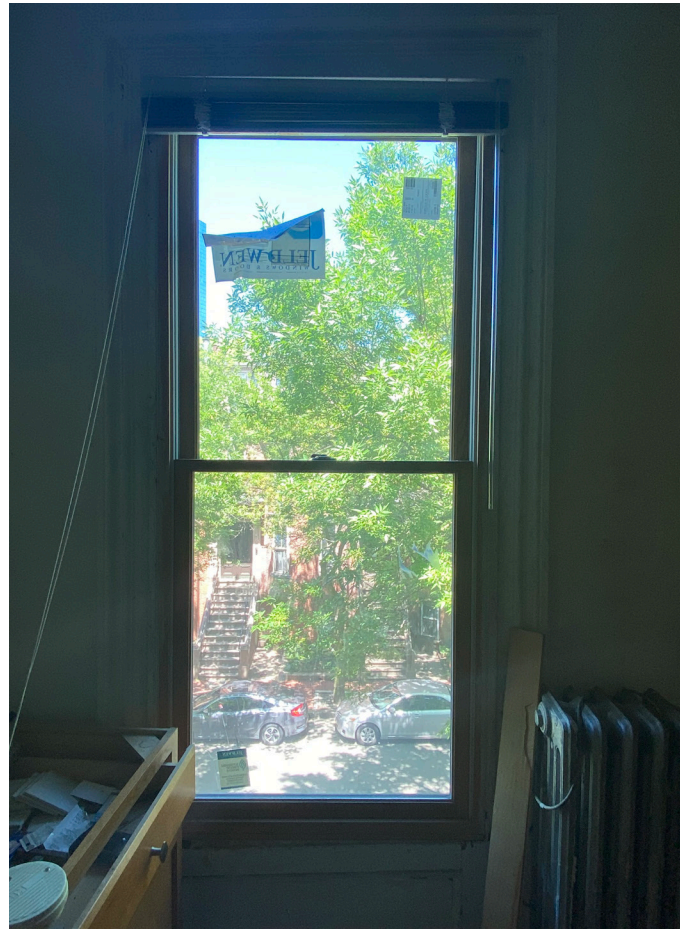
Typical Joining Mullions



Scale 3" = 1' 0"

All dimensions are approximate.

See Combinations Section for mullion limitations and reinforcing requirements.



LEVEL 02
WINDOW

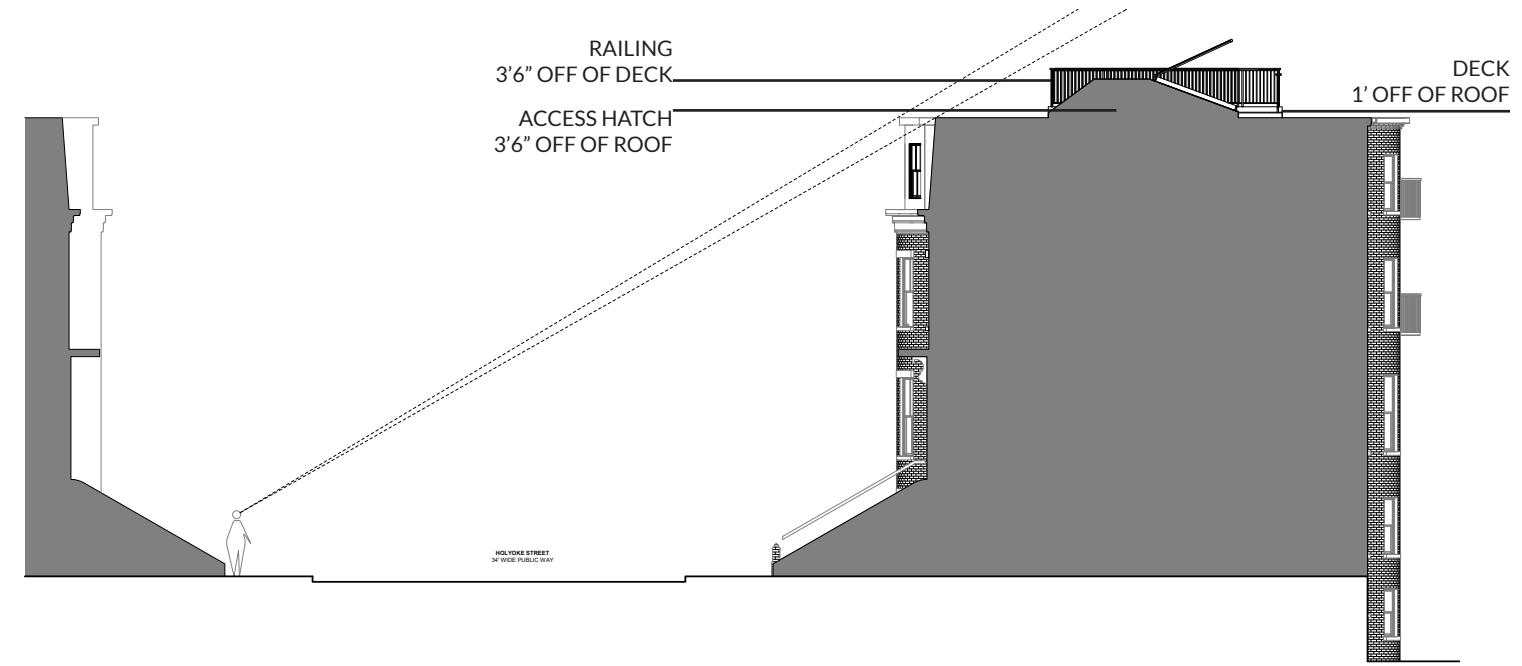
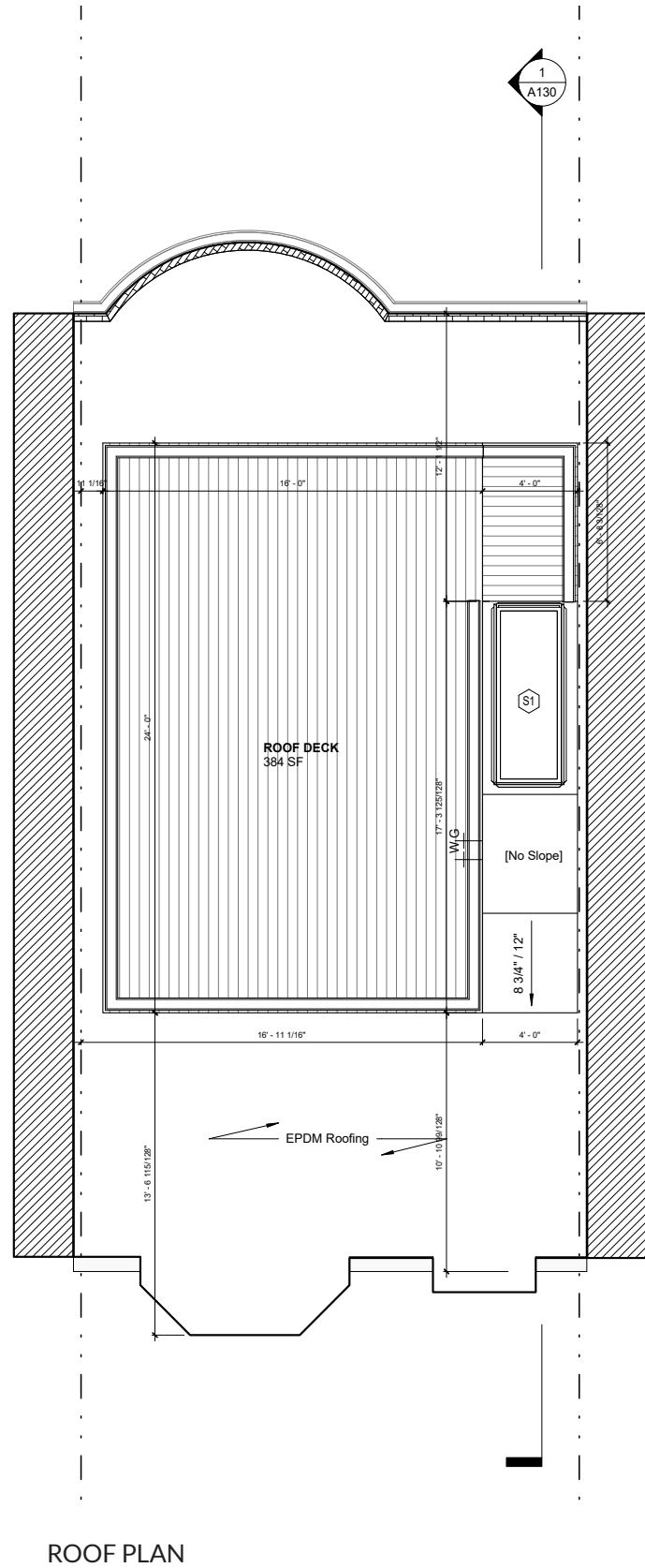


LEVEL 03
BAY WINDOWS

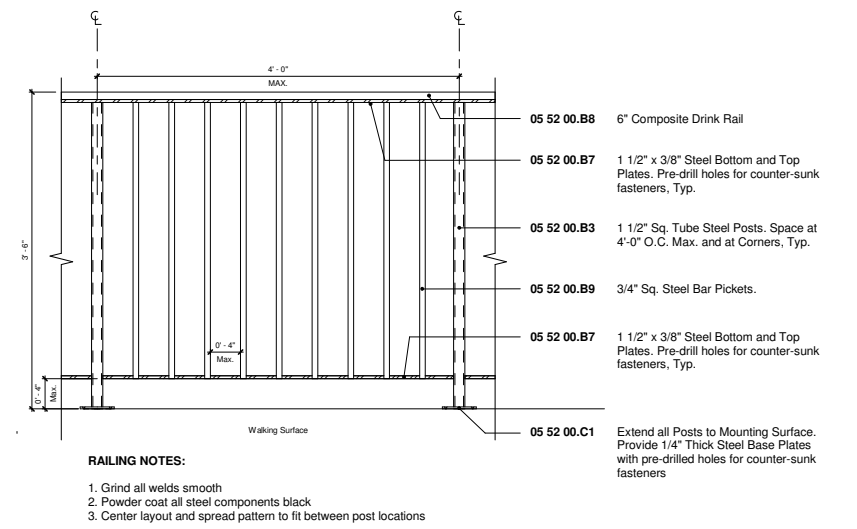


14 HOLYOKE STREET ROOF DECK

Deck will be composite decking with black metal picket railing 3'6" off of deck.
Deck is positioned towards back of building to ensure deck railing can not be seen from street.
See additional details on the following page.



SIGHT LINE SECTION



RAILING ELEVATION
@ ROOF DECK



LIGHTWELL

RESTORE ORIGINAL LIGHTWELL AT GARDEN LEVEL

