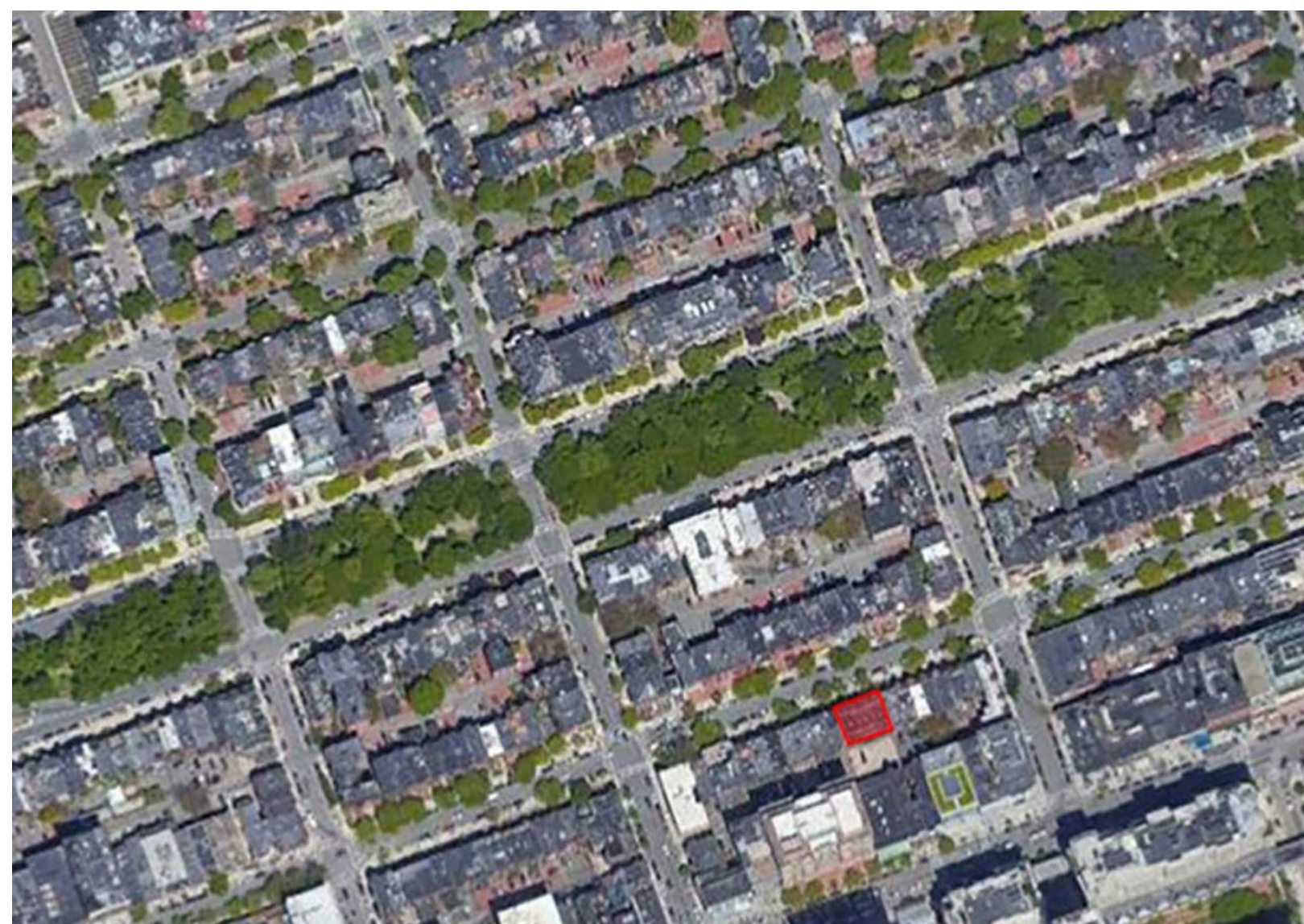


256 - 260 NEWBURY STREET

CHEVRON PARTNERS



Sheet List	
Sheet Number	Sheet Name
0	COVER
1A	EXISTING BUILDING PHOTOS
1B	EXISTING BUILDING PHOTOS
2	SITE PLAN
3	NORTH ELEVATION
4	SOUTH ELEVATION
5	ENLARGED PENTHOUSE ELEVATIONS
6	SIGHT LINE SECTION
7	ENLARGED TERRACE PLAN
8	ENLARGED NORTH ELEVATION AT DIG-OUT
9	ENLARGED SECTION AT DIG-OUT



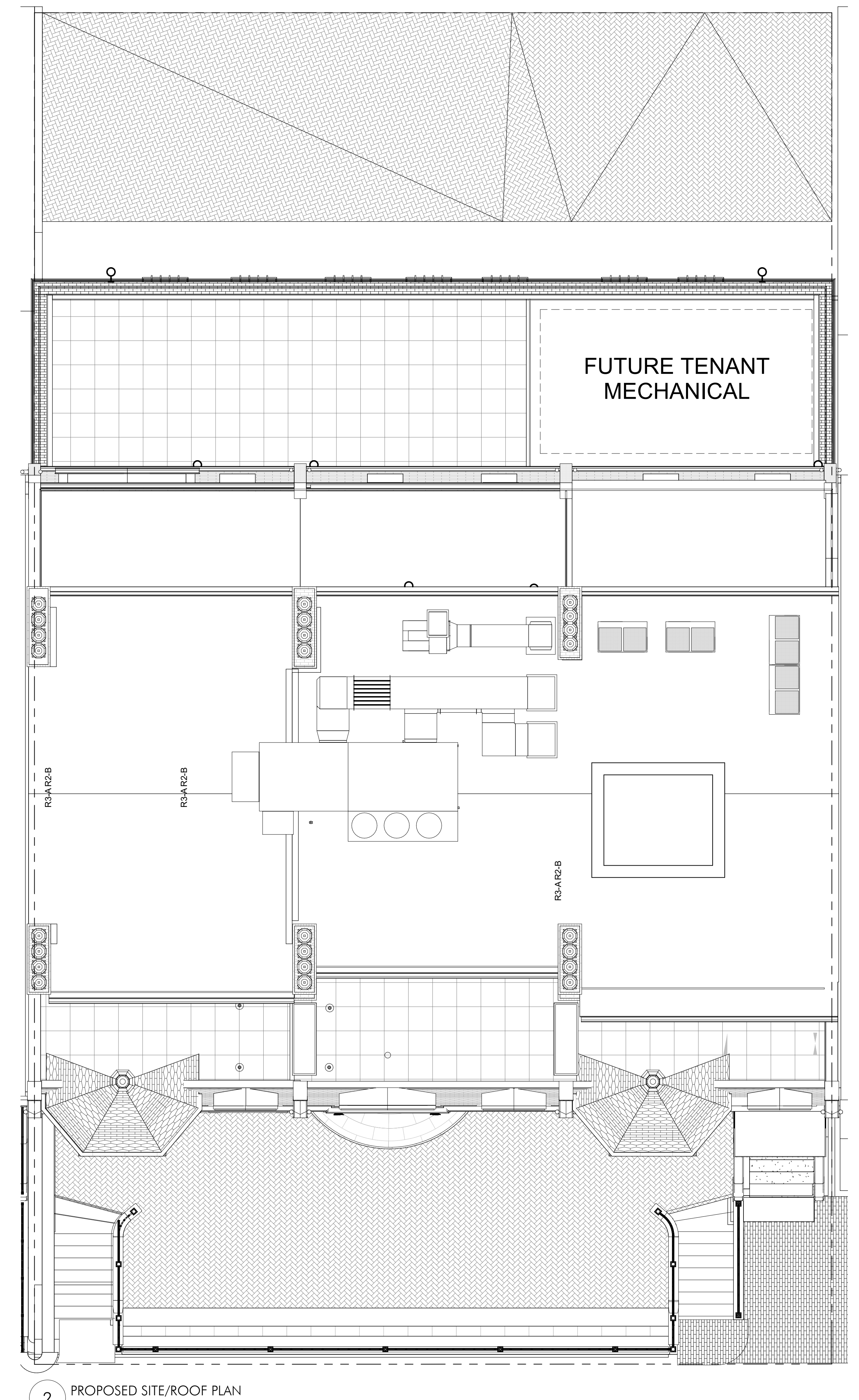
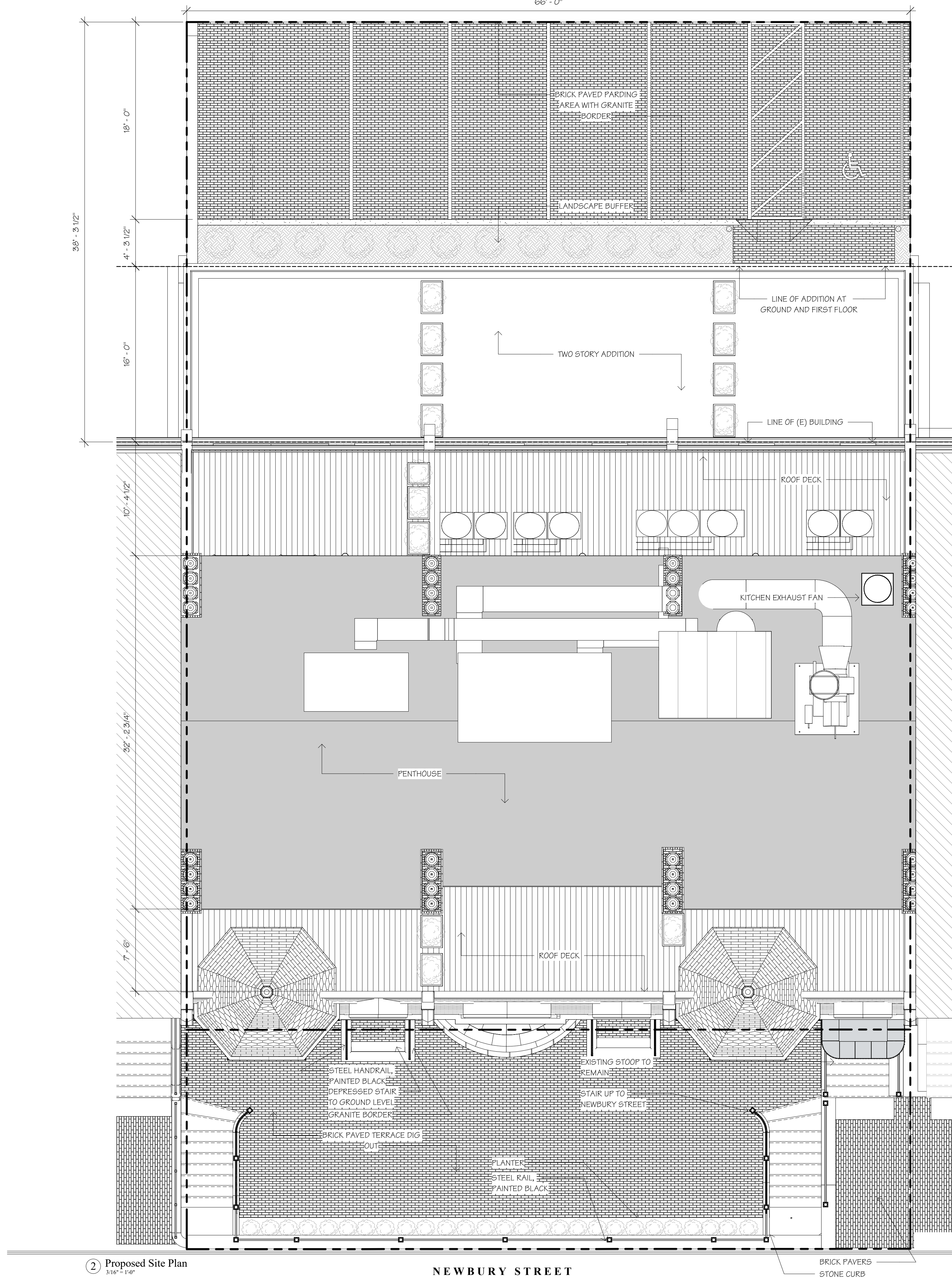
NEWBURY STREET FACADE

EXISTING BUILDING PHOTOS



PUBLIC ALLEY FACADE

EXISTING BUILDING PHOTOS



SITE PLAN



- ### Restoration Notes
1. RESTORATION SUB CONTRACTORS TO CONSULT WITH ARCHITECT ABOUT ALL FLASHING DETAILS PRIOR TO WORK BEING EXECUTED
 2. IN ALL AREAS WHERE BLOCKING IS EXPOSED AND DRY ROT IS PRESENT DUE TO CORROSION, REPAIR OR REPLACE BLOCKING AS REQUIRED - SUB CONTRACTORS TO CONSULT WITH ARCHITECT PRIOR TO WORK BEING EXECUTED
 3. STEEL FIRE ESCAPES (AND ASSOCIATED HARDWARE) SHALL BE REMOVED IN THEIR ENTIRETY FROM THE REAR OF THE BUILDING UNLESS WHERE NOTED OTHERWISE, PATCH AND REPAIR BRICK MASONRY TO MATCH EXISTING AS REQD
 4. REMOVE FRONT YARD STEEL RAILS
 5. BRICK MASONRY IN FRONT AND REAR TO BE CLEANED AS RECOMMENDED BY THE U.S. PARK SERVICE RESTORATION OF HISTORIC BRICK BUILDINGS PROGRESSIVE STRATEGY
 6. ALL STONE TO BE POWER WASHED TO REMOVE ALL LOOSE PAINT.
 7. ALL DAMAGED STONE TO BE REPAIRED (CONSULT WITH ARCHITECT REGARDING METHOD PRIOR TO PERFORMING WORK)
 8. ALL STONE TO BE REPAINTED WITH APPROVED COLOR AND PAINT TYPE
 9. FRONT YARD STONE CURB TO BE REPAIRED (REMOVED RAIL CONNECTION HOLES FILLED) AND/OR COMPONENT STONE REPLACED IN KIND TO MATCH EXISTING.
 10. ALL EXISTING STONE AND BRICK MORTAR TO REMAIN WILL BE REPAINTED WITH A CAPILLARY ACTIVE MORTAR. NEW MORTAR COLOR TO BE APPROVED BY ARCHITECT AND WITH BOARD APPROVAL.
 11. ALL EXISTING, MISSING, DAMAGED COPPER ROOFING, GUTTERS, FLASHING, AND RAIN LEADERS WILL BE REMOVED AND REPLACED, IN KIND, WITH A MINIMUM OF 16 OZ COPPER MATCHING THE ORIGINAL PROFILES
 12. ALL EXISTING AND/OR MISSING STEEL PARTY WALL "RIBS" AND ROOF CAPS TO BE CLEANED AND RESTORED TO THE EXTENT POSSIBLE OR REPLACED, IN KIND, WHERE CORRODED MATCHING THE ORIGINAL PROFILES
 13. ALL MISSING OR DAMAGED SLATE ROOFING TO BE REPLACED, MATERIALLY IN KIND, WITH BOARD APPROVED COLOR MATCH
 14. ALL EXTERIOR DOOR AND WINDOW TRIM MOULDING AND BRICK MOULDING TO BE REFINISHED OR REPLACED (WHERE DAMAGED OR MISSING) WITH PROFILE AND MATERIAL TO MATCH EXISTING, PAINTED
 15. ALL NEW WINDOWS, REFINISHED EXISTING DOORS, NEW DOORS, ALL NEW OR REFINISHED EXTERIOR WOOD MOULDING TO BE PAINTED WITH MATCHING BOARD APPROVED BLACK PAINT AND FINISH TYPE. ANY REQUIRED SYNTHETIC SEALANT COLOR TO MATCH PAINT COLOR.
 16. ANY NEW REQUIRED ITEMS THAT ARE NOT NATIVE TO THE ORIGINAL BUILDING, TO THE EXTENT POSSIBLE, WILL BE REMOVED OR LOCATED OUT OF SIGHT. IN THE CASE OF REQUIRED NEW VISIBLE ITEMS, THE TYPE, LOCATION AND MATERIAL BE WITH BOARD APPROVAL.

-ALL NEW WORK NOTED AS (N)-
 ALL OTHER AREAS TO REMAIN AS EXISTING SUBJECT TO RESTORATION NOTATION
 -SEE ELEVATIONS FOR WINDOW TYPES

**FOR REFERENCE ONLY
 PREVIOUS APPROVED SUBMISSION
 MEYER & MEYER
 JANUARY 2019**

- ELEVATOR HEADHOUSE ROOF
80' - 8"
- PENTHOUSE ROOF
77' - 6 1/2"
- ROOF (FRONT) E
70' - 2 3/8"
- PENTHOUSE
66' - 8 1/2"
- FOURTH FLOOR
56' - 0 1/2"
- THIRD FLOOR
46' - 4 1/2"
- SECOND FLOOR
35' - 6"
- FIRST FLOOR
23' - 10 1/4"
- STREET LEVEL
20' - 2 3/8"
- GROUND FLOOR
14' - 0"
- PATIO LEVEL
13' - 11 1/2"



1 NORTH ELEVATION
1/4" = 1'-0"

NORTH ELEVATION



- ### Restoration Notes
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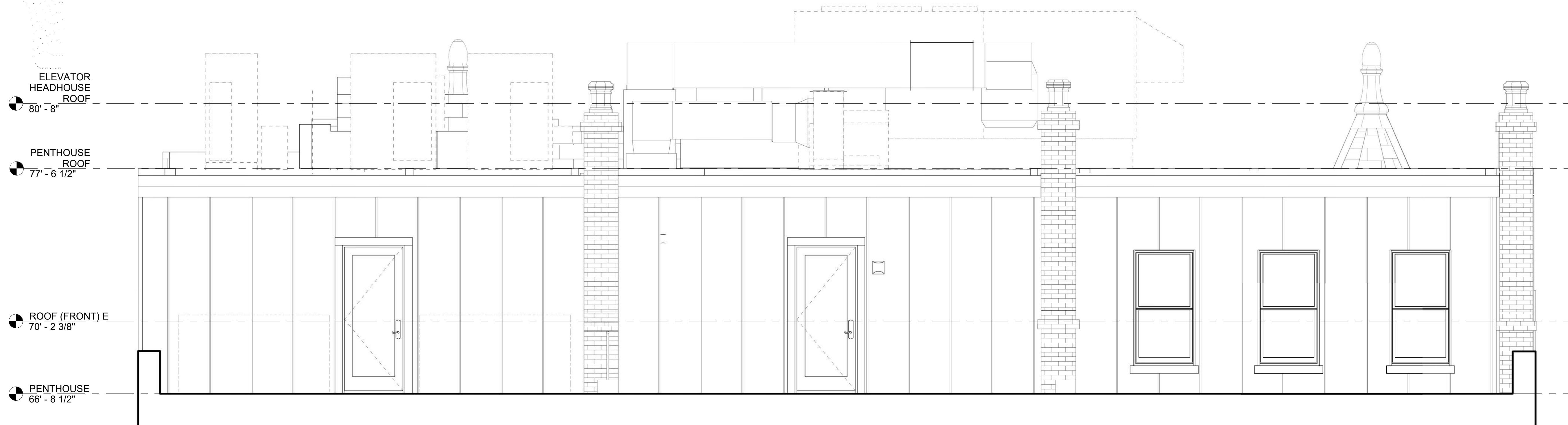
FOR REFERENCE ONLY
PREVIOUS APPROVED SUBMISSION
MEYER & MEYER
JANUARY 2019



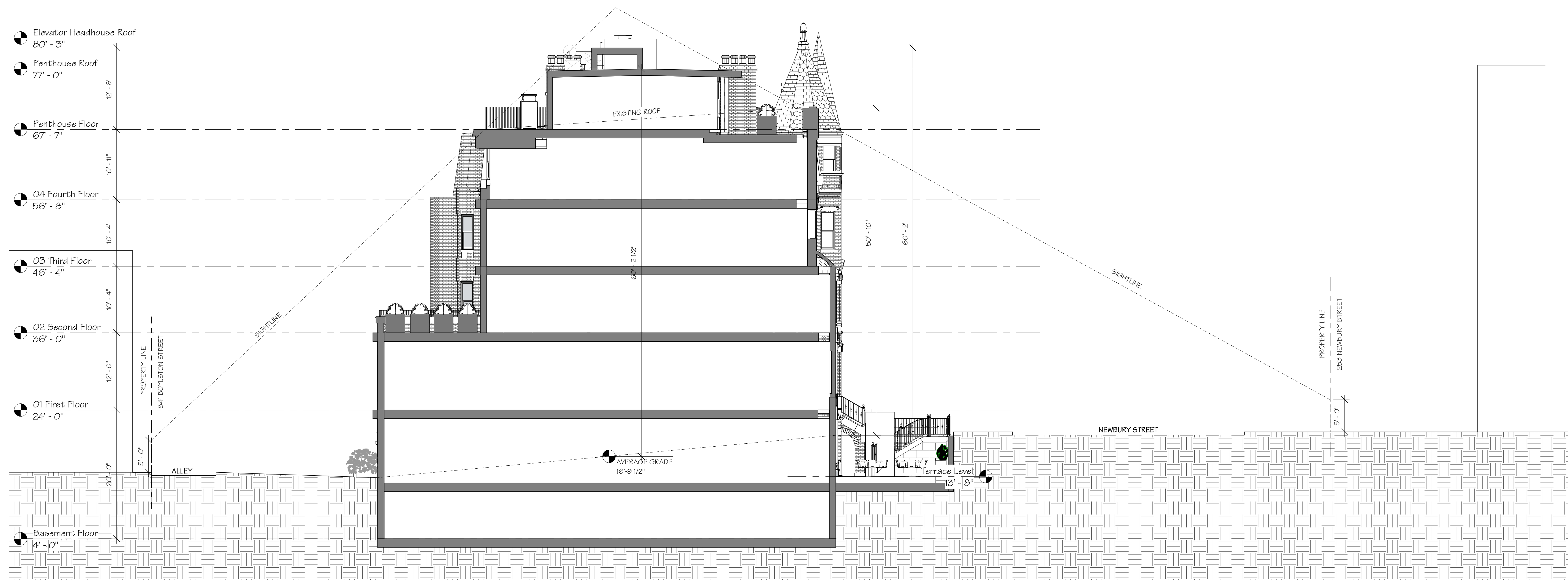
1 SOUTH ELEVATION
1/4" = 1'-0"



1 ENLARGED NORTH ELEVATION - PENTHOUSE
3/8" = 1'-0"



2 ENLARGED SOUTH ELEVATION - PENTHOUSE
3/8" = 1'-0"



FOR REFERENCE ONLY
 PREVIOUS APPROVED SUBMISSION
 MEYER & MEYER
 JANUARY 2019

ELEVATOR
HEADHOUSE
ROOF
80' - 18 3/8"
ROOF
77' - 6 1/2"

ROOF (FRONT) E
70' - 2 3/8"
PENTHOUSE
66' - 8 1/2"

FOURTH FLOOR
56' - 0 1/2"

THIRD FLOOR
46' - 4 1/2"

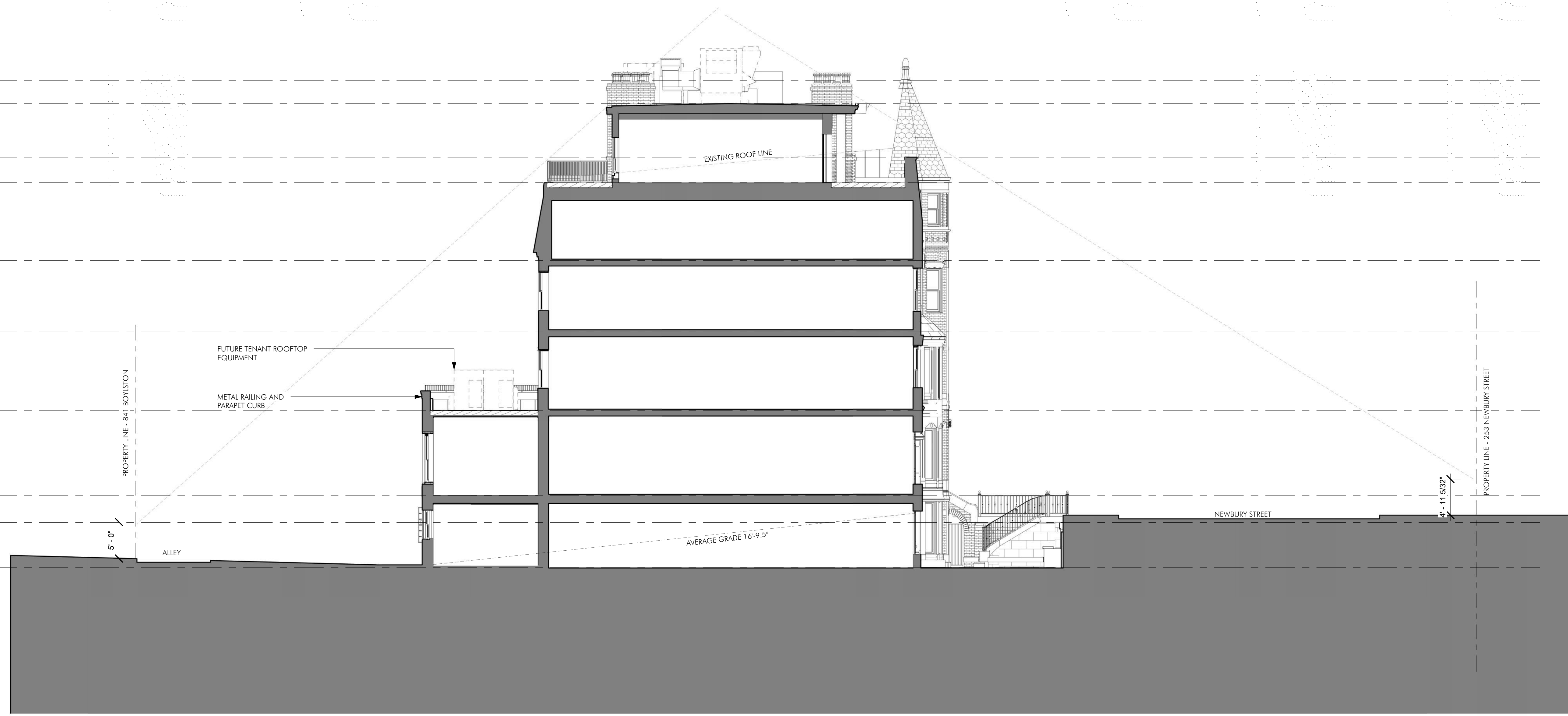
SECOND FLOOR
35' - 6"

FIRST FLOOR
23' - 10 1/4"

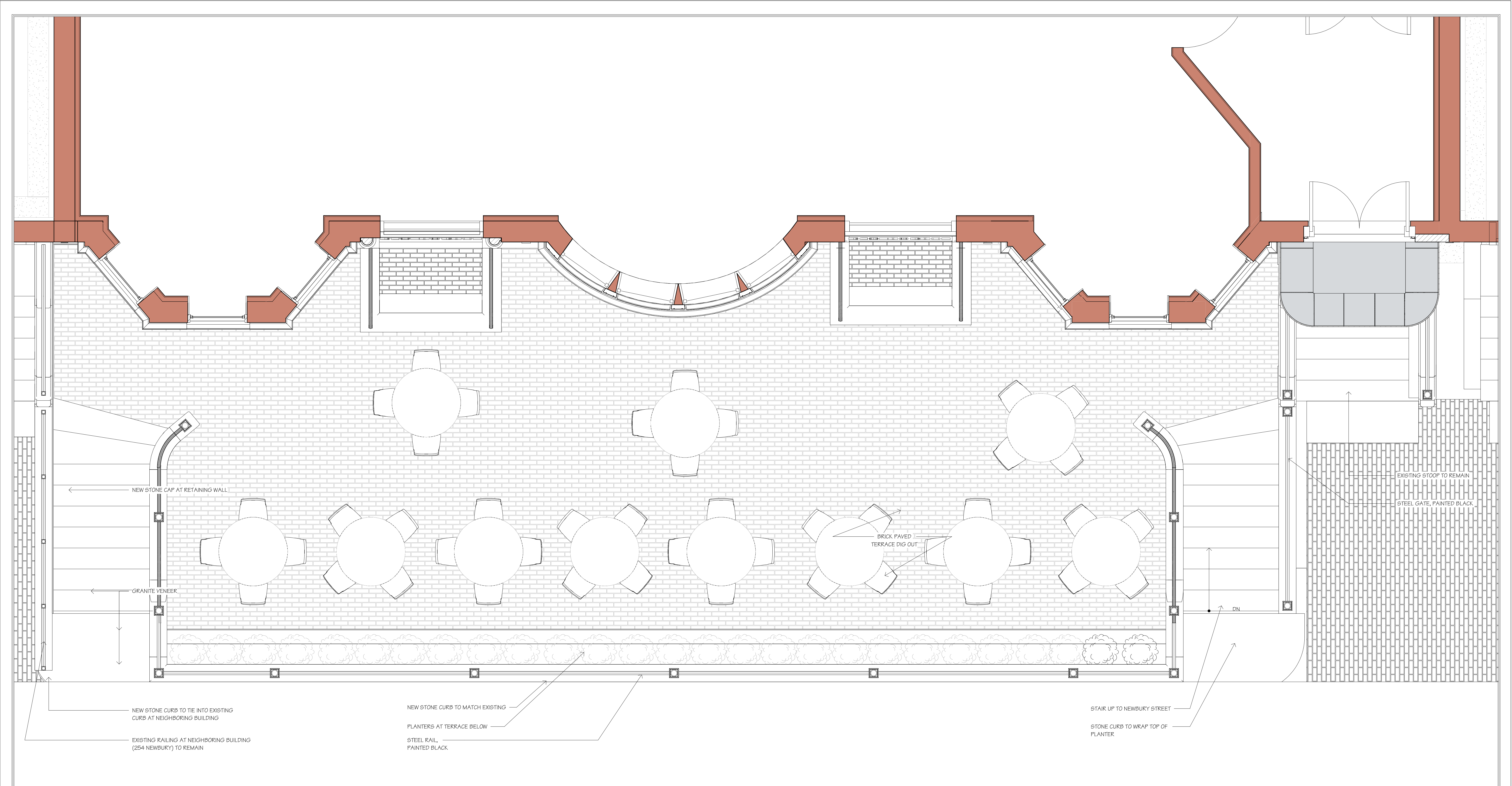
STREET LEVEL
20' - 2 3/8"

GROUND FLOOR
14' - 0"

PATIO LEVEL
13' - 11 1/2"

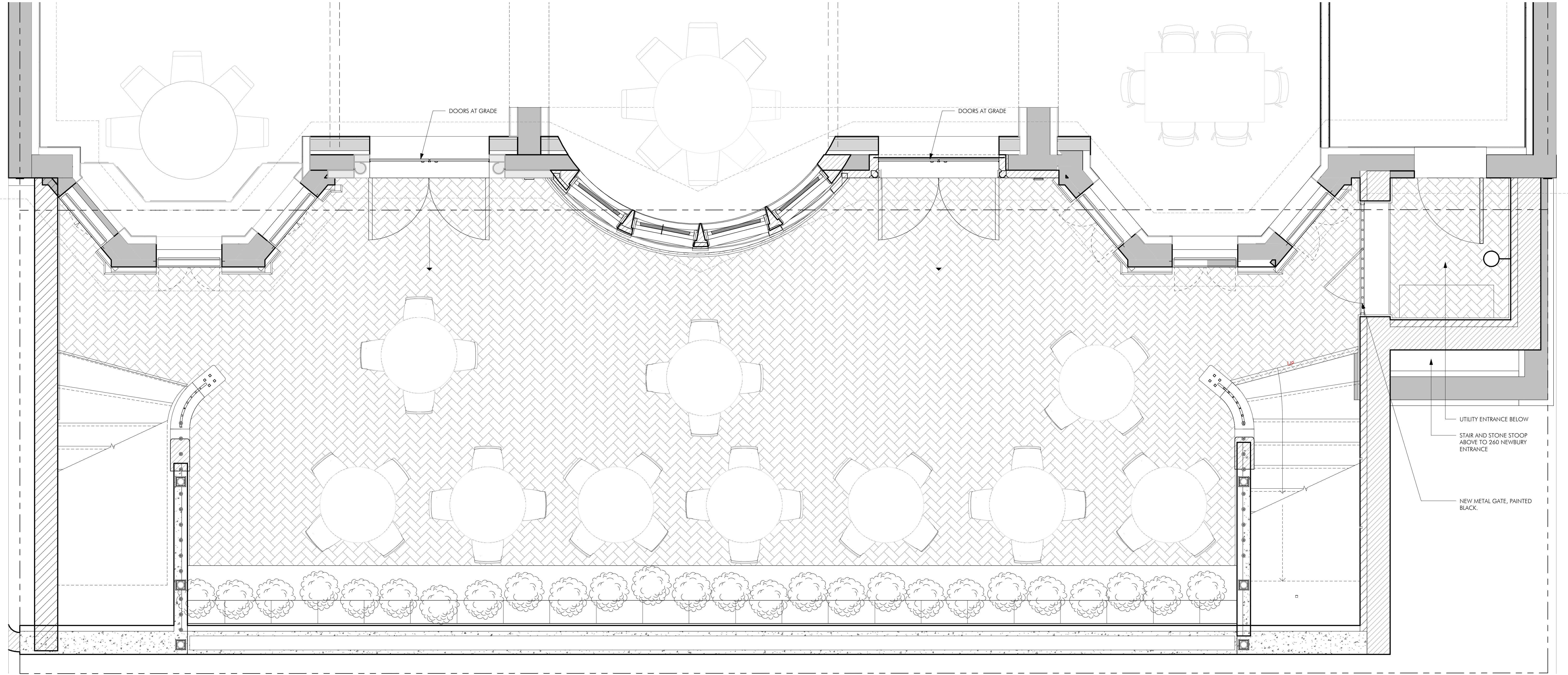


1 SIGHT LINE SECTION
1/8" = 1'-0"



NEWBURY STREET

FOR REFERENCE ONLY
 PREVIOUS APPROVED SUBMISSION
 MEYER & MEYER
 JANUARY 2019



1 ENLARGED TERRACE PLAN
1/2" = 1'-0"



FOR REFERENCE ONLY
PREVIOUS APPROVED SUBMISSION
MEYER & MEYER
JANUARY 2019



THIRD FLOOR
46' - 4 1/2"

SECOND FLOOR
35' - 6"

FIRST FLOOR
23' - 10 1/4"

STREET LEVEL
20' - 2 3/8"

GROUND FLOOR
14' - 0"

PATIO LEVEL
13' - 11 1/2"

FLAT SEAM COPPER ROOF

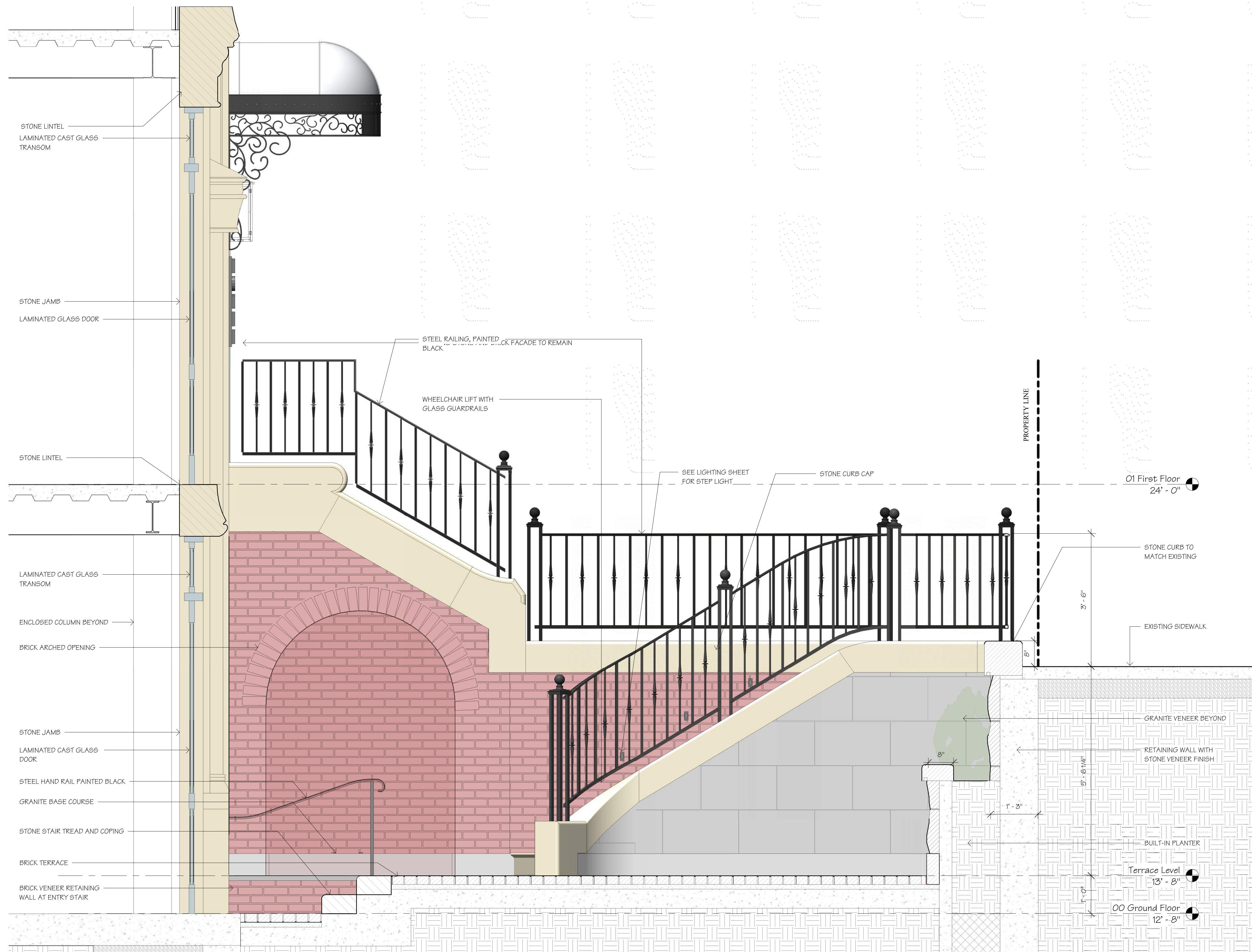
STONE BASE

RESTORE STONE AND GLASS WINDOW BAY AND EXTEND TO GROUND FLOOR

REPLACE WINDOWS IN EXISTING AND ENLARGED OPENINGS WITH WOOD WINDOWS, PAINTED BLACK. MATCH PROFILE AND BRICK MOULD.

CUSTOM METAL GATE ASSEMBLY
METAL PANELLED DOOR, PAINTED BLACK

1 ENLARGED NORTH ELEVATION AT DIG-OUT
3/8" = 1'-0"



FOR REFERENCE ONLY
PREVIOUS APPROVED SUBMISSION
MEYER & MEYER
JANUARY 2019

● SECOND FLOOR
35' - 6"

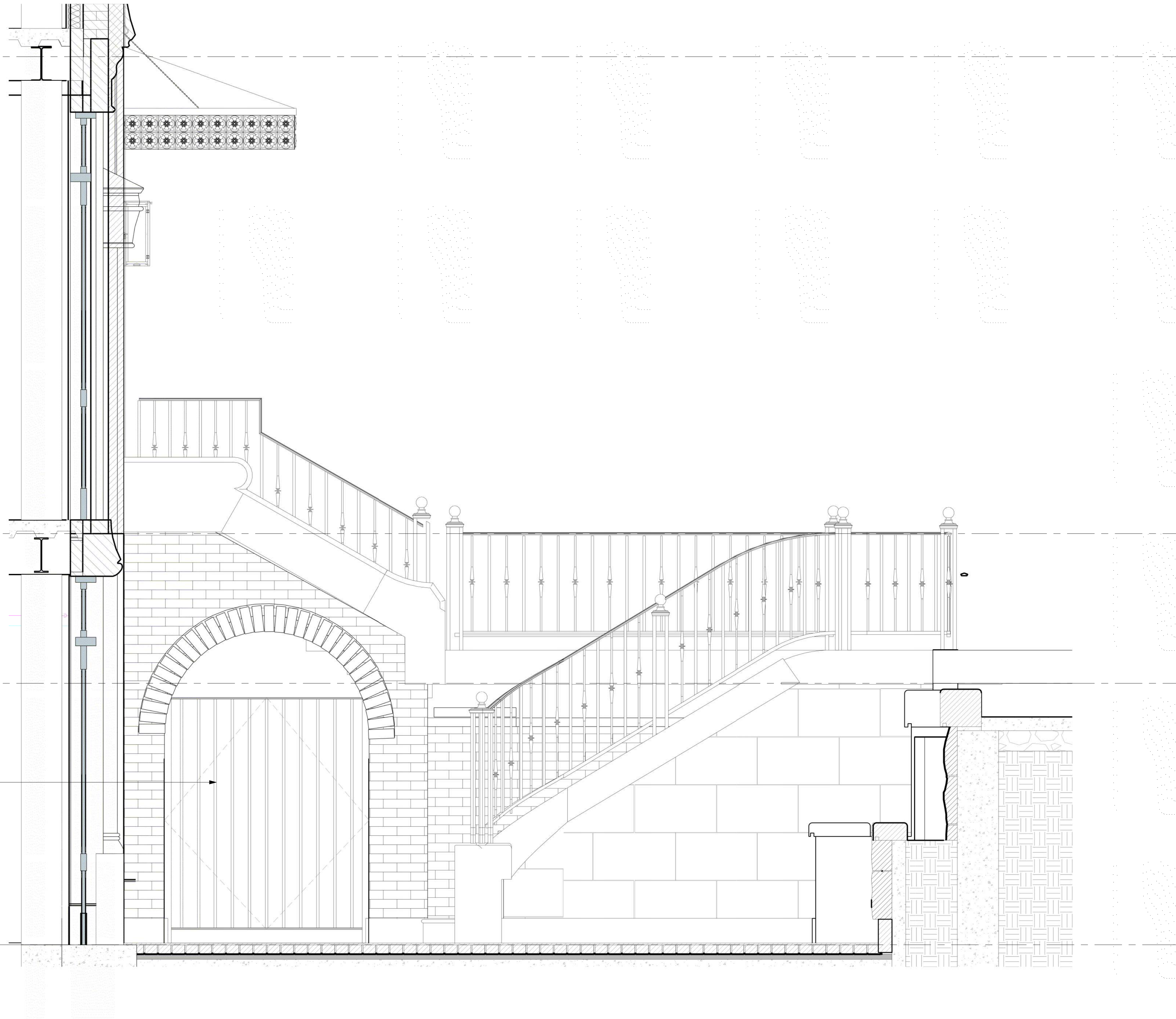
● FIRST FLOOR
23' - 10 1/4"

● STREET LEVEL
20' - 2 3/8"

● PATIO LEVEL
13' - 11 1/2"

NEW METAL DECORATIVE GATE, PAINTED BLACK

1 ENLARGED SECTION AT DIG-OUT
3/4" = 1'-0"





RENDERING IS FOR CONCEPT ONLY.
REFER TO ARCHITECTURAL ELEVATIONS.