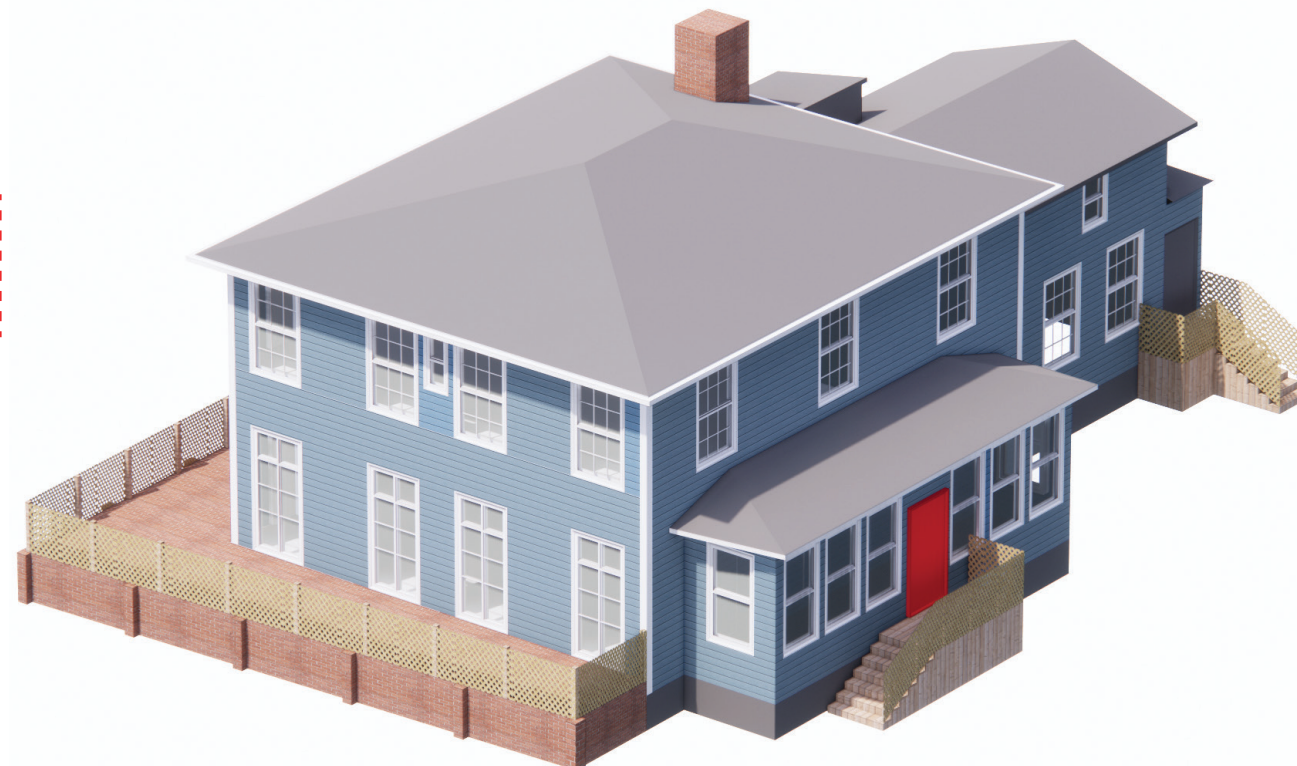
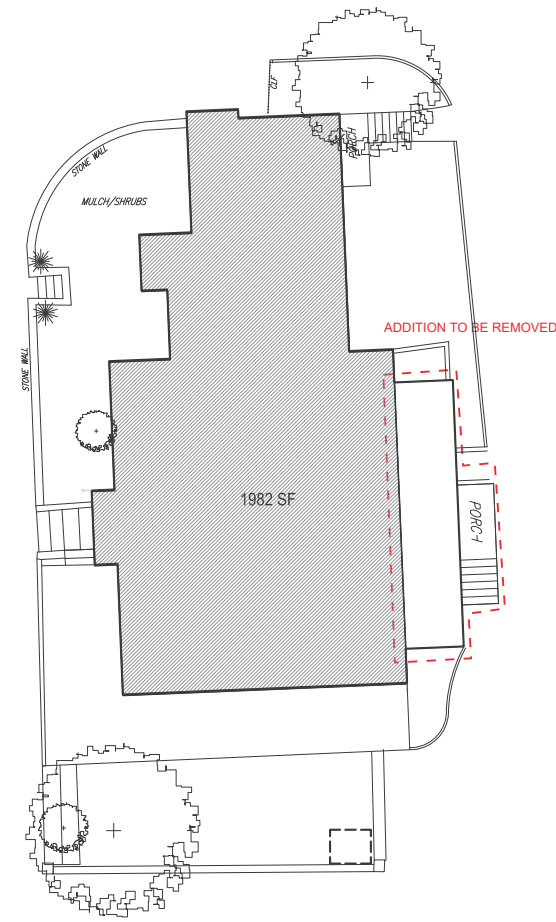
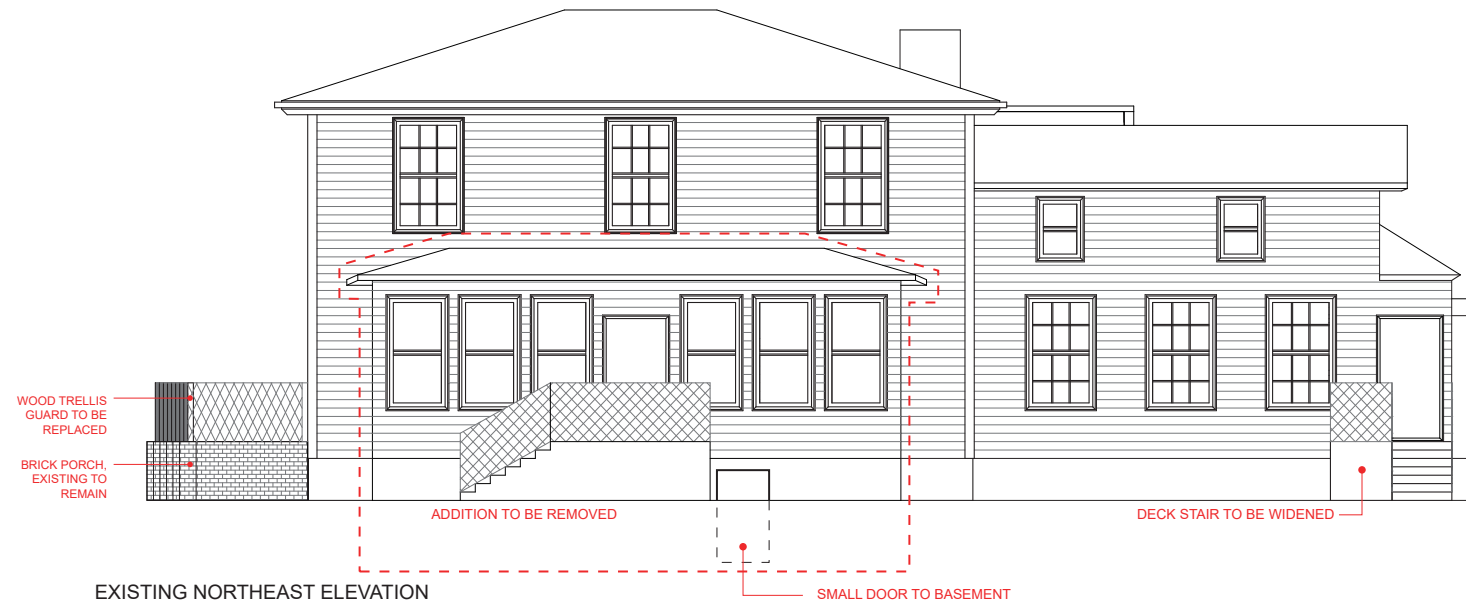


# BOND HOUSE

## EXISTING



- The Board requested more information on the demolition of the Bond House sun room
- The sun room addition was not found by our team to have any historical significance
- The demolition of the addition will reveal the Richard Bond-designed facade still intact

# BOND HOUSE : PROPOSED ALTERATION

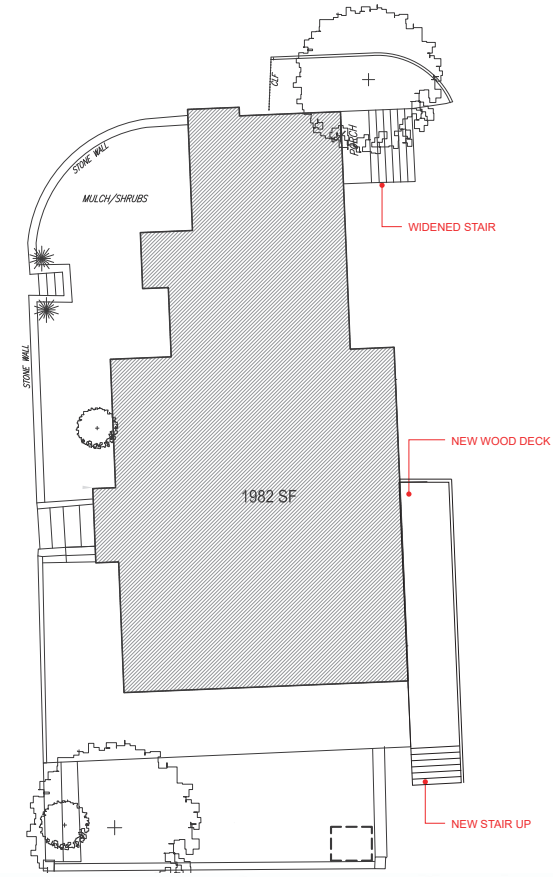
## REMOVAL OF SUN ROOM ADDITION



EXISTING NORTHEAST ELEVATION



EXISTING SOUTHEAST ELEVATION



# WALL BETWEEN NATHAN HALE SCHOOL/ 88 LAMBERT

CURRENT WALL

CURRENT WALL HEIGHT = 12'



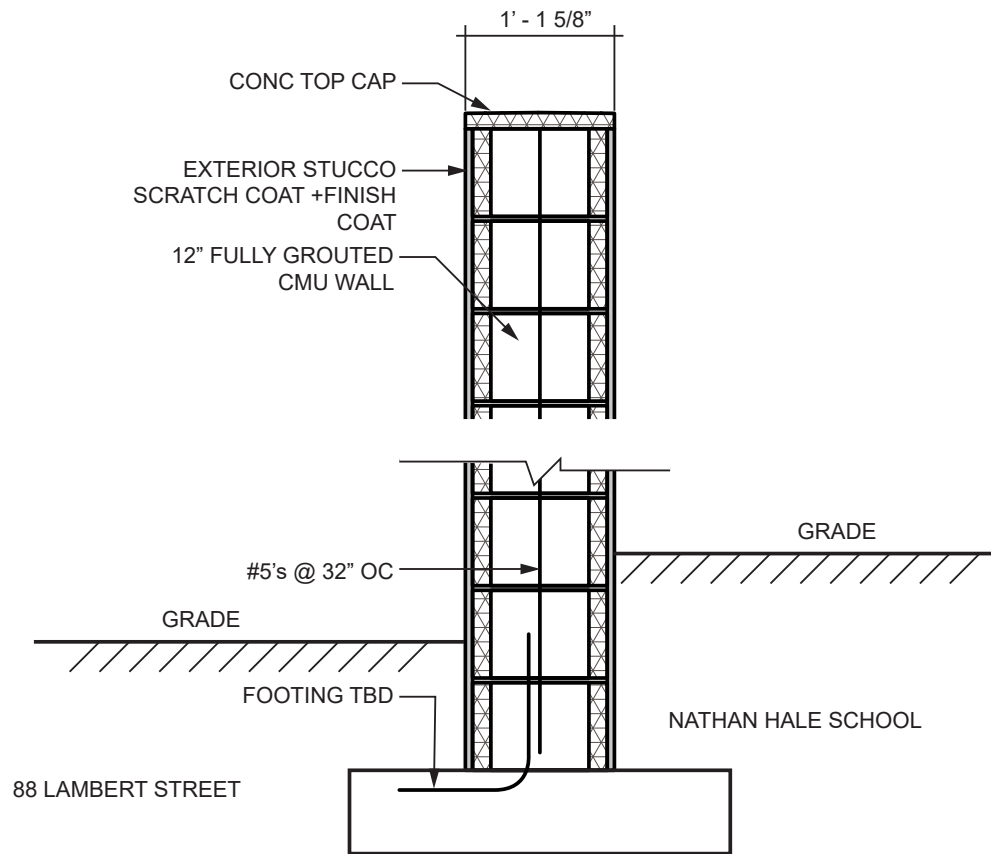
WALL HEIGHT SHOWN AT 2/25 LANDMARKS MEETING = 18'



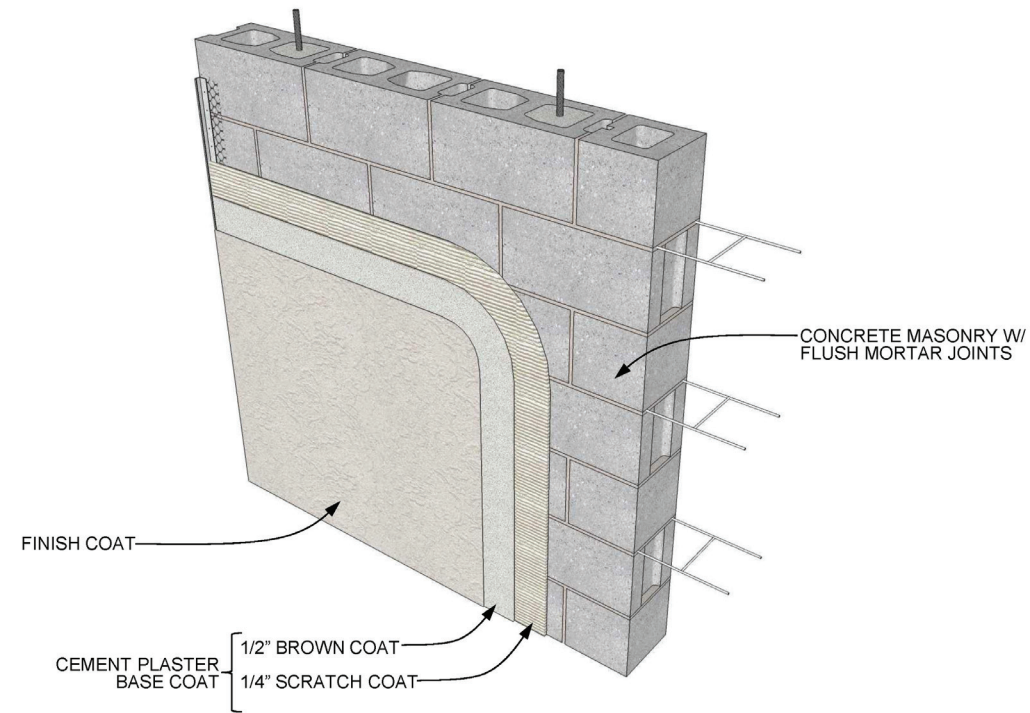
- The Board requested a more thorough proposal for the design of the wall to be demolished between the property at 88 Lambert and the Nathan Hale School
- The Board requested retaining the current height of the wall
- The current wall is in disrepair, and is structurally dependent on the current garages on the 88 Lambert site. Current wall preservation is not viable.
- Murals on the Nathan Hale side are removable, and will be preserved and reattached when the new wall is completed.

# WALL BETWEEN NATHAN HALE SCHOOL/ 88 LAMBERT

PROPOSED WALL DETAILS 04/28/20



PROPOSED WALL SECTION



PROPOSED WALL DIAGRAM



PROPOSED WALL FINISH EXAMPLE

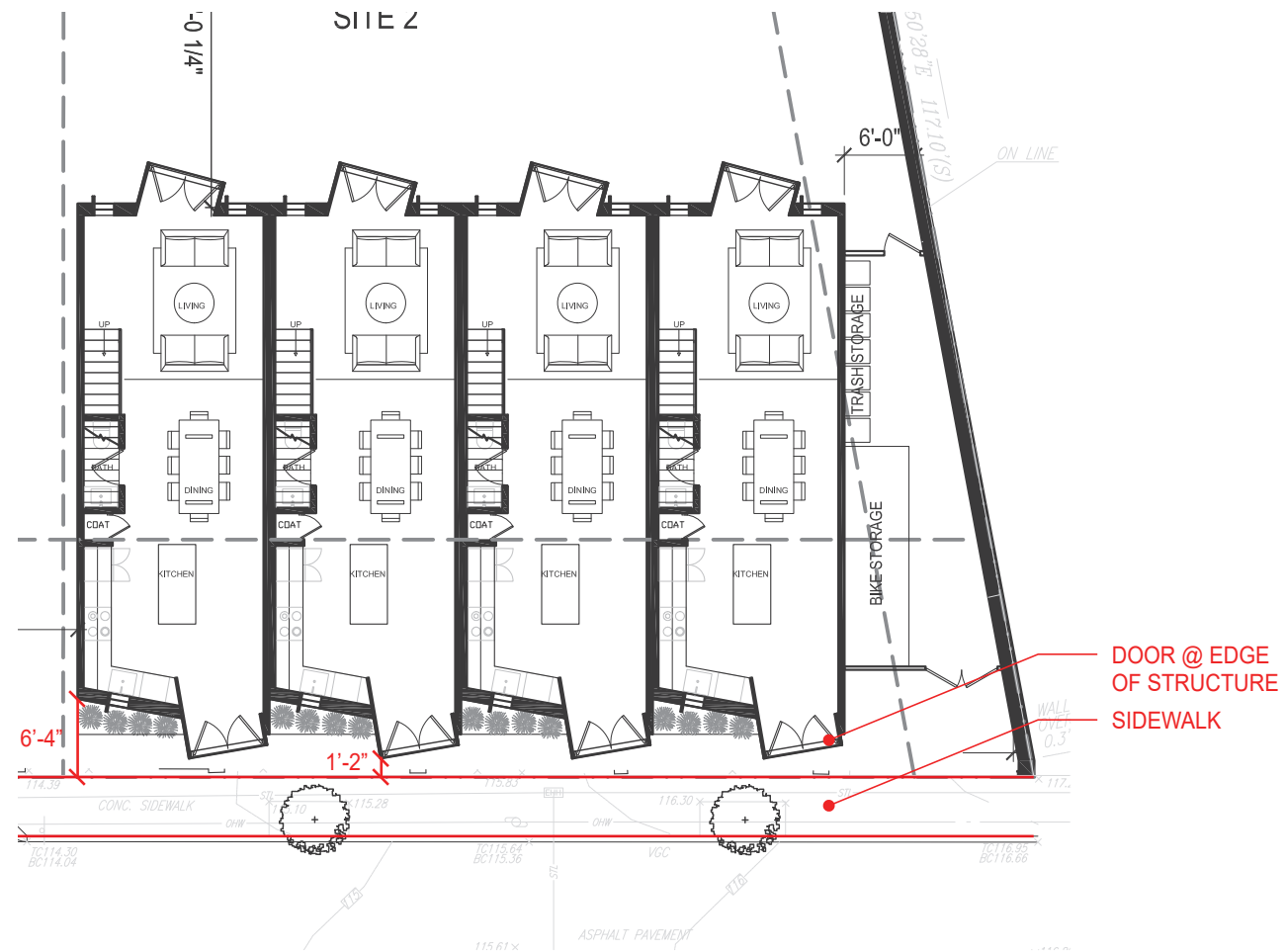
# WALL BETWEEN NATHAN HALE SCHOOL/ 88 LAMBERT

UPDATED WALL RENDERING 04/28/20



# LAMBERT SET BACK

PREVIOUS ITERATION (SHOWN AT 2/25 LANDMARKS MEETING)



- The Board noted that the current setback and front door arrangement did not feel right on Lambert Street
- The entry (within 2 feet of sidewalk) did not provide an adequate buffer between the public to private spaces.
- The Board asked that we explore altering the setback and entry to better accommodate a porch or stoop transition to the sidewalk & street.

# NEIGHBORHOOD SETBACKS



# LAMBERT STREET SET BACK

UPDATED PROPOSAL 04/28/20



ALL STRUCTURES HAVE BEEN PUSHED BACK BY 1'

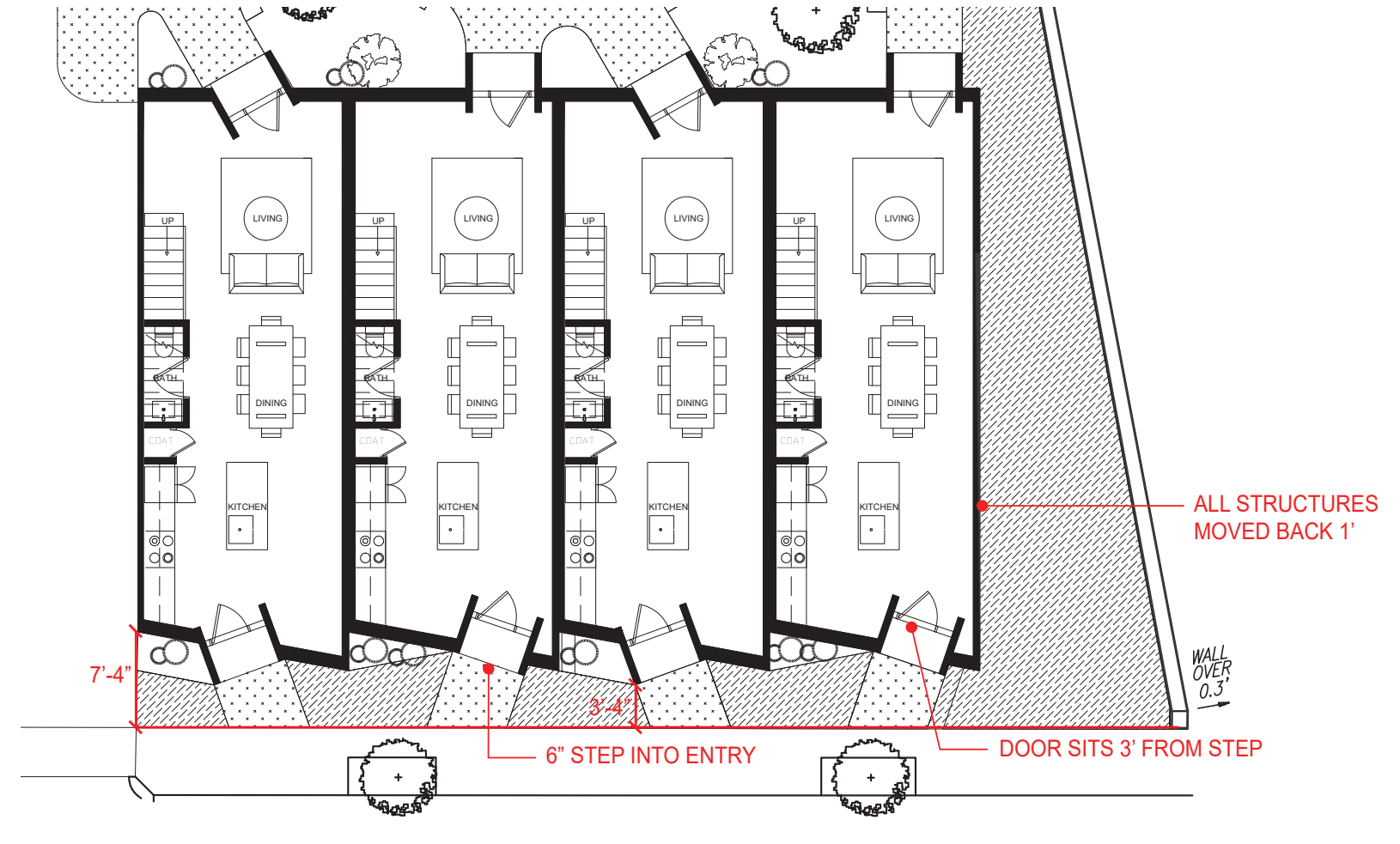
FRONT DOORS PUSHED BACK 3'

ADDITION OF A 6" STEP INTO FRONT ENTRY

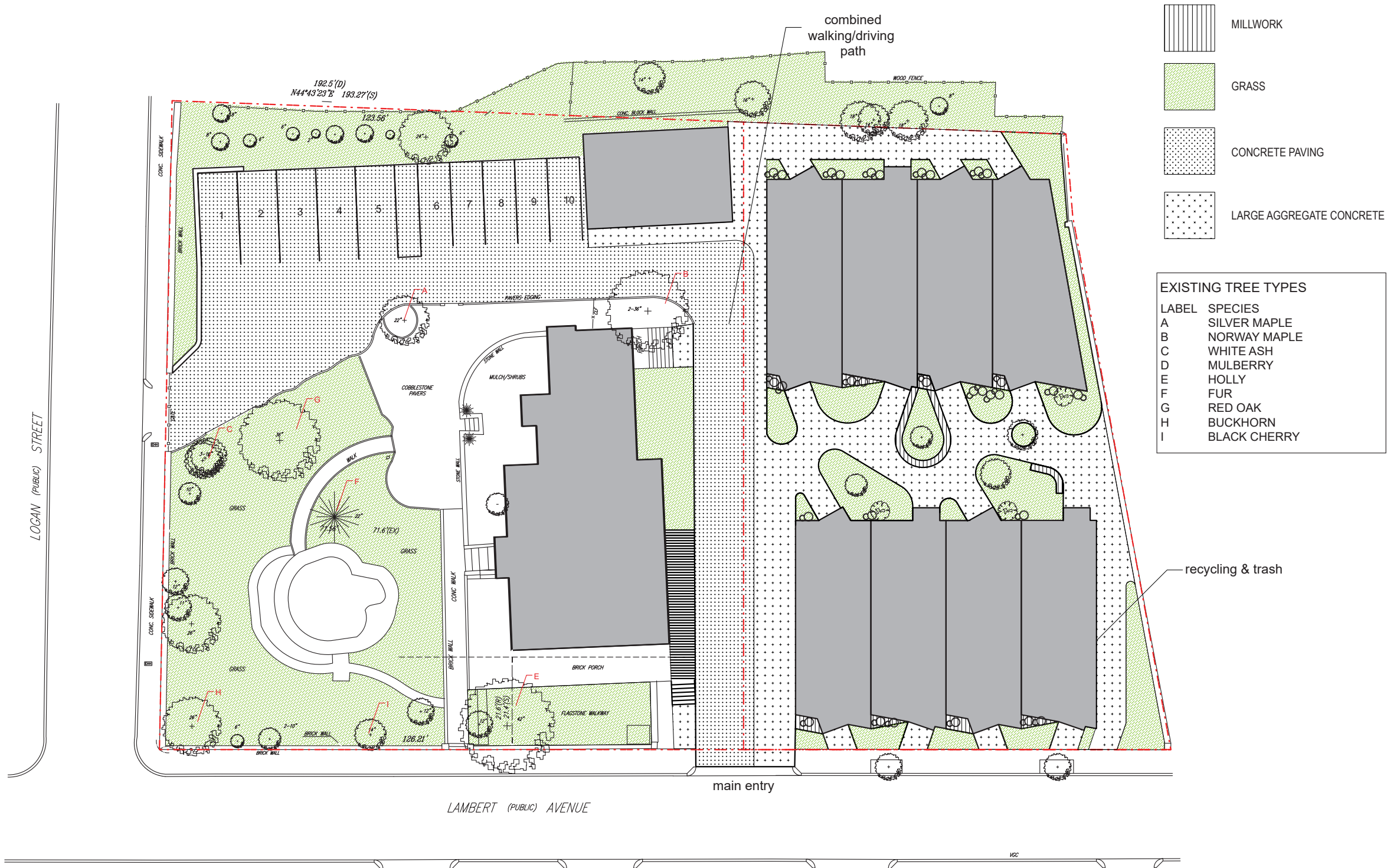


# LAMBERT STREET SET BACK

UPDATED PROPOSAL 04/28/20



# LANDSCAPE PLAN



- The Board asked that a landscape design for the interior courtyard be developed and presented.
- The design team has been working on several schematic schemes for the landscape layout, focusing on weaving hard-scape with soft-scapes to incorporate local plant and tree species. The courtyard is meant for recreation and communal gathering, and the design intends to provide a mixture of permeable and impermeable surface materials.

# COURTYARD VIEW

