



# Stoneman Playground Improvements

Boston, Massachusetts

## Notice of Intent

December 4, 2019

submitted to  
**Boston Conservation Commission**

submitted by the  
**Esplanade Association**

in coordination with the  
**Department of Conservation and Recreation**

prepared by  
**Fort Point Associates, Inc.**

in association with  
**CBA Landscape Architects**

# TABLE OF CONTENTS

## TRANSMITTAL FORM

## APPLICATION FORM

## ATTACHMENT A – SUPPLEMENTAL INFORMATION

A.1	OVERVIEW OF PROPOSED PROJECT .....	A-1
A.2	EXISTING CONDITIONS .....	A-1
A.3	PROJECT DESCRIPTION .....	A-1
A.4	WETLAND RESOURCE AREAS .....	A-2
A.5	CONSTRUCTION SCHEDULE, METHODS, AND MITIGATION.....	A-3
A.6	NOI PLAN LIST .....	A-3

## FIGURES

Figure 1	Locus Map
Figure 2	Aerial View of Project Site
Figure 3	Existing Conditions Photographs
Figure 4	Existing Conditions Photographs
Figure 5	Wetland Resource Areas
Figure 6	National Flood Hazard Layer FIRMette

## ATTACHMENT B – STORMWATER REPORT

## ATTACHMENT C – NOTIFICATIONS

## ATTACHMENT D – PLANS

---

# TRANSMITTAL FORM



Enter your transmittal number

X284770

Transmittal Number

Your unique Transmittal Number can be accessed online:

<http://www.mass.gov/eea/agencies/massdep/service/approvals/transmittal-form-for-payment.html>

Massachusetts Department of Environmental Protection

## Transmittal Form for Permit Application and Payment

1. Please type or print. A separate Transmittal Form must be completed for each permit application.

2. Make your check payable to the Commonwealth of Massachusetts and mail it with a copy of this form to: MassDEP, P.O. Box 4062, Boston, MA 02211.

3. Three copies of this form will be needed.

**Copy 1 - the original** must accompany your permit application. **Copy 2** must accompany your fee payment. **Copy 3** should be retained for your records

4. Both fee-paying and exempt applicants must mail a copy of this transmittal form to:

MassDEP  
P.O. Box 4062  
Boston, MA  
02211

**\* Note:**  
For BWSC Permits, enter the LSP.

### A. Permit Information

BRP WPA Form 3

Notice of Intent

1. Permit Code: 4 to 7 character code from permit instructions

2. Name of Permit Category

Other

3. Type of Project or Activity

### B. Applicant Information – Firm or Individual

Esplanade Association

1. Name of Firm - Or, if party needing this approval is an individual enter name below:

2. Last Name of Individual

3. First Name of Individual

4. MI

376 Boylston Street, Suite 503

5. Street Address

Boston

MA

02116

(617) 227-0365

6. City/Town

7. State

8. Zip Code

9. Telephone #

10. Ext. #

Alison McRae

amcrae@esplanade.org

11. Contact Person

12. e-mail address

### C. Facility, Site or Individual Requiring Approval

Miriam and Sidney Stoneman Playground

1. Name of Facility, Site Or Individual

Charles River Reservation

2. Street Address

Boston

MA

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

8. DEP Facility Number (if Known)

9. Federal I.D. Number (if Known)

10. BWSC Tracking # (if Known)

### D. Application Prepared by (if different from Section B)\*

Fort Point Associates, Inc.

1. Name of Firm Or Individual

31 State Street, 3<sup>rd</sup> Floor

2. Address

Boston

MA

02109

(617) 357-7044

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

Cara Pattullo

8. Contact Person

9. LSP Number (BWSC Permits only)

### E. Permit - Project Coordination

1. Is this project subject to MEPA review?  yes  no  
If yes, enter the project's EOE file number - assigned when an Environmental Notification Form is submitted to the MEPA unit:

EOEA File Number

### F. Amount Due

#### Special Provisions:

1.  Fee Exempt (city, town or municipal housing authority)(state agency if fee is \$100 or less).  
*There are no fee exemptions for BWSC permits, regardless of applicant status.*  
2.  Hardship Request - payment extensions according to 310 CMR 4.04(3)(c).  
3.  Alternative Schedule Project (according to 310 CMR 4.05 and 4.10).  
4.  Homeowner (according to 310 CMR 4.02).

DEP Use Only

Permit No:

Rec'd Date:

Reviewer:

9206

\$237.50

12/4/19

Check Number

Dollar Amount

Date

MAUREEN A. FAY

JAMIE M. FAY

9 FELLOWS RD.

IPSWICH, MA 01938

5-7515/110

9206

DATE 12.04.19



Commonwealth of Mass. \$ 237.50

PAY TO THE ORDER OF

Five hundred thirty seven and 50/100

DOLLARS



Santander

PREMIER BANKING

Santander Bank, N. A.

MEMO 145-302601-20001

+0110751501 6590001374211

9206 Jamie M Fay

MP

MAUREEN A. FAY

JAMIE M. FAY

9 FELLOWS RD.

IPSWICH, MA 01938

5-7515/110

9207

DATE 12.04.19



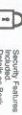
City of Boston

\$ 75.00

PAY TO THE ORDER OF

Seventy five and 00/100

DOLLARS



Santander

PREMIER BANKING

Santander Bank, N. A.

MEMO 143-302601-20001

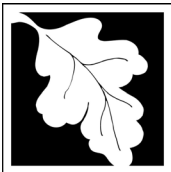
+0110751501 6590001374211

9207 Jamie M Fay

MP

---

# APPLICATION FORM



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Charles River Reservation</u>	<u>Boston</u>	<u>MA</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.352538</u>	<u>-71.087036</u>
	d. Latitude	e. Longitude
<u>00000000</u>	<u>0503747000</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Alison</u>	<u>McRae</u>	
a. First Name	b. Last Name	
<u>Esplanade Association</u>		
c. Organization		
<u>376 Boylston Street, Suite 503</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02116</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 227-0365</u>	<u>amcrae@esplanade.org</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

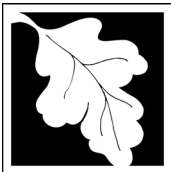
<u>Priscilla</u>	<u>Geigis</u>	
a. First Name	b. Last Name	
<u>Department of Conservation and Recreation</u>		
c. Organization		
<u>251 Causeway Street, Suite 900</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02114</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 626-4986</u>	<u>priscilla.geigis@mass.gov</u>	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Cara</u>	<u>Pattullo</u>	
a. First Name	b. Last Name	
<u>Fort Point Associates, Inc.</u>		
c. Company		
<u>31 State Street, 3rd Floor</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 357-7044</u>	<u>cpattullo@fpa-inc.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$312.50</u>	<u>\$237.50</u>	<u>\$75 (City of Boston Fee)</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Boston
City/Town

## A. General Information (continued)

### 6. General Project Description:

The proposed improvements will include the replacement of a small amount of broken granite pavers at the center of the entry plaza; the installation of new play equipment and bicycle racks; and the replenishing and installation of Engineered Wood Fiber (EWF) safety surface.

### 7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

### 7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

#### 2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

### 8. Property recorded at the Registry of Deeds for:

Suffolk County	
a. County	b. Certificate # (if registered land)
45292	64
c. Book	d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.





**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 3 – Notice of Intent**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

---

MassDEP File Number

---

Document Transaction Number

---

Boston

---

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

f.  Riverfront Area

1. Name of Waterway (if available) - **specify coastal or inland** \_\_\_\_\_

2. Width of Riverfront Area (check one):

25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

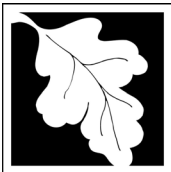
a. total square feet \_\_\_\_\_      b. square feet within 100 ft. \_\_\_\_\_      c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?       Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?       Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

---

MassDEP File Number

---

Document Transaction Number

---

Boston

---

City/Town

**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**C. Other Applicable Standards and Requirements**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program**  
**Division of Fisheries and Wildlife**  
**1 Rabbit Hill Road**  
**Westborough, MA 01581**

August 2017

b. Date of map

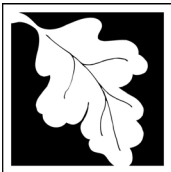
If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:
- (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
- (b) outside Resource Area \_\_\_\_\_ percentage/acreage
2.  Assessor's Map or right-of-way plan of site
2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
- (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

### C. Other Applicable Standards and Requirements (cont'd)

- (c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/mesa/mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm)). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site
- (e)  Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhesp/regulatory\\_review/mesa/mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
  2.  Separate MESA review ongoing. \_\_\_\_\_ a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP
  3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

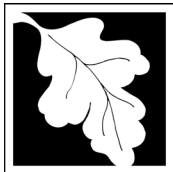
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

See Section A.6 in Attachment A - Supplemental Information

a. Plan Title

b. Prepared By

c. Signed and Stamped by

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

9207  
2. Municipal Check Number

12/4/19  
3. Check date

9206  
4. State Check Number

12/4/19  
5. Check date

Jamie  
6. Payor name on check: First Name

Fay  
7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

## WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number \_\_\_\_\_

Document Transaction Number \_\_\_\_\_

Boston \_\_\_\_\_

City/Town \_\_\_\_\_

### F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

<p>1. Signature of Applicant <u>Alison McRae</u></p> <p>3. Signature of Property Owner (if different) <u>[Signature]</u></p> <p>5. Signature of Representative (if any) <u>[Signature]</u></p>	<p>2. Date <u>12/2/19</u></p> <p>4. Date <u>12/3/19</u></p> <p>6. Date <u>3 December 19</u></p>
--	---

#### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

#### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

#### Other:

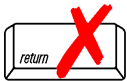
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

<u>Charles River Reservation</u>	<u>Boston</u>
a. Street Address	b. City/Town
<u>9207 (City); 9206 (State)</u>	<u>\$75.00 (City); \$237.50 (State)</u>
c. Check number	d. Fee amount

2. Applicant Mailing Address:

<u>Alison</u>	<u>McRae</u>	
a. First Name	b. Last Name	
<u>Esplanade Association</u>		
c. Organization		
<u>376 Boylston Street</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02116</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 227-0365</u>	<u>amcrae@esplanade.org</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

<u>Priscilla</u>	<u>Geigis</u>	
a. First Name	b. Last Name	
<u>Department of Conservation and Recreation</u>		
c. Organization		
<u>251 Causeway Street, Suite 900</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02114</u>
e. City/Town	f. State	g. Zip Code
<u>(617) 626-4986</u>	<u>priscilla.geigis@mass.gov</u>	
h. Phone Number	i. Fax Number	j. Email Address

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).





**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 2(j): other	1	\$500	\$500
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
<b>Step 5/Total Project Fee:</b>			\$500.00
<b>Step 6/Fee Payments:</b>			
Total Project Fee:			\$500.00
			a. Total Fee from Step 5
State share of filing Fee:			\$237.50
			b. 1/2 Total Fee <b>less</b> \$12.50
City/Town share of filing Fee:			\$75.00 (Boston Fee)
			c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

ATTACHMENT A

---

SUPPLEMENTAL INFORMATION

# ATTACHMENT A: SUPPLEMENTAL INFORMATION

## A.1 OVERVIEW OF PROPOSED PROJECT

The Esplanade Association (the “Applicant”), in coordination with the Massachusetts Department of Conservation and Recreation (“DCR”), is proposing improvements to the Miriam and Sidney Stoneman Playground (Stoneman Playground), which is located between Gloucester Street and Hereford Street within the Charles River Reservation near the south bank of the Charles River (the “Project Site”). See Figure 1, Locus Map.

The proposed improvements will involve the replacement of a small amount of broken granite pavers at the center of the entry plaza; the installation of new play equipment and bicycle racks; the installation of a dry well system for drainage; and the replenishing and installation of Engineered Wood Fiber (EWF) safety surface (cumulatively, the “Project”). The impacts, alterations, and mitigation to wetland resource areas are described in further detail below.

## A.2 EXISTING CONDITIONS

Stoneman Playground includes two divided children’s playground areas with a central granite paver entry plaza and is located within the Charles River Reservation between the Charles River Esplanade and Dr. Paul Dudley White bicycle path. The approximately 25,800 square foot (sf) Project Site currently consists of lawn and planting areas, several trees, benches, and various play structures surrounded by EWF safety surface enclosed by timber edging. The two playground areas are surrounded by fences with entry gates on the east and west. The Project Site is mostly flat and grades range between a low point of approximately 11.7 feet BCB (5.2 feet NAVD88) to a high point of approximately 13.5 feet BCB (7 feet NAVD88). The Project Site is approximately 25 feet from the Charles River at its closest point. See Figure 2, Aerial View of Project Site and Figures 3 and 4, Existing Conditions Photographs.

## A.3 PROJECT DESCRIPTION

The Project will be constructed in one phase. The existing lawn and subsoil will be excavated to a depth required for the installation of new material and removed from the Project Site. Sections of the existing timber edging and pavers will be removed and stockpiled for re-installation. Broken pavers will be disposed of. Broken playground equipment and associated footings will be removed and either disposed of or donated to DCR for reuse. Existing trees and shrubs will be protected during construction.

Playground equipment improvements will include the installation of new swings, a circus ladder and net, corkscrew and firepole components, and chime and drum accessible-to-all play equipment with a dry well system for drainage. EWF safety surface will be replenished around play equipment and installed around benches to meet accessibility guidelines and

provide a safe slip resistant and shock absorbing playground surface. New granite pavers will be installed to replace broken pavers at the entry plaza of the Project Site and will match the existing layout.

New stabilized stone dust paving will be installed east of the entry plaza where two bicycle racks will be installed and in the east lawn of the Project Site to accommodate the drum and chime play equipment and further enhance the accessibility of the Stoneman Playground. The drum and chimes will be installed on an embedded post within concrete footing with a dry well system for drainage.

Grading at the Project Site will be unchanged, and the Project will not result in any increase in impervious surface or introduction of any new plant species. For full details, see Attachment D, Plans.

### **A.3.1 STORMWATER MANAGEMENT**

The Project complies with all the Massachusetts Stormwater Standards for a redevelopment project and will not create any new untreated discharges. Existing grades and drainage patterns will be maintained, and the majority of the Project Site is depressed and surrounded by raised timber edging allowing for increased stormwater infiltration in the wood surface play area. In addition, a small dry well is proposed to drain any stormwater runoff that is trapped within the pan of the new play area “dance chimes” equipment. For additional details and calculations, see Attachment B, Stormwater Report.

## **A.4 WETLAND RESOURCE AREAS**

Wetland resource areas at the Project Site were delineated in April 2019 by professional wetland scientists. Based on the definitions provided in the WPA (310 CMR 10.21 through 10.37), the Project Site is located within a regulated Buffer Zone, which is a protected area extending 100 feet inland from any bank bordering on any river. Banks are defined at 310 CMR 10.54(2) as “...the portion of the land surface which normally abuts and confines a water body.” While the Project is located adjacent to a 25-foot Riverfront Area and the FEMA Flood Zone AE Elevation 10.46 BCB (4 feet NAVD88), the Limit of Work (LOW) is entirely outside of these resource areas.

### **A.4.1 BANK BUFFER ZONE**

The Buffer Zone is defined in 310 CMR 10.04 as:

*That area of land extending 100 feet horizontally outward from the boundary of any area specified in 310 CMR 10.02(1)(a).*

At the Project Site, the Buffer Zone extends 100 feet inland from the Top of the Bank on the southern edge of the Charles River. The majority of the Project Site is located within the 100-foot Buffer Zone. See Figure 5, Wetland Resource Areas

#### **A.4.2 IMPACTS TO WETLAND RESOURCE AREAS AND COMPLIANCE WITH PERFORMANCE STANDARDS**

Activities within the 100-foot Buffer Zone to the Bank will include the replacement of existing broken granite pavers, the installation of new play equipment and bicycle racks, and the installation of new stabilized stone dust paving surface. The Project complies with the applicable performance standards for Bank resource areas as defined at 310 CMR 10.54(4), because the Project will not impair the physical stability of the Bank, the water carrying capacity of the existing channel within the Bank, ground water and surface water quality, or the habitat functions of the Bank. All work will take place within the footprint of an existing playground and grading at the Project Site will be unchanged. The Project will not result in any increase in impervious surface or introduction of any new plant species. Potential Project impacts will be minimized to the greatest extent possible using mitigation measures such as erosion control and silt fences before and during construction to avoid any adverse impacts on the stability of the Bank, which is more than 25 feet from the proposed construction. The Project will also not have any adverse effect on specified habitat sites of Rare Species, as identified by procedures established under 310 CMR 10.59.

### **A.5 CONSTRUCTION SCHEDULE AND MITIGATION METHODS**

Access to the Project Site for construction will be provided via Storrow Drive to the southwest of the Project Site. Work will be staged within the LOW. Construction will not begin until all required preconstruction regulatory approvals have been obtained and is expected to be completed within 150 calendar days from the start of construction. All temporary structures and materials will be handled, stored, installed, cleaned, and protected in accordance with the best industry standards.

#### **A.5.1 CONSTRUCTION PHASE MITIGATION METHODS**

Construction will include the following methods for avoidance and mitigation:

- The Project Site will be prepared with appropriate erosion and siltation controls and shall be stabilized with staked coir logs and silt fencing. The perimeter sedimentation controls will be in place at the end of each day and before rain events;
- The contractor will verify the location of drainage and sub-drainage structures prior to the start of construction and protect all utilities during construction;

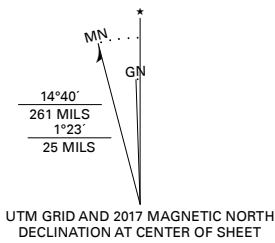
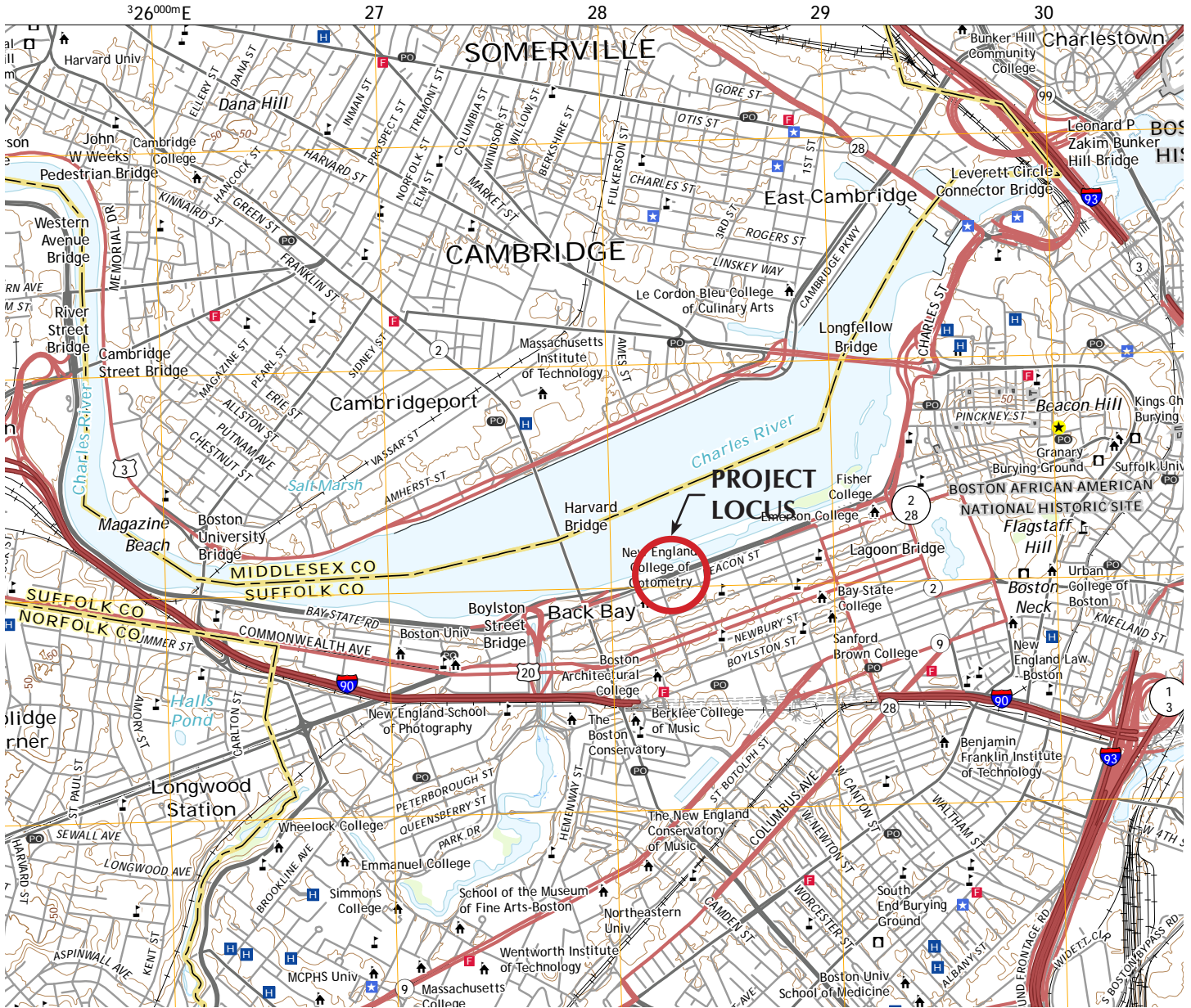
- Access for heavy equipment will be carefully planned to avoid destruction of existing vegetation, creation of ruts, and destabilization of the bank;
- Special measures will be taken to ensure against spillage of any pollutants into the Charles River and runoff of demolition sediments into stormwater collection systems, including placement of erosion controls around catch basins and along temporary construction fencing;
- Stockpiled soils at the Project Site will be properly contained more than 50 feet from the Bank and covered to prevent erosion during rain events; and
- Upon completion of the site work, stabilization of the landscape area and all erosion control measures will be removed, and all structures will be cleaned of silt and debris. At that time, all construction related materials will be cleared from the Project Site.

## A.6 NOI PLAN LIST

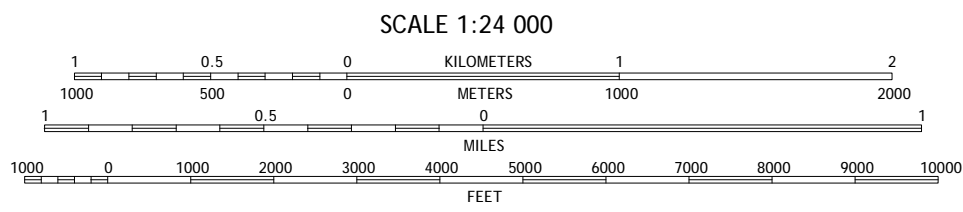
Title	Sheet Number	Date	Stamp and Signature
Existing Conditions Plan	L0.1	9-30-2019	Megan Nicole Tomkins
Removal Plan	L1.0	9-30-2019	Megan Nicole Tomkins
Materials & Layout Plan	L2.0	9-30-2019	Megan Nicole Tomkins
Materials & Layout Enlargements	L2.1	9-30-2019	Megan Nicole Tomkins
Site Details	L3.0	9-30-2019	Megan Nicole Tomkins
Site Details	L3.1	9-30-2019	Megan Nicole Tomkins

---

## FIGURES



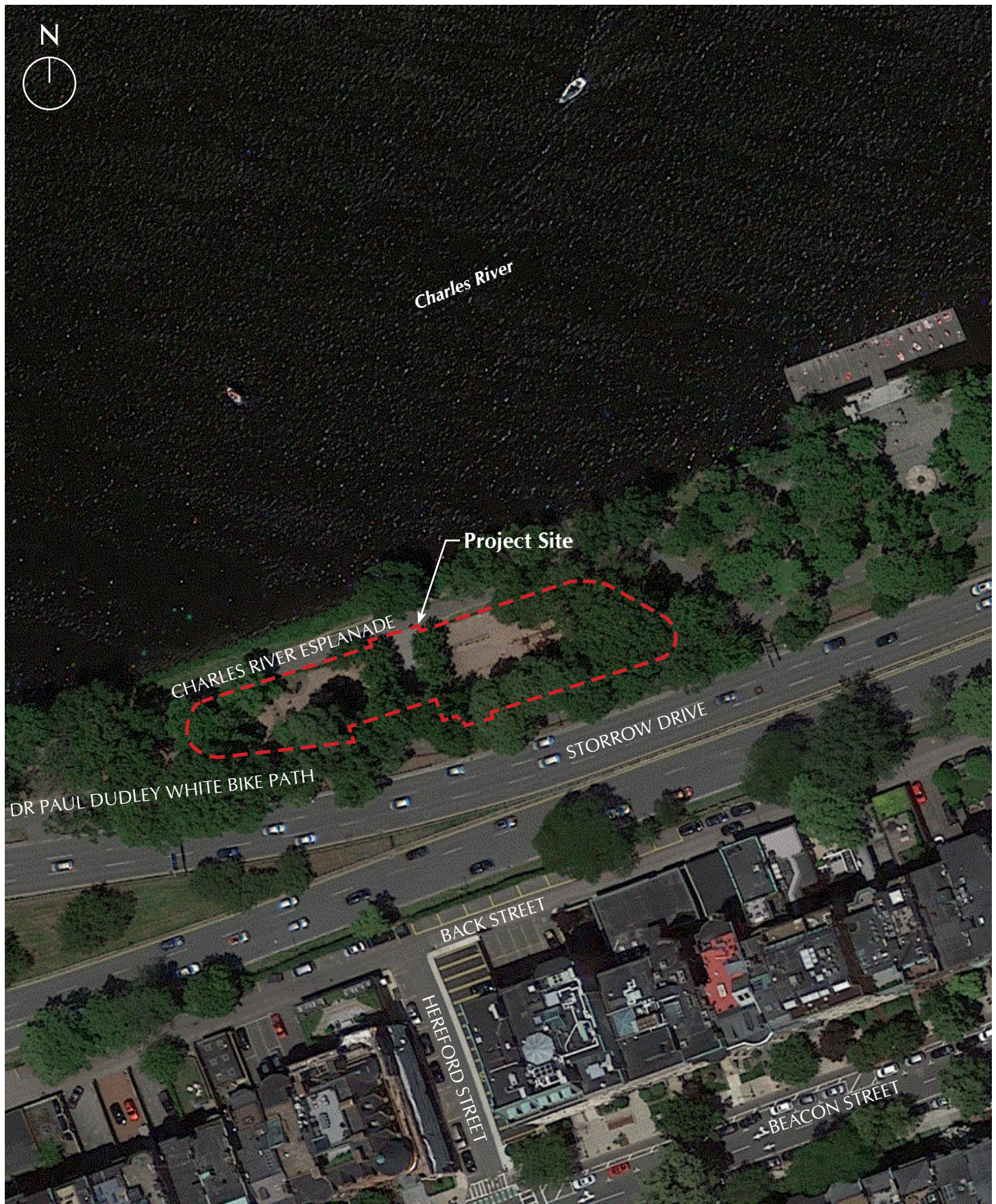
U.S. National Grid
100,000 - m Square ID
CG
Grid Zone Designation 19T



CONTOUR INTERVAL 10 FEET  
NORTH AMERICAN VERTICAL DATUM OF 1988

This map was produced to conform with the National Geospatial Program US Topo Product Standard, 2011. A metadata file associated with this product is draft version 0.6.18



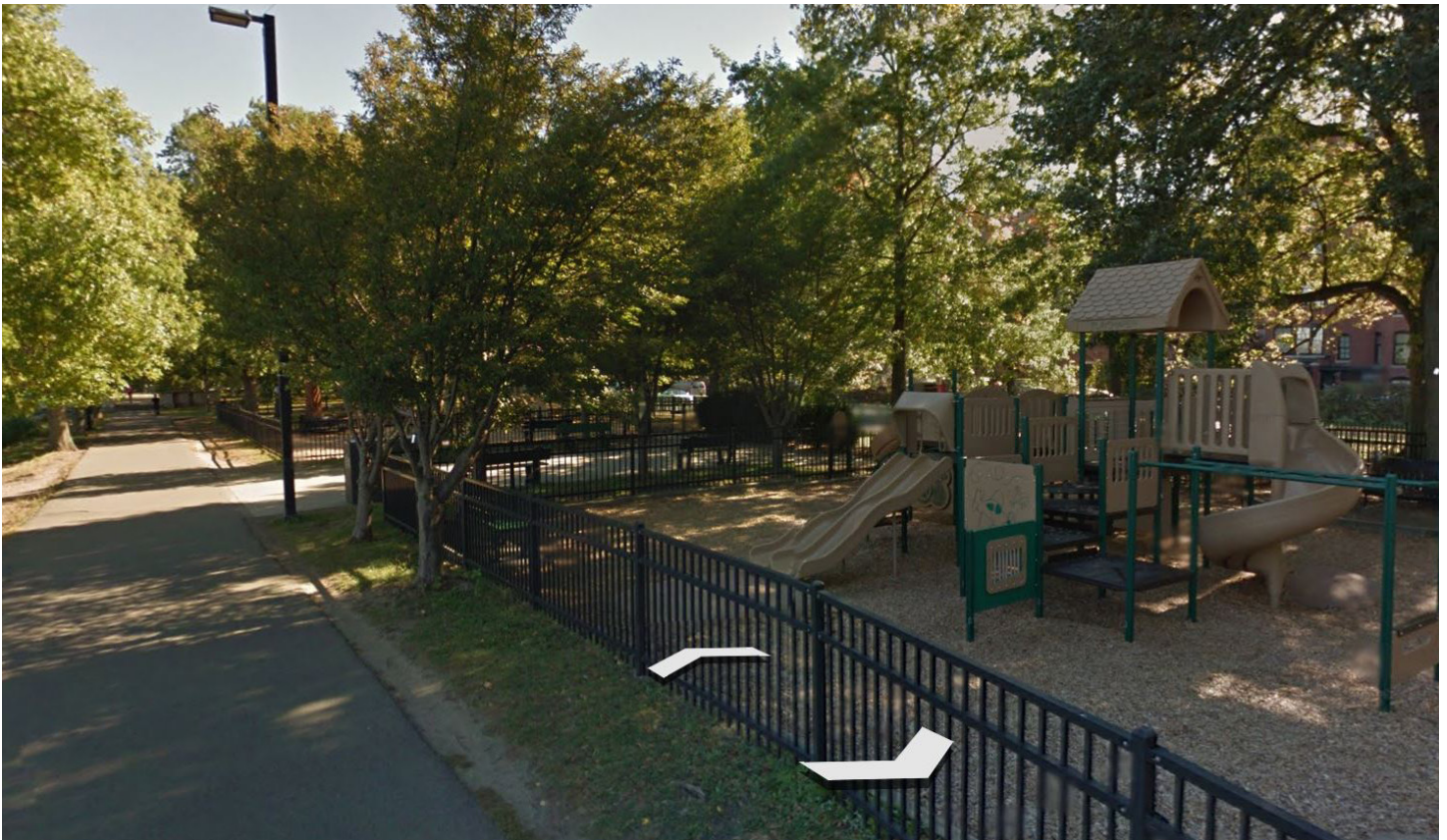


Boston, Massachusetts

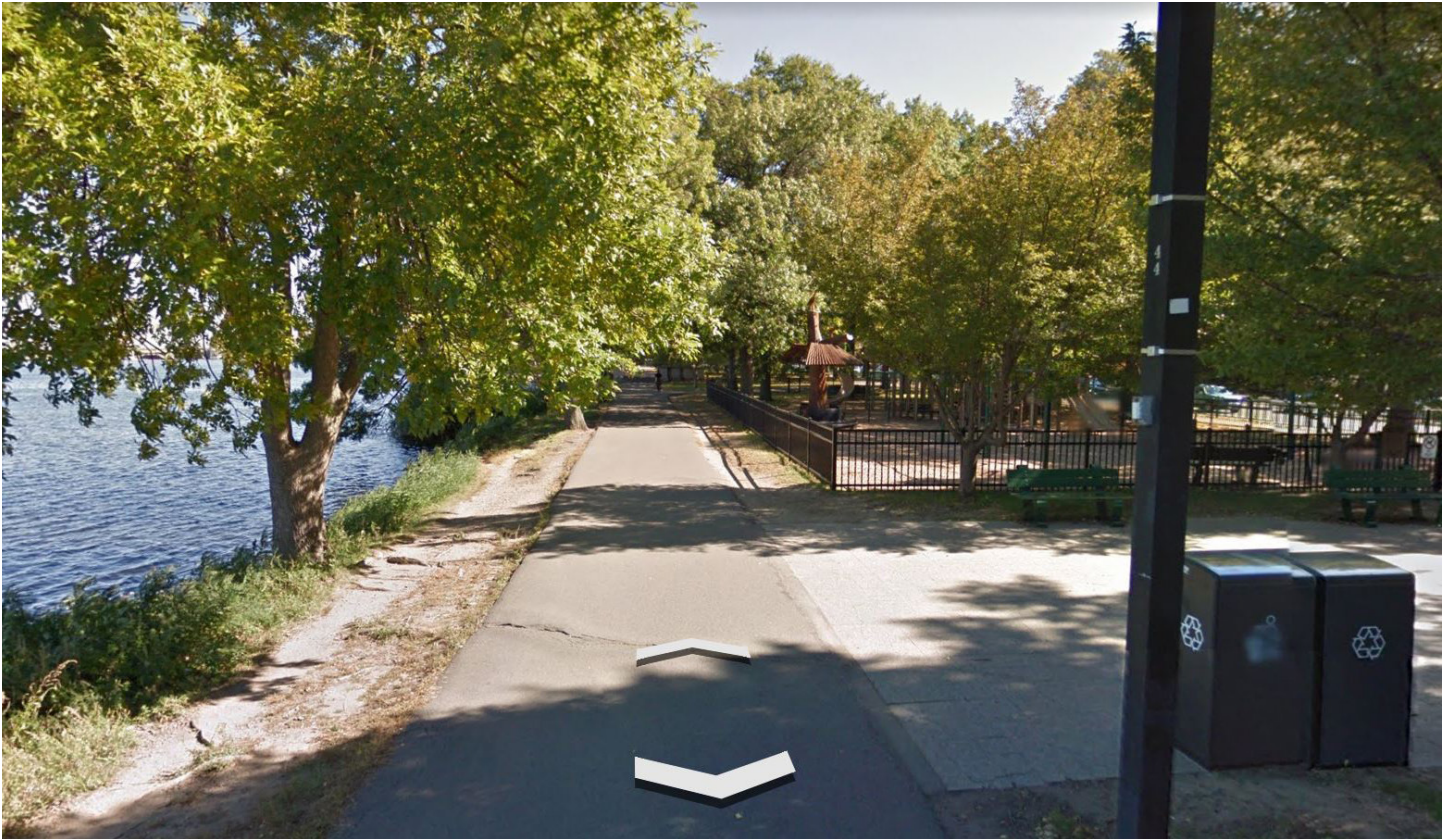
Figure 2  
Aerial View of Project Site  
Source: Google Earth, 2019



View from the east of the Project Site looking southwest



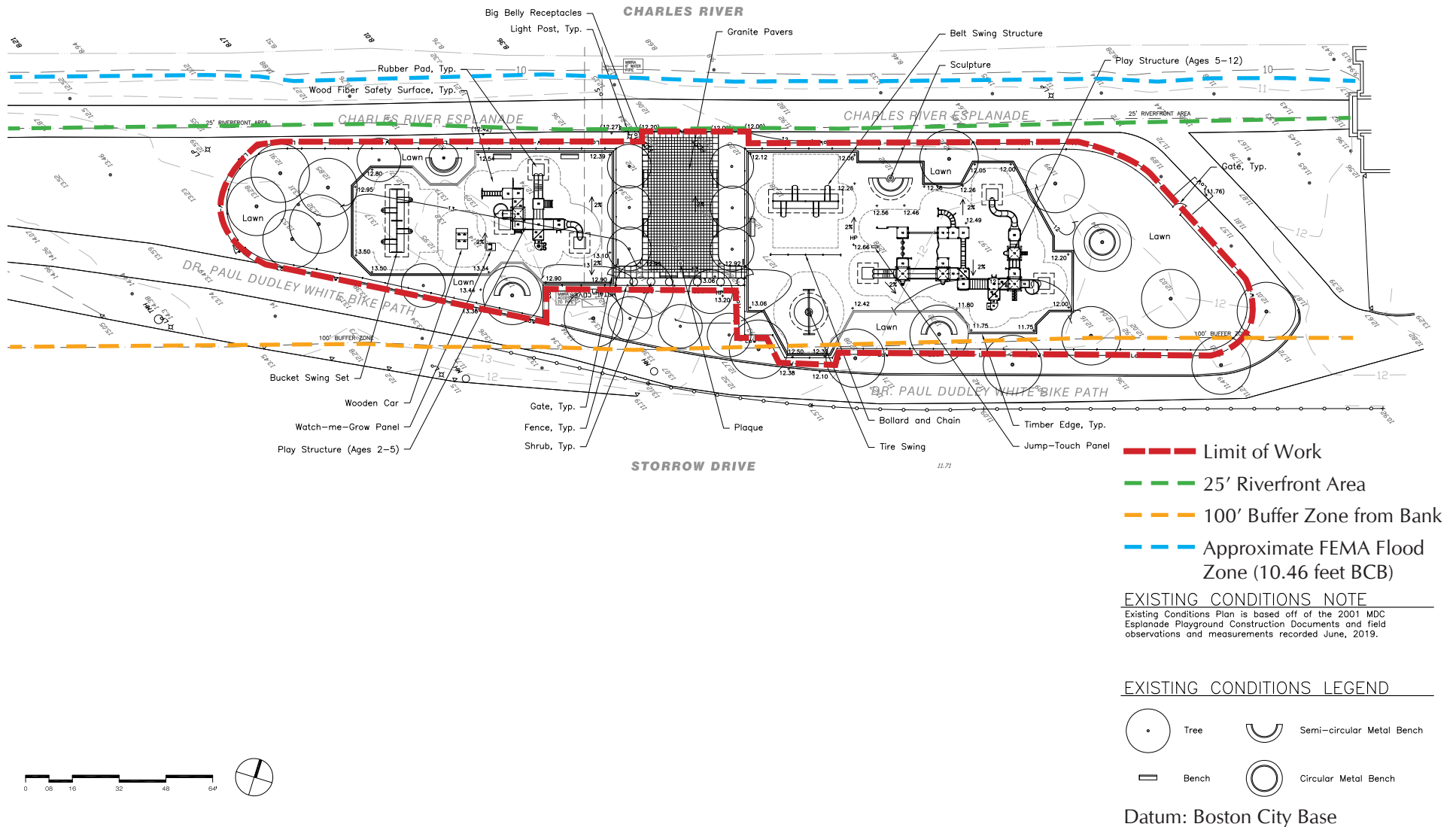
View of the Project Site looking east from the Charles River Esplanade



View of the entry plaza looking east from the Charles River Esplanade



View of the Project Site and Dr. Paul Dudley White Bike Path looking north from Storrow Drive



# National Flood Hazard Layer FIRMette



### Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/2/2019 at 12:20:13 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

ATTACHMENT B

---

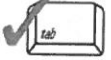
STORMWATER CHECKLIST



# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the *Massachusetts Stormwater Handbook*. The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the *Massachusetts Stormwater Handbook*. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the *Massachusetts Stormwater Handbook*.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

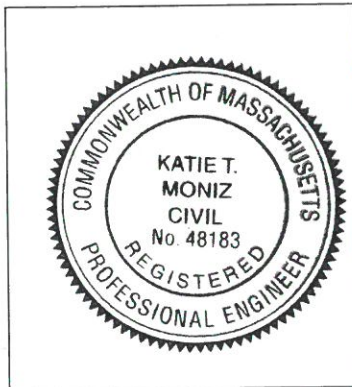
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



*Katie T. Moniz* 12-4-2019  
Signature and Date

### Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment





# Checklist for Stormwater Report

## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): \_\_\_\_\_

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
  - Redevelopment Project
  - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

## Stormwater Management Handbook REDEVELOPMENT CHECKLIST

As a redevelopment project, the project has been designed to meet the requirements of the Massachusetts Wetland Protection Act (310 CMR 10.00), as well as the Massachusetts Department of Environmental Protection's Massachusetts Stormwater Handbook to the maximum extent practicable.

### The Stormwater Management Standards

The redevelopment checklist reviews compliance with each of the Stormwater Management Standards in order.

#### Standard 1: (Untreated discharges)

***No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.***

There are no new outfalls proposed as part of this redevelopment project. Work is limited to minor modifications in permeable surfaces, including resetting of pervious granite paver installations, replenishment of permeable wood play area surface, and limited addition/repair of permeable coarse grade stone dust pathways, within the disturbed and compacted area within the existing fence line/raised timber edge treatment. No change in drainage patterns, flows, or volumes is associated with this project.

#### Standard 2: (Peak discharge rates)

***Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.***

The project area currently contains no impervious surfaces and the proposed project will result in no change in impervious area of the project site from the existing conditions. Thus, the proposed project will not result in an increase to the peak discharge rate. Existing grades and drainage patterns will be maintained, and the majority of the project area is depressed and surrounded by raised timber edging allowing for increased stormwater infiltration in the wood surface play area. In addition, a small dry well is proposed to drain any stormwater runoff that is trapped within the pan of the new play area "dance chimes" equipment.

#### Standard 3: (Groundwater recharge)

***Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to the maximum extent practicable. The annual recharge from the post development site should approximate the annual recharge from the pre-development or existing site conditions, based on soil types.***

The proposed project will result in no change in impervious area of the project site from the existing conditions and will not result in a decrease to annual groundwater recharge. Permeable surfaces and paver installations will be reset to promote the infiltration of groundwater through proper bedding materials and spacing.

Standard 4: (80% TSS Removal)

***Stormwater management systems must be designed to remove 80% of the average annual postconstruction load of Total Suspended Solids (TSS). This standard is met when:***

- a. Suitable practices for source control and pollution prevention are identified in a long-term pollution prevention plan and thereafter are implemented and maintained;***
- b. Stormwater BMPs are sized to capture the required water quality volume***
- c. Pretreatment is provided in the Massachusetts Stormwater Handbook.***

The proposed project will result in no change in impervious area of the project site from the existing conditions and the activities in this space are limited to non-pollutant generating uses such as pedestrians and children at play.

Standard 5: (Land Uses with Higher Potential Pollutant Loads (LUHPPL))

**For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable. If through source control and/or pollution prevention, all land uses with higher potential pollutant loads cannot be completely protected from exposure to rain, snow, snow melt and stormwater runoff, the proponent shall use the specific stormwater BMPs determined by the Department to be suitable for such use as provided in the Massachusetts Stormwater Handbook. Stormwater discharges from land uses with higher potential pollutant loads shall also comply with the requirements of the Massachusetts Clean Waters Act, M.G.L. c. 21, §§ 26-53, and the regulations promulgated there under at 314 CMR 3.00, 314 CMR 4.00 and 314 CMR 5.00.**

The project is not a LUHPPL as there is no vehicular activity associated with this use.

Standard 6: (Critical Areas)

***Stormwater discharges to a Zone II or Interim Wellhead Protection Area of a public water supply and stormwater discharges near or any other critical area require the use of the specific source control and pollution prevention measures and the specific stormwater best management practices determined by the Department to be suitable for managing discharges to such area, as provided in the Massachusetts Stormwater Handbook. A discharge is near a critical area if there is a strong likelihood of a significant impact occurring to said area, taking into account site-specific factors. Stormwater discharges to Outstanding Resource Waters or Special Resource Waters shall be set back from the receiving water and receive the highest and best practical method of treatment. A “stormwater discharge,” as defined in 314 CMR 3.04(2)(a)1. or (b), to an Outstanding Resource Water or Special Resource Water shall comply with 314 CMR 3.00 and 314 CMR 4.00. Stormwater discharges to a Zone I or Zone A are prohibited unless essential to the operation of the public water supply.***

The project is not located within a Critical Area.



Standard 8: (Erosion, Sediment Control)

***A plan to control construction-related impacts, including erosion sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan), must be developed and implemented.***

All redevelopment projects shall fully comply with Standard 8.

This project area is less than an acre in size and will not require the preparation and filing of an EPA NPDES Stormwater Pollution Prevention Plan (SWPPP). Erosion control measures have been included in the Site Plans on Page L1.0 as required by Standard 8. The limit of work area is delineated by an existing fence and will be surrounded by snow fence for additional protection, as well as a line of silt fence and coir logs along the down gradient limit of work. There are no existing drainage structures that require protection in the vicinity of the project area. All materials removed during this construction will be immediately removed from the site as access to the area is limited by existing fence, so any vehicles/equipment associated with these disposal areas will need to be staged outside of the buffer zone in accordance with the standards under the existing Massachusetts Department of Conservation and Recreation (DCR) Operation & Maintenance Plan for park areas.

Standard 9: (Long Term Pollution Prevention Plan (LTPPP))

***A long-term operation and maintenance plan must be developed and implemented to ensure that stormwater management systems function as designed.***

All redevelopment projects shall fully comply with Standard 9.

A long-term pollution prevention plan has been included within this filing.

Standard 10: (Illicit Discharges)

***All illicit discharges to the stormwater management system are prohibited.***

All redevelopment projects shall fully comply with Standard 10.

There are no known illicit discharges to the stormwater management system and none are proposed. A copy of the Illicit Discharge Compliance Statement signed by DCR, Esplanade Association, and the Project Engineer is included for record.

**ILLCIT DISCHARGE COMPLIANCE STATEMENT**

**Owner Name:** Massachusetts Department of Conservation & Recreation (DCR)

**Operator Name:** Esplanade Association

**Site Area:** Esplanade Park – Stoneman Playground

**Date:** December 4, 2019

This statement is provided in accordance with the provisions of Massachusetts Stormwater Management Standards (the Standards), Standard 10, and the Massachusetts Stormwater Handbook.

To the best of the Owner, Operator, and Engineer's knowledge, no illicit discharges exist on the Project Site and no illicit discharges are proposed as part of the Project. Any illicit discharges identified during or after construction will be immediately disconnected in accordance with the Standards.

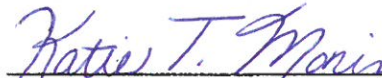
Signed:

  
\_\_\_\_\_  
Massachusetts DCR

Signed:

  
\_\_\_\_\_  
Esplanade Association

Signed:

  
\_\_\_\_\_  
Katie T. Moniz, P.E., Senior Project Manager  
Fort Point Associates, a Tetra Tech company

# Erosion & Sedimentation Control Plan & Long-Term Pollution Prevention Plan

**Esplanade Park Stoneman Playground**

**Boston, Massachusetts**

**Prepared For:**

Esplanade Association

**In Coordination with:**

Massachusetts Department of Conservation & Recreation (DCR)

**Prepared By:**

Fort Point Associates

A Tetra Tech, Inc. Company

31 State Street

Boston, MA 02109

**Date:**

December 4, 2019

**TABLE OF CONTENTS**

---

**1.0 INTRODUCTION..... 2**

    1.1 Responsibility..... 2

    1.2 Training..... 2

    1.3 References ..... 2

**2.0 PRACTICES FOR EROSION & SEDIMENTATION CONTROL..... 3**

    2.1 EROSION & SEDIMENTATION CONTROL Measures ..... 3

        2.1.1 Responsibility for Construction Period Erosion & Sedimentation Control Measures ..... 3

        2.1.2 Erosion & Sedimentation Control Best Management Practices (BMPs) ..... 3

        2.1.3 Temporary Erosion Control Measures ..... 4

        2.1.4 Site Access & Laydown Area..... 4

        2.1.5 Construction Equipment and Vehicle Washing..... 4

        2.1.6 Spill Prevention Plan..... 4

**3.0 PRACTICES FOR LONG-TERM POLLUTION PREVENTION ..... 5**

    3.1 Good Housekeeping Measures ..... 5

        3.1.1 Storage of Materials and Waste..... 5

        3.1.2 Vehicle Washing Controls ..... 5

        3.1.3 Spill Prevention and Response Plans..... 5

        3.1.4 Maintenance of Landscaped Areas ..... 6

        3.1.5 Storage and Use of Fertilizers, Herbicides, and Pesticides..... 6

        3.1.6 Pet Waste Management ..... 6

        3.1.7 Winter Maintenance ..... 6

        3.1.8 Maintenance of Permeable Materials (Pavers & Stone dust)..... 6

## **1.0 INTRODUCTION**

The Erosion & Sedimentation Control (ESC) Plan (for construction period) and the Long-Term Pollution Prevention (LTPP), along with the existing Operation and Maintenance Plan for Esplanade park areas, filed with the City of Boston, shall be implemented at the Stoneman Playground to provide suitable practices for source control of pollutants.

The System has been designed in accordance with the ten (10) MassDEP Stormwater Management Standards provided in the Stormwater Management Policy and Massachusetts Wetlands Protection Act, which relate to the protection of wetlands and water bodies, control of water quantity, recharge to groundwater, water quality and protection of critical areas, erosion/sedimentation control and stormwater maintenance.

### **1.1 RESPONSIBILITY**

The Owner possesses the primary responsibility for overseeing and implementing the ESC Plan and LTPP Plan. When necessary the Owner shall designate responsibility to a professional engineer or other technical professional with expertise and experience in proper operation and maintenance. The Massachusetts Department of Conservation and Recreation (DCR) and the Esplanade Association will continue their history of working together under the existing Operation and Maintenance Plan for Esplanade park areas going forward.

### **1.2 TRAINING**

The Massachusetts Department of Conservation and Recreation (DCR) and the Esplanade Association will continue their history of working together under the existing Operation and Maintenance Plan for Esplanade park areas. When a Landscape Contractor is selected to perform this work, a copy of this document, along with a kickoff training meeting, will be conducted to clearly identify the practices and procedures allowed for this project.

### **1.3 REFERENCES**

The ESC Plan and LTPP Plan reference the following documents:

**Site Plans:**

Plans titled “Stoneman Playground Improvements – Construction Documents” dated September 30, 2019, prepared by CBA Landscape Architects, LLC.

**Stormwater Redevelopment Checklist:**

Checklist titled “Redevelopment Checklist,” Esplanade Park Stoneman Playground dated December 4, 2019 (or as amended), prepared by Fort Point Associates, a Tetra Tech, Inc. company.

## 2.0 PRACTICES FOR EROSION & SEDIMENTATION CONTROL

The Owner/Operator shall employ the use of erosion and sedimentation controls during construction by adhering to the practices and procedures described in this Section.

### 2.1 EROSION & SEDIMENTATION CONTROL MEASURES

The Owner or designated responsible party shall implement the following good housekeeping measures to ensure long-term pollution prevention and provide suitable practices for source control of pollutants.

#### 2.1.1 Responsibility for Construction Period Erosion & Sedimentation Control Measures

The Landscape Contractor shall be solely responsible for erosion and sedimentation control at the site. The Contractor shall utilize a system of operations and all necessary erosion and sedimentation control measures, even if not specified herein or elsewhere, to minimize erosion damage at the site to prevent the migration of sediment into environmentally sensitive areas. Environmentally sensitive areas include all wetland resource areas within, and downstream of, the site, and those areas of the site that are not being altered.

#### 2.1.2 Erosion & Sedimentation Control Best Management Practices (BMPs)

This section provides the Owner and Contractor with a suggested order of construction that shall minimize erosion and the transport of sediments. The individual objectives of the construction techniques described herein shall be considered an integral component of the project design intent of each project phase. The construction sequence is not intended to prescribe definitive construction methods and should not be interpreted as a construction specification document.

However, the Contractor shall follow general construction phase principles provided below:

- Protect and maintain existing vegetation wherever possible.
- Minimize the area of disturbance.
- To the extent possible, route unpolluted flows around disturbed areas.
- Install mitigation devices as early as possible.
- Minimize the time disturbed areas are left unstabilized.
- Maintain siltation control devices in proper condition.

General staging of work should proceed as follows:

##### Limited Demolition, Grubbing, and Stripping of Limits of Project Area

- Install erosion and sedimentation perimeter controls – silt fence and coir log along down gradient edge of project area along with snow fence to delineate work area within existing fence line.
- Install tree protection measures for existing trees and shrubs to be maintained.
- Remove select existing play equipment per plans.
- Grub and strip limited areas of existing compacted play surface and/or lawn for installation of stone base material for installation of permeable materials.

#### Construction of New Playground Equipment

- Maintain erosion and sedimentation perimeter controls – silt fence and coir log along down gradient edge of project area along with snow fence to delineate work area within existing fence line.
- Install new play equipment and associated foundations/footings.

#### Final Site Improvements & Stabilization

- Maintain erosion and sedimentation perimeter controls – silt fence and coir log along down gradient edge of project area along with snow fence to delineate work area within existing fence line.
- Install stone base material for installation of permeable materials such as granite paver blocks, coarse aggregate stone dust, and wood play area surface.
- Install finish surfaces – granite pavers, coarse aggregate stone dust, and wood play area surface.
- Vegetate remaining lawn areas and/or mulch existing landscaping features (trees/shrubs).

### **2.1.3 Temporary Erosion Control Measures**

Siltation barriers composed of coir logs and trenched silt fence will be installed along the down gradient edge of the project area. Snow fence will be installed at the drip line of existing trees and around existing shrubs to be protected during construction. The entire project area will be surrounded by snow fence along the existing fence line to delineate on-going construction from the general public. Signage will be installed to indicate the Stoneman Playground is closed during on-going construction. All barriers and signage will remain in place until disturbed areas are stabilized. See Site Plan Set Plan Sheet L1.0 for erosion control details for perimeter sedimentation controls and tree protection measures.

### **2.1.4 Site Access & Laydown Area**

The Landscape Contractor shall coordinate access to the project site area with DCR, who will review Contractor's plans for compliance with their best practices for public safety and park area protection. No construction vehicles, equipment, materials, or stockpiles shall be allowed within wetland resource areas or associated buffer zones. As a contractor has not been selected at this time, a construction staging plan is not available at this time. A final copy of construction staging materials shall be submitted to the Boston Conservation Agent for administrative review.

### **2.1.5 Construction Equipment and Vehicle Washing**

The washing of construction vehicles and equipment is not allowed on this site or in adjacent areas of the Esplanade park area.

### **2.1.6 Spill Prevention Plan**

A spill containment kit will be kept on-site within the Contactor's designated staging area and/or belongings throughout the duration of construction. Should there be an accidental release of petroleum products within 100-feet of a wetland resource area, the appropriate agencies, including MassDEP and others, will be immediately notified.

## **3.0 PRACTICES FOR LONG-TERM POLLUTION PREVENTION**

The Owner/Operator shall employ the use of good housekeeping practices by adhering to the maintenance schedules and procedures described in this Section.

### **3.1 GOOD HOUSEKEEPING MEASURES**

The Owner or designated responsible party shall implement the following good housekeeping measures to ensure long-term pollution prevention and provide suitable practices for source control of pollutants.

#### **3.1.1 Storage of Materials and Waste**

The storage of hazardous materials and waste is not anticipated at this site.

#### **3.1.2 Vehicle Washing Controls**

The washing of vehicles is not anticipated at this site.

#### **3.1.3 Spill Prevention and Response Plans**

There is limited risk of a spill requiring action at this site. The following good housekeeping practices shall be followed to reduce the risk of spills or other accidental exposure of hazardous materials to the resource area:

- No storage of hazardous materials on this site.
- Coordinate all maintenance activities with the Massachusetts Department of Conservation and Recreation (DCR).
- Follow manufactures recommendations for proper use and disposal of material.

A spill of greater than 10 gallons of oil or a spill of any quantity that has reached a surface water, into a sewer, storm drain, ditch, or culvert leading to a surface water, shall be immediately reported to one or more municipal, state, or federal authority. In the event of a hazardous waste spill on-site the following protocol should be followed.

- If it is safe to do so, employees (or on-site property manager) detecting an oil spill should immediately stop the release and use available materials to prevent the spread of oil, particularly trying to discharge to catch basins.
- If there is a potentially flammable, toxic, or explosive condition, evacuate the vicinity of the spill.
- If is believed that a reportable or dangerous condition exists, immediately call your local Fire Department to notify them of the release.

If is believed that a reportable condition exists, immediately call the Massachusetts Department of Environmental Protection (DEP) to notify them of the release. Call the DEP Emergency Response Section toll free statewide number, 1-888-304-1133. Be prepared to provide the following information to the DEP and the Fire Department:

- Identity of the caller
- Contact phone number
- Location of the spill



- Type of product spilled
- Approximate quantity of product spilled
- Extent of actual and/or potential water pollution
- Date and time of spill
- Cause of spill

Contact a Licensed Site Professional (LSP) to assist in further handling of the material(s) and MassDEP.

### **3.1.4 Maintenance of Landscaped Areas**

Routine mowing shall be conducted on a consistent basis with grass cut to adequate height to maintain a healthy vegetative cover. Bare areas, areas of sparse growth, and signs of erosion shall be addressed by landscaper. Where rill erosion is evident, armor the area with an appropriate lining or divert the erosive flows to on-site areas able to withstand the concentrated flows.

### **3.1.5 Storage and Use of Fertilizers, Herbicides, and Pesticides**

Fertilizers, herbicides, and pesticides shall not be stored on this site. Coordinate any use of fertilizers, herbicides, and/or pesticides with DCR under their existing Operation and Maintenance Plan for Esplanade park areas.

### **3.1.6 Pet Waste Management**

Pet waste management involves using a combination of pet waste collection programs, pet awareness education to inform residents of the proper disposal techniques for pet droppings. DCR and/or the Esplanade Association provides these management services under their existing Operation and Maintenance Plan for Esplanade park areas.

### **3.1.7 Winter Maintenance**

Coordinate winter maintenance activities with DCR under their existing Operation and Maintenance Plan for Esplanade park areas.

### **3.1.8 Maintenance of Permeable Materials (Pavers & Stone dust)**

As maintenance requirements of permeable materials will be different than traditional non-porous pavements in the area, the areas of porous pavement are delineated by the existing fence line. Permeable areas will be inspected three months after the initial installation, and annually thereafter to ensure these areas are free of accumulated sediments and/or surface deterioration. DCR and/or the Esplanade Association will perform annual maintenance activities under their existing Operation and Maintenance Plan for Esplanade park areas.

ATTACHMENT C

---

NOTIFICATIONS

**Notification to Abutters Under the  
Massachusetts Wetlands Protection Act**

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following:

- A. The name of the applicant is the **Esplanade Association**. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of **Boston** seeking permission to remove, till, dredge, or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40).
- B. The address of the lot where the activity is proposed is the **Miriam and Sidney Stoneman Playground within the Charles River Reservation in Boston, Massachusetts**.
- C. Copies of the notice of Intent may be examined at **Boston City Hall** between the hours of **9 AM and 5 PM** on the following days of the weeks: **Monday through Friday**. For more information, call Boston City Hall at **(617) 635-3850**.
- D. Copies of the Notice of Intent may be obtained from the applicant's representative by calling this telephone number **(617) 357-7044 x 207** between the hours of **9 AM and 5 PM** on the following days of the week: **Monday through Friday**
- E. Information regarding the date, time, and place of the public hearing may be obtained from **Boston Conservation Commission** by calling this telephone number: **(617) 635-4416** between the hours of and on the following days of the week: **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: *Notice of the public hearing, including its date, time, and place, will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.*

NOTE: *You also may contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.*

ATTACHMENT D

---

PLANS

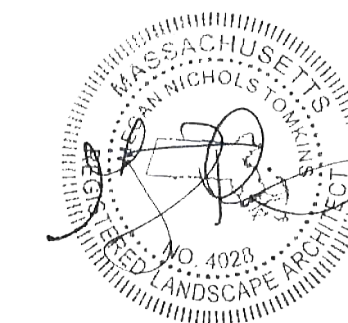
# STONEMAN PLAYGROUND IMPROVEMENTS

Charles River Esplanade  
Boston, MA

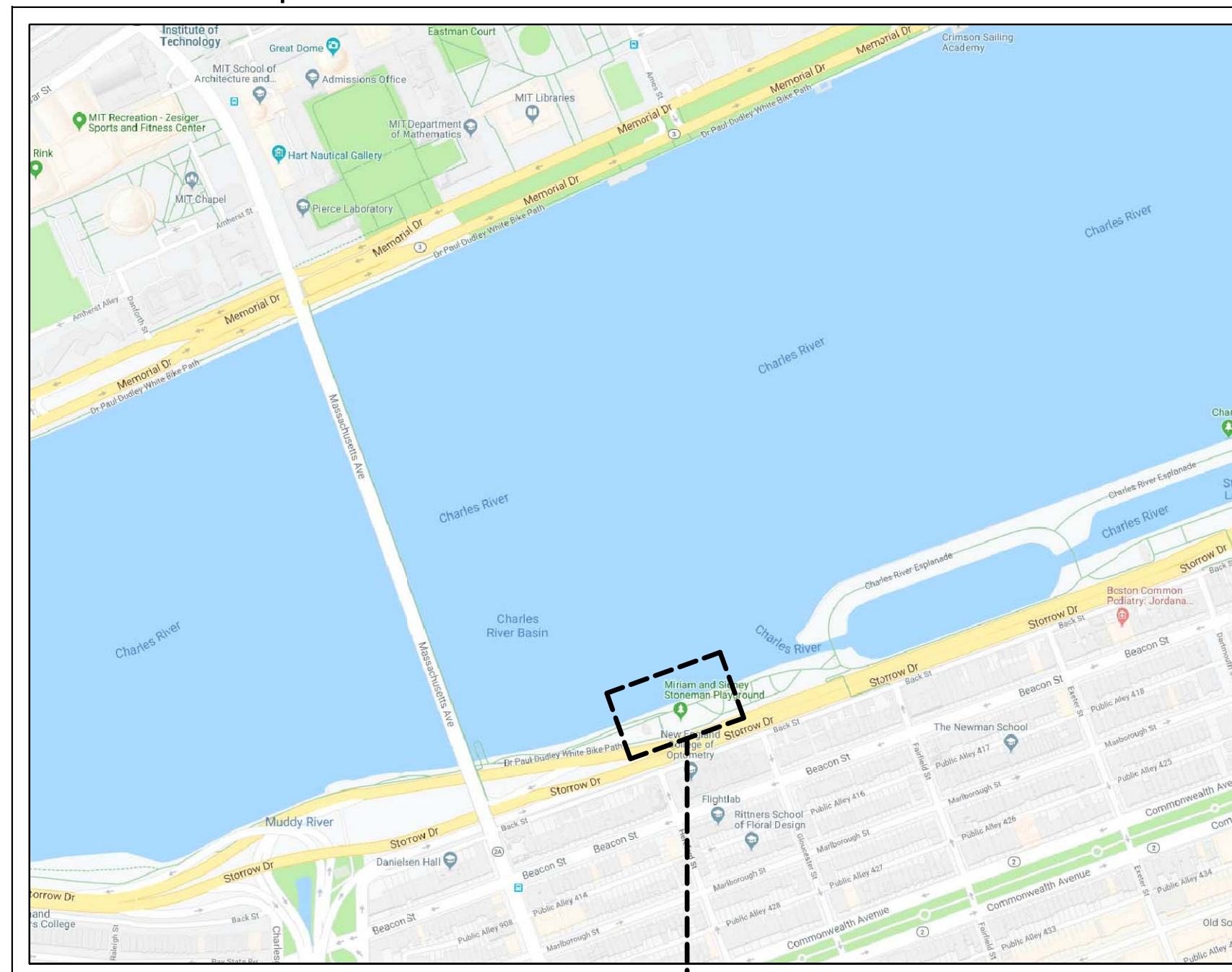
CBA | Landscape Architects LLC

24 THORNDIKE STREET | CAMBRIDGE MA 02141  
phone 617.945.9760 | www.cbaland.com | cba@cbaland.com

landscape architecture | urban design | master planning



Locus Map

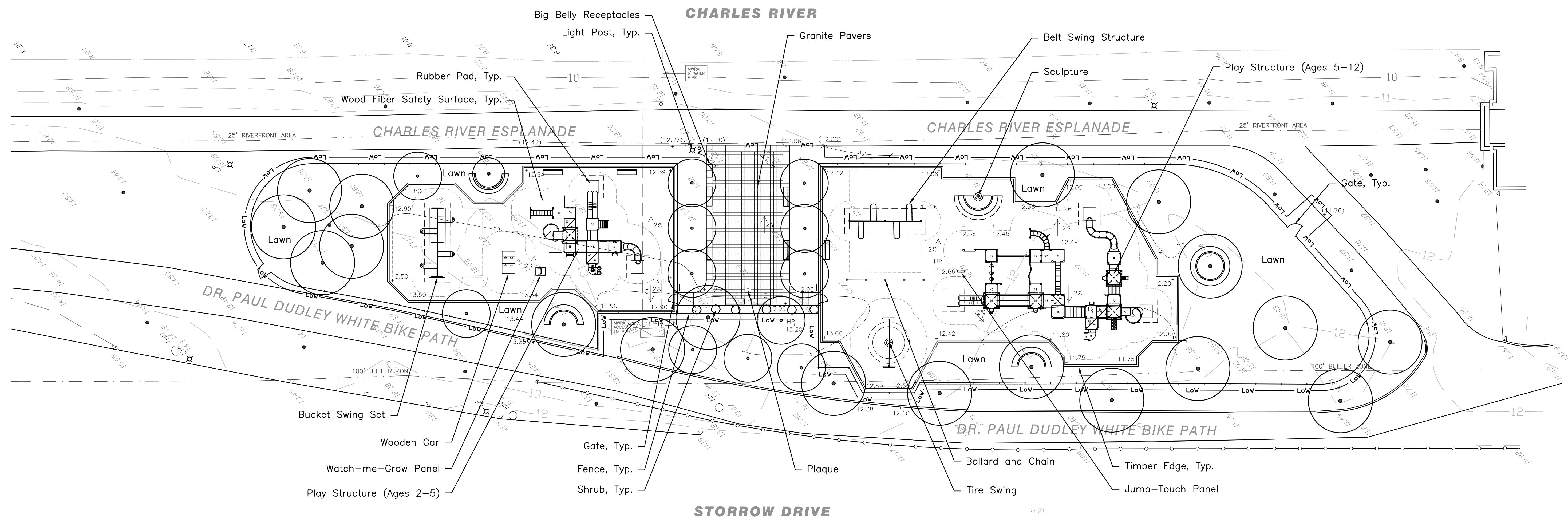


Project Location

September 30, 2019  
Construction Documents

DRAWING LIST CBA - Project No. 1907

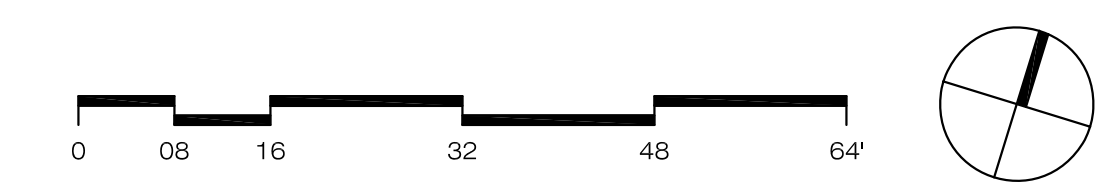
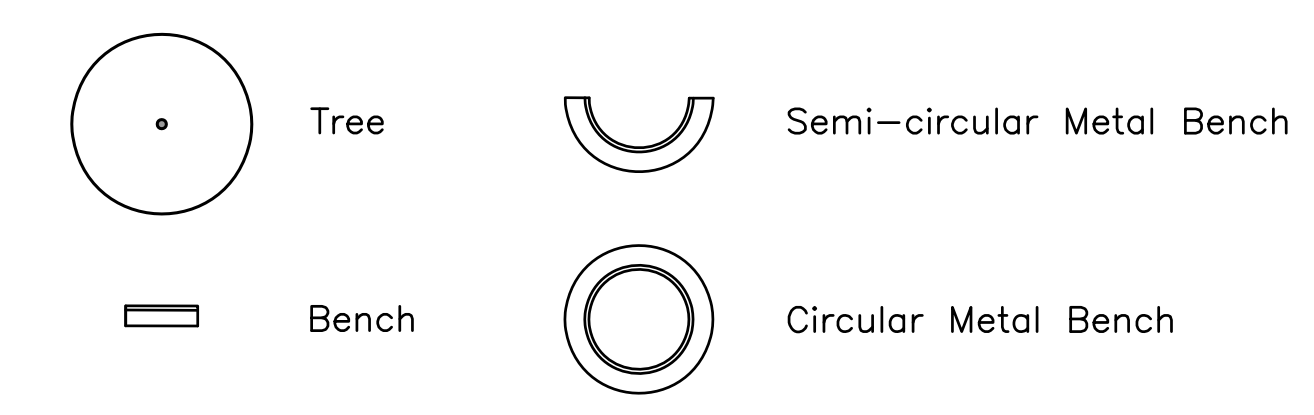
- L0.1 Existing Conditions Plan
- L1.0 Removals Plan
- L2.0 Materials & Layout Plan
- L2.1 Materials & Layout Enlargements
- L3.0 Site Details
- L3.1 Site Details



**EXISTING CONDITIONS NOTE**

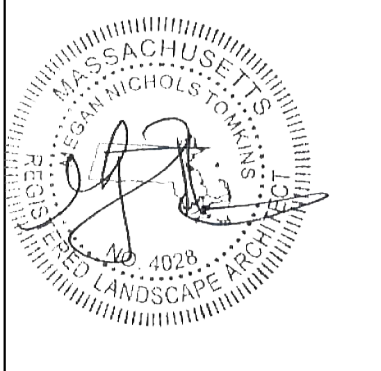
Existing Conditions Plan is based off of the 2001 MDC Esplanade Playground Construction Documents and field observations and measurements recorded June, 2019.

**EXISTING CONDITIONS LEGEND**



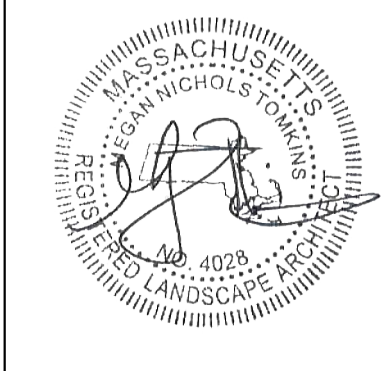
**STONEMAN PLAYGROUND**  
 Boston, MA  
**EXISTING CONDITIONS PLAN**

DATE:	09-30-2019
SCALE:	1/16" = 1' - 0"
FILE:	1907-L1-D-EC & Demo.dwg
DWN BY:	JHC
CKD BY:	CCB/MT
PROJ. #:	1907



**STONEMAN PLAYGROUND**  
 Boston, MA  
**DEMOLITION & REMOVALS PLAN**

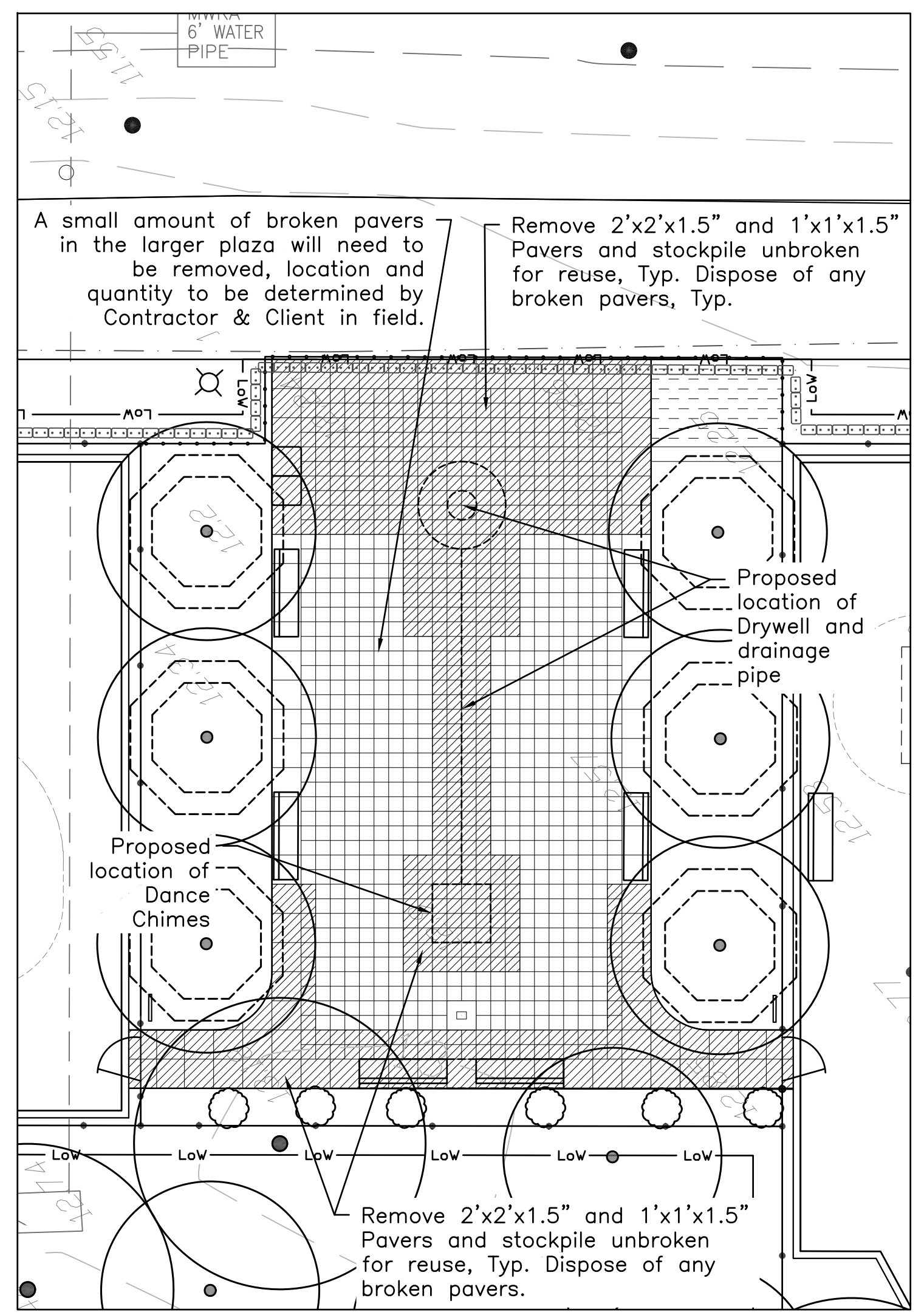
DATE: 09-30-2019  
 SCALE: AS NOTED  
 FILE: 1907-L1-D-EC & Demo.dwg  
 DWN BY: JHC  
 CKD BY: CCB/MT  
 PROJ. #: 1907



**L1.0**

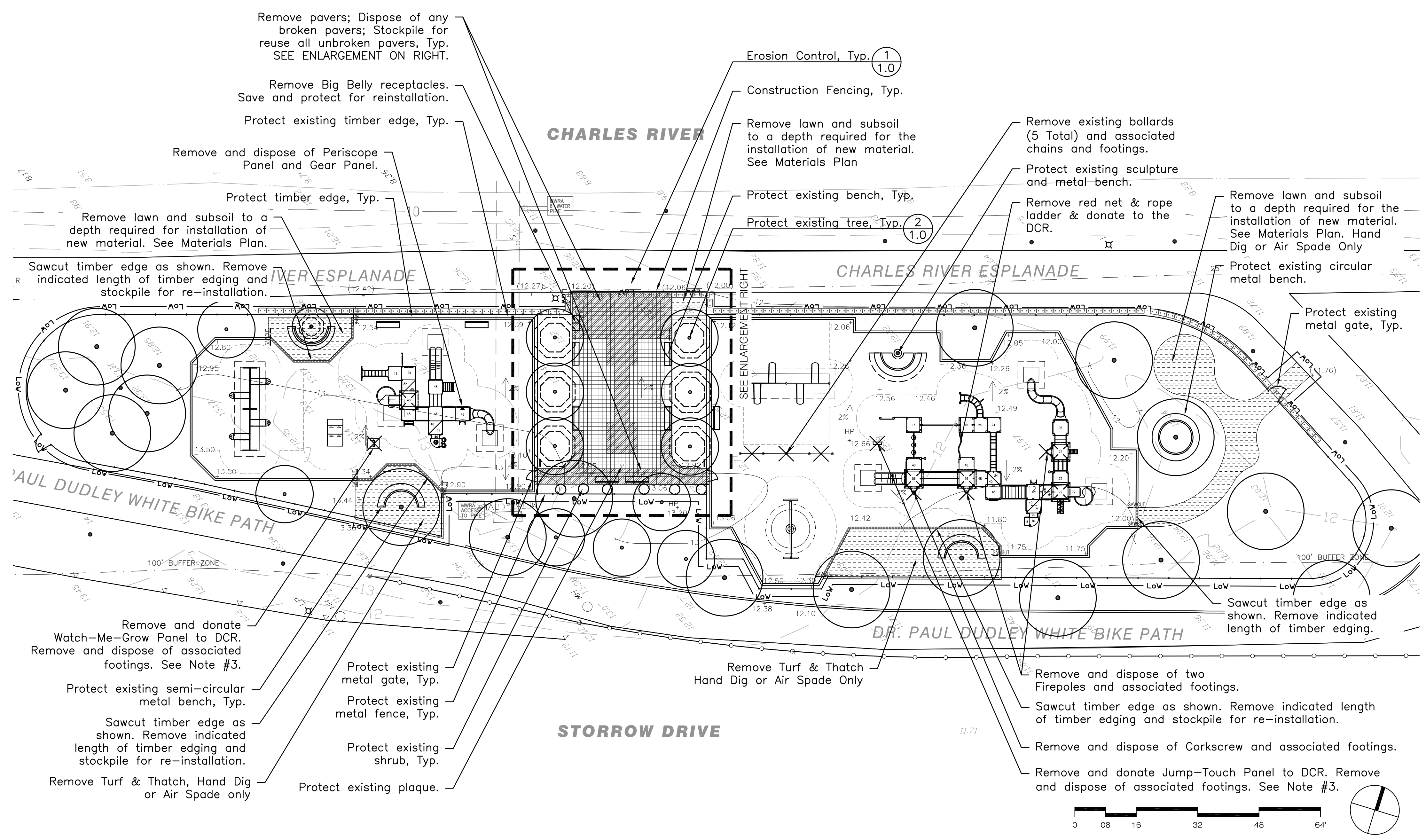
**ENTRY PLAZA ENLARGEMENT**

Scale: 1/8" = 1'-0"



**NOTE**

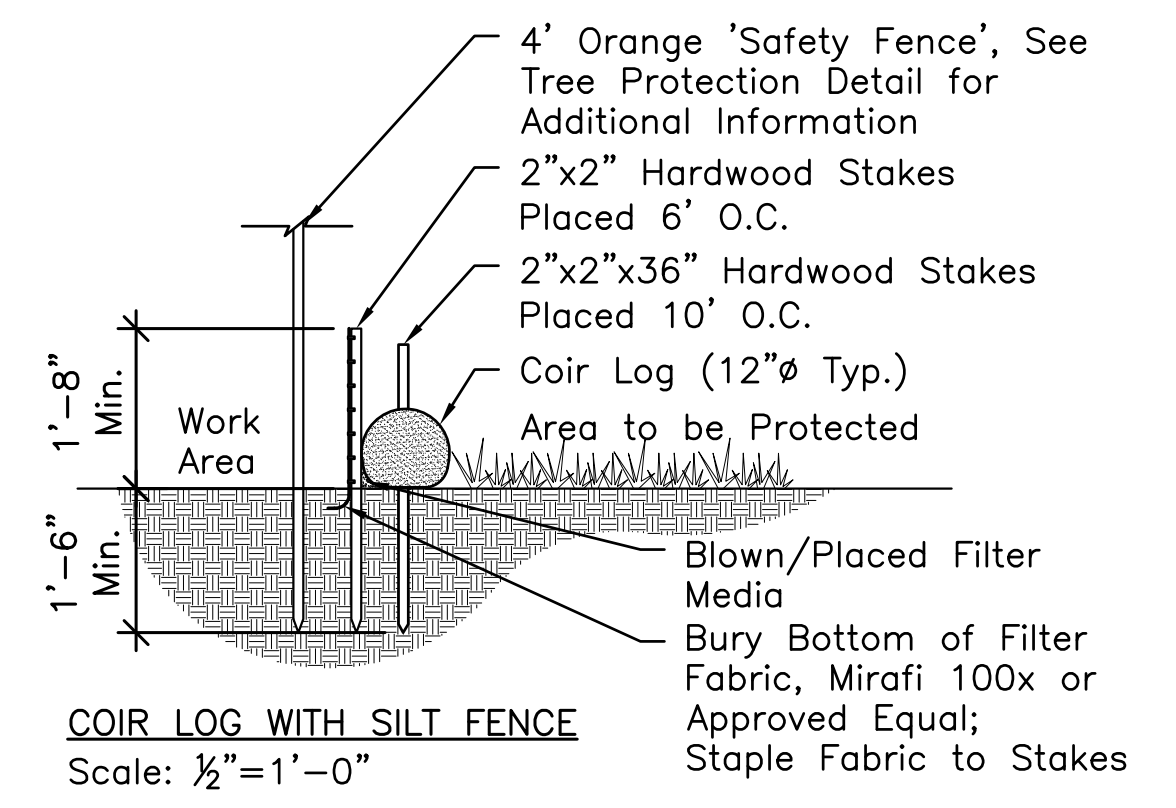
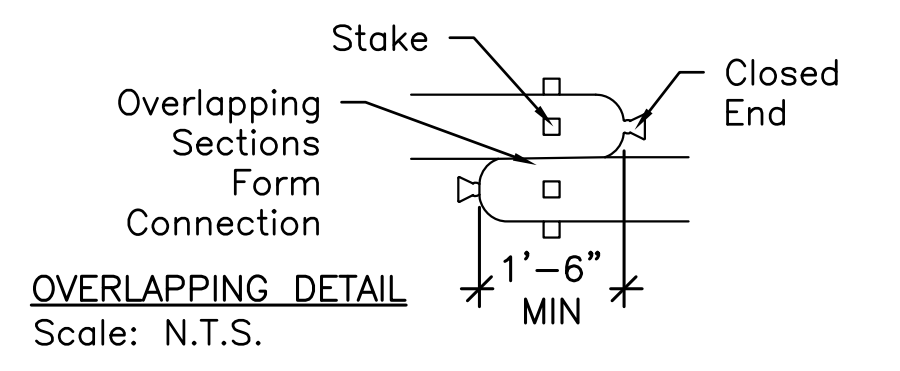
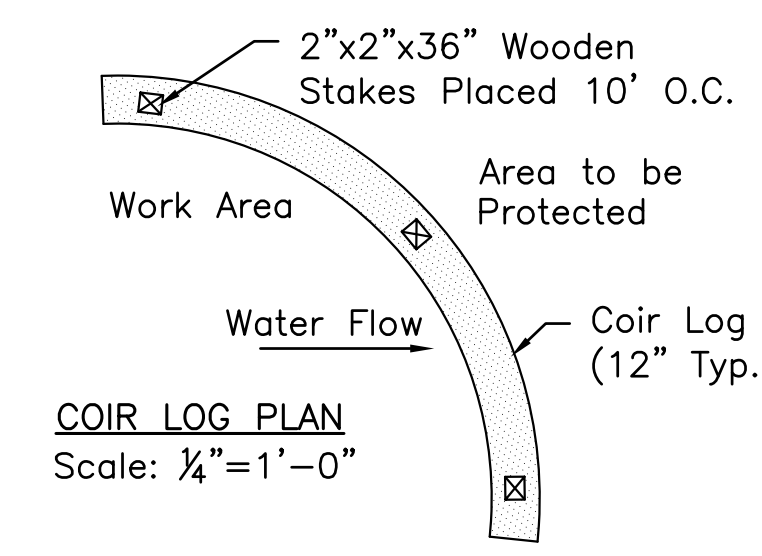
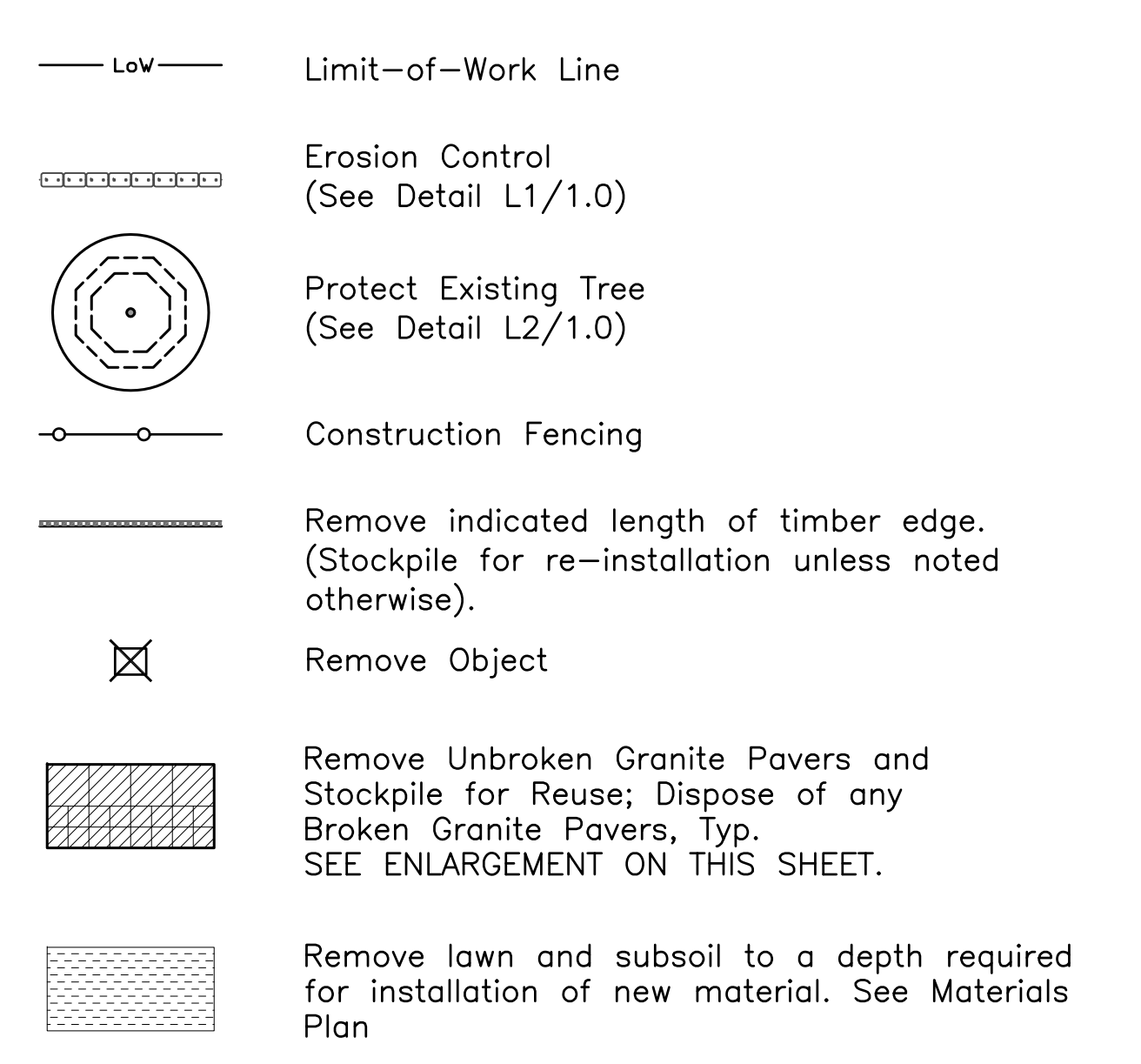
1. Diagram of broken pavers is schematic. Contractor shall review with Landscape Architect all broken pavers that will be needed to be removed for disposal. At completion of project, all unused and unbroken pavers are to be disposed of by Contractor or stockpiled at location designated by Esplanade Association or DCR. Choice is to be made by the Esplanade Association.



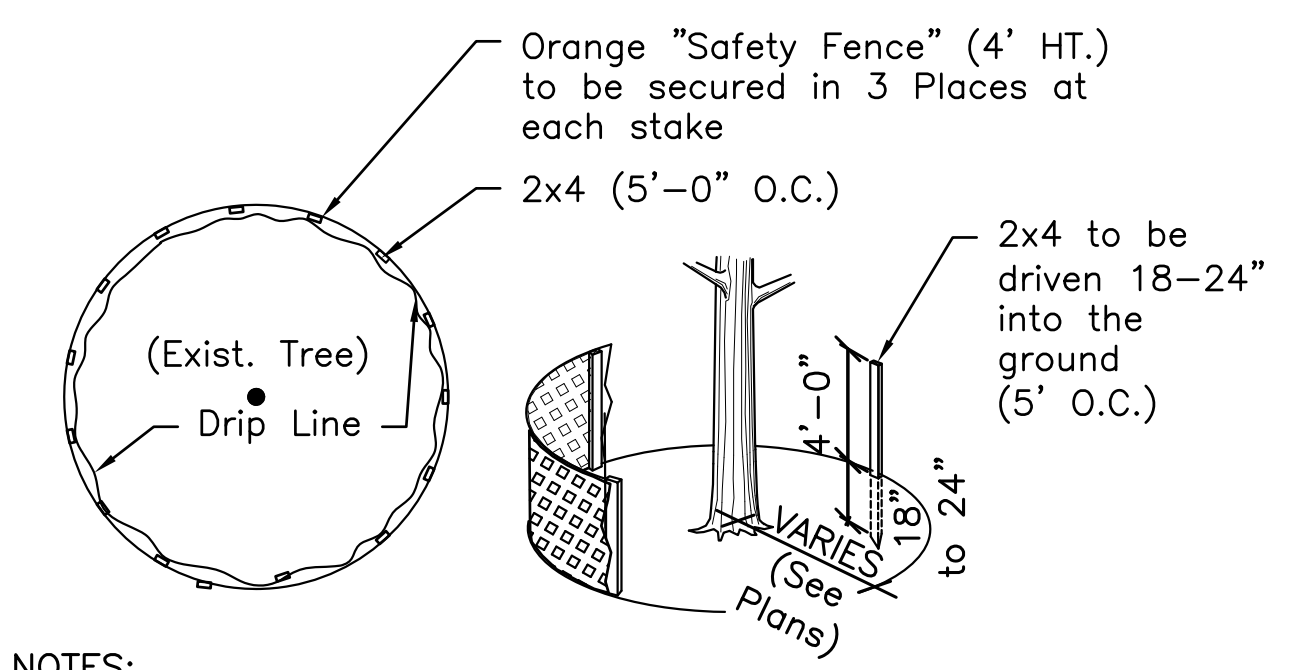
**DEMOLITION & REMOVALS NOTES**

- The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures, prior to starting construction. Call DIG-SAFE.
- Landscape Contractor shall review items to be removed with Landscape Architect prior to commencement of work.
- The DCR shall retain the right of first refusal for any items to be removed from the site. If the DCR elects to retain materials or furnishings from the site, the Contractor shall deliver the selected items to the DCR's yard at no additional cost to the Owner. All other materials slated for disposal shall be disposed of off-site properly and in accordance with all local and state regulations.
- Protect from damage all trees, walls, curbs, paving, play equipment, furniture, and any other site feature that is not designated for removal.
- Inspection and pruning of existing trees are to be by others.
- Any damaged item not scheduled for removal shall be restored by the Contractor to the Owner's satisfaction at no extra charge.
- Contractor to be given directions on how to access the site by the Esplanade Association. These are to be followed at all times.

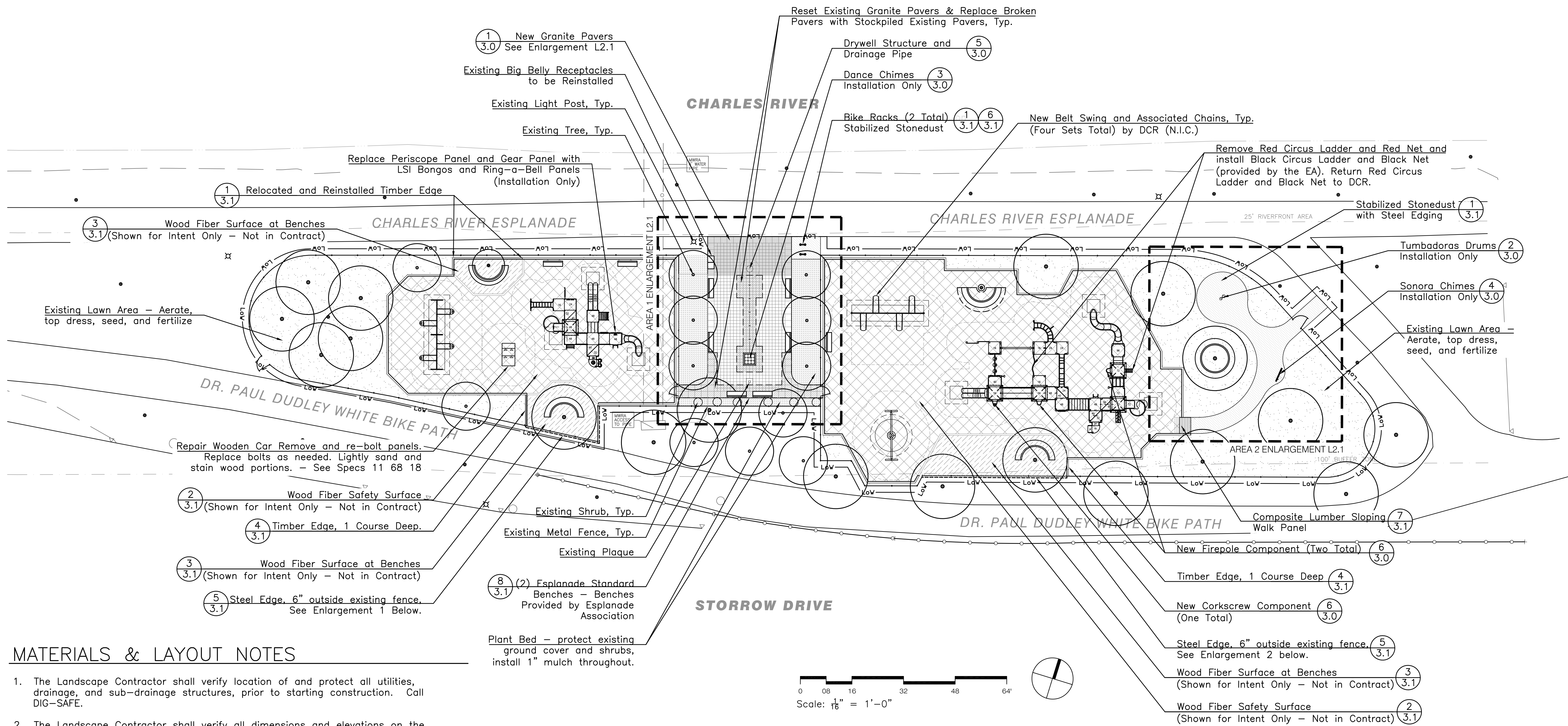
**DEMOLITION & REMOVALS LEGEND**



**1 Erosion Control - Coir Log**  
 Scale: 1/2" = 1'-0"



**2 TREE PROTECTION**  
 Scale: 1/2" = 1'-0"



**MATERIALS & LAYOUT NOTES**

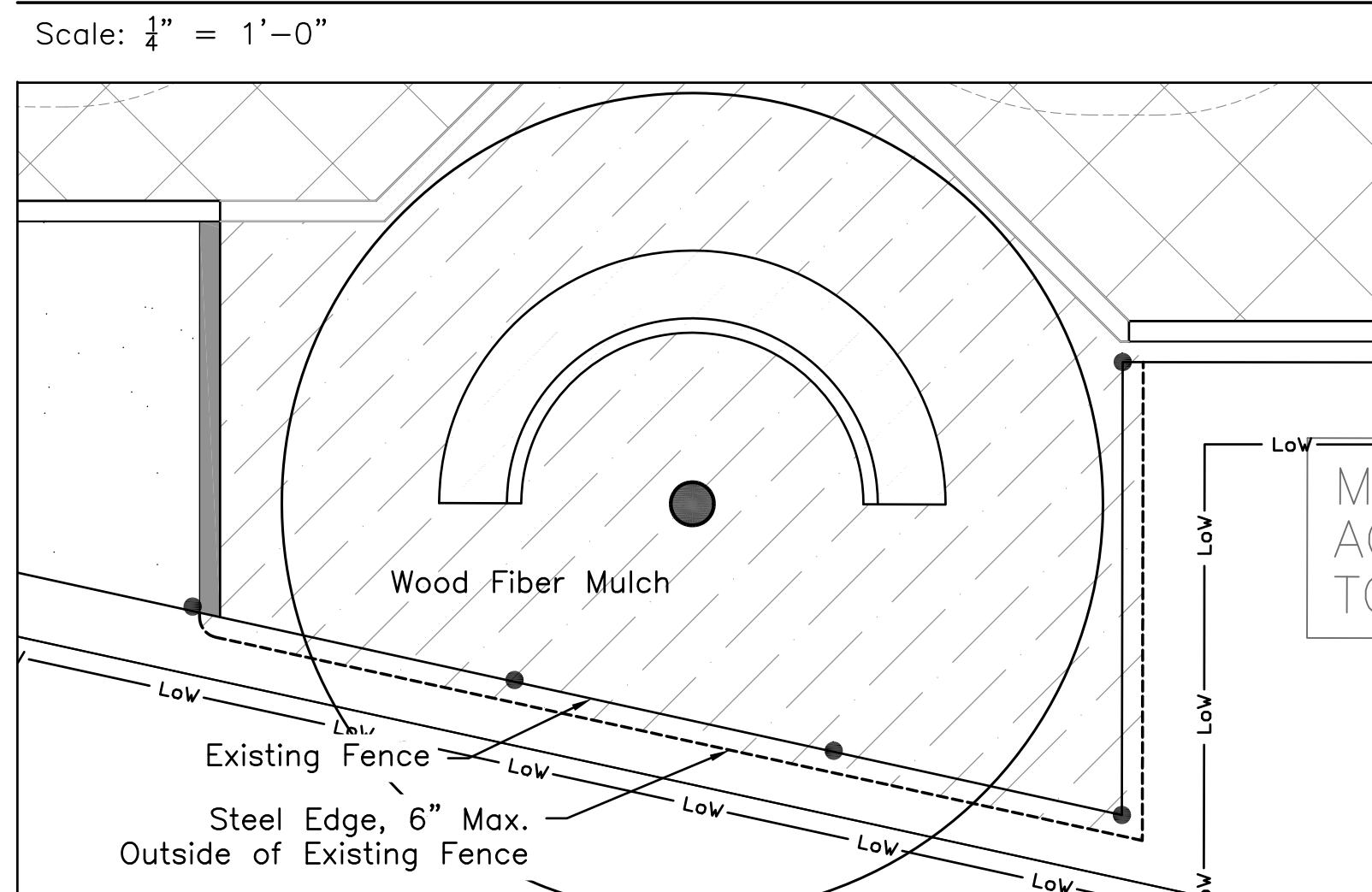
- The Landscape Contractor shall verify location of and protect all utilities, drainage, and sub-drainage structures, prior to starting construction. Call DIG=SAFE.
- The Landscape Contractor shall verify all dimensions and elevations on the ground prior to commencement of construction, and shall immediately report any discrepancies to the Landscape Architect for clarification and resolution prior to commencement.
- The Landscape Contractor shall stake layout of plan on the site for approval of Landscape Architect after demolition but before commencement of new construction.
- Wood fiber safety surface is shown for intent only and is not in contract. Both playground equipment areas shall be replenished with wood fiber safety surfacing provided by the Esplanade Association except where existing rubber safety surfacing pads are located.

**MATERIALS & LAYOUT LEGEND**

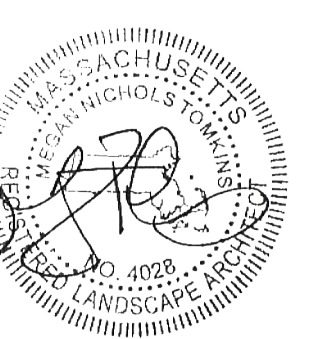
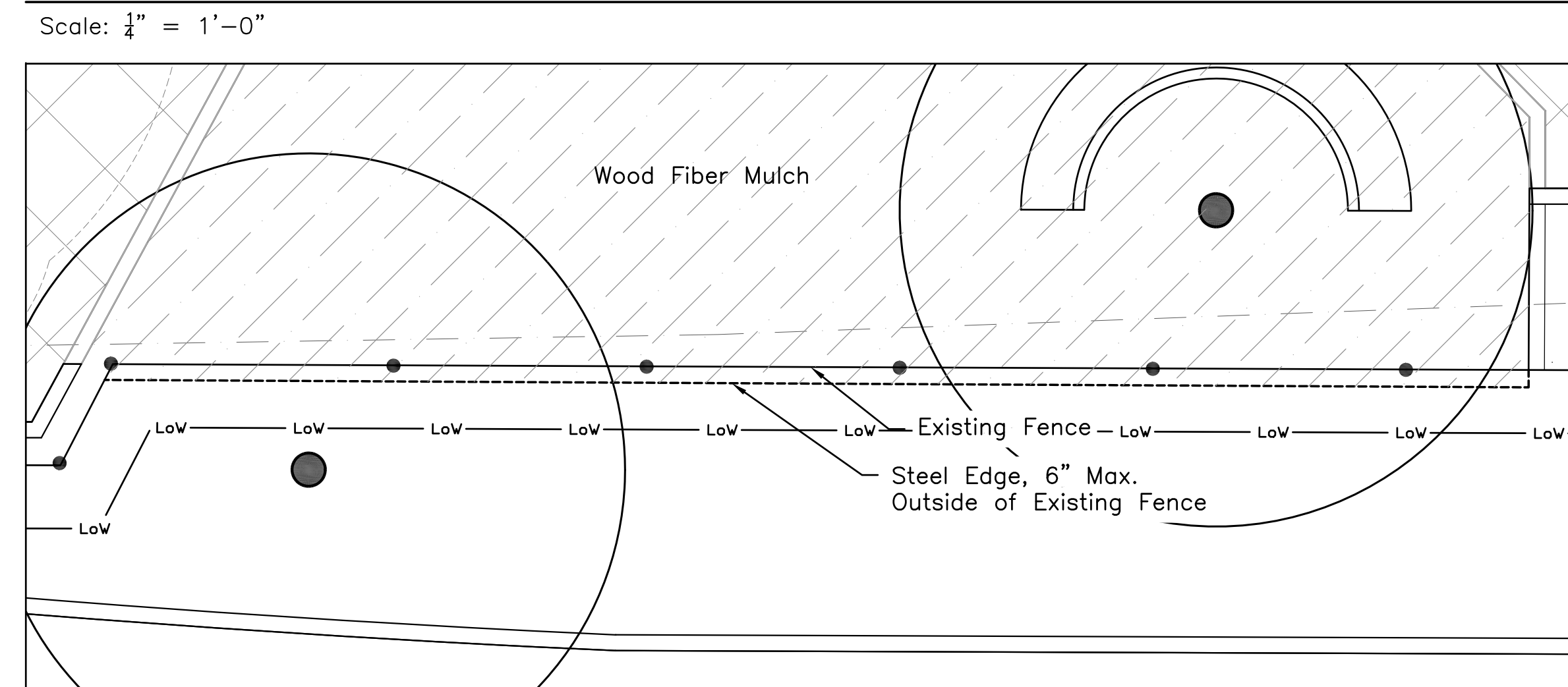
	Limit-of-Work Line		Wood Fiber Safety Surface
	Existing Tree		Wood Fiber Surface at Benches
	Relocated and Reinstalled Timber Edge		Stabilized Stonedust
	Existing Lawn Area - Top dress, seed, and fertilize		
	Plant Bed - protect existing ground cover plants, install 1\"/>		

N.I.C. Not in Contract

**STEEL EDGE ENLARGEMENT 1**



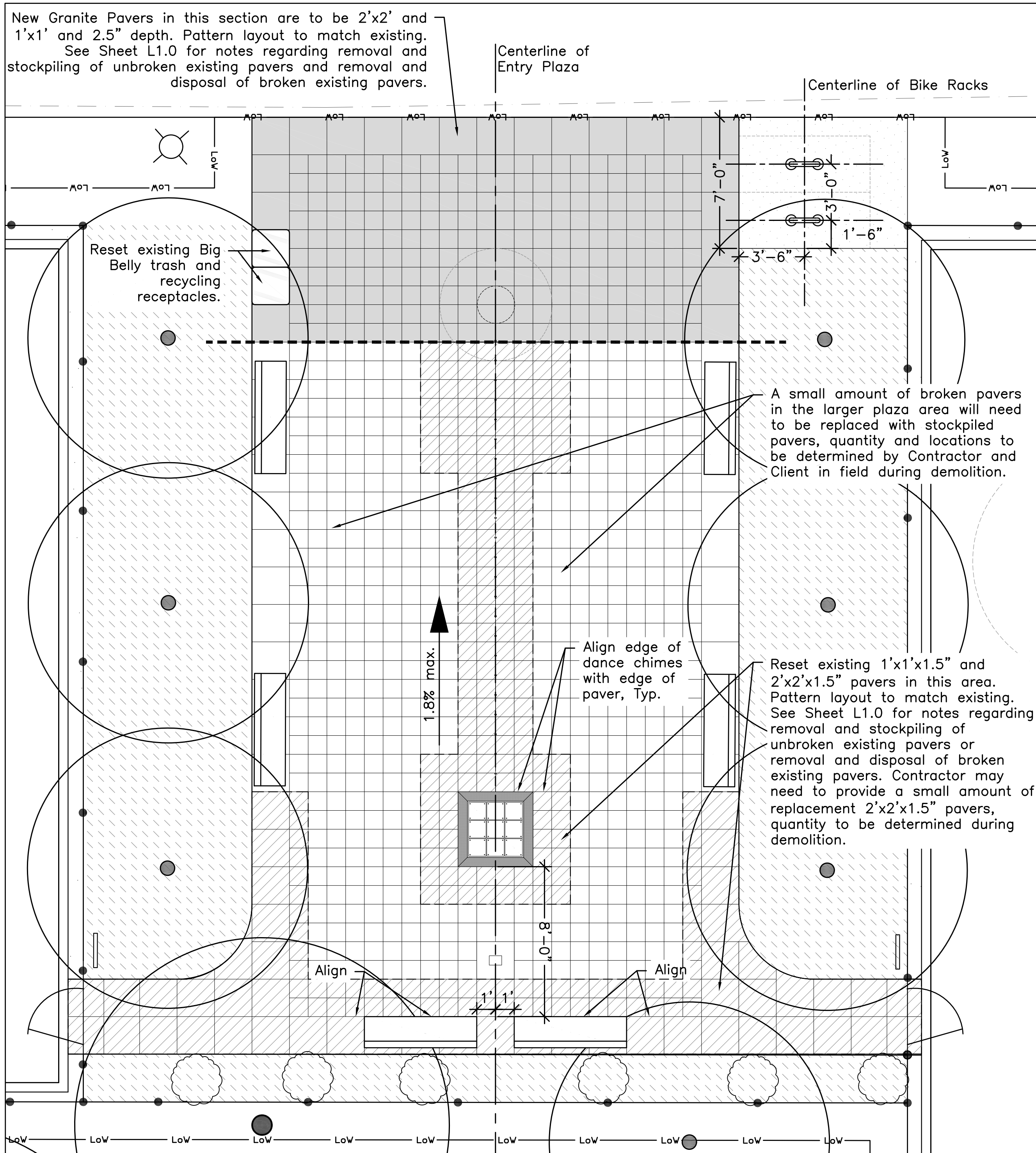
**STEEL EDGE ENLARGEMENT 2**





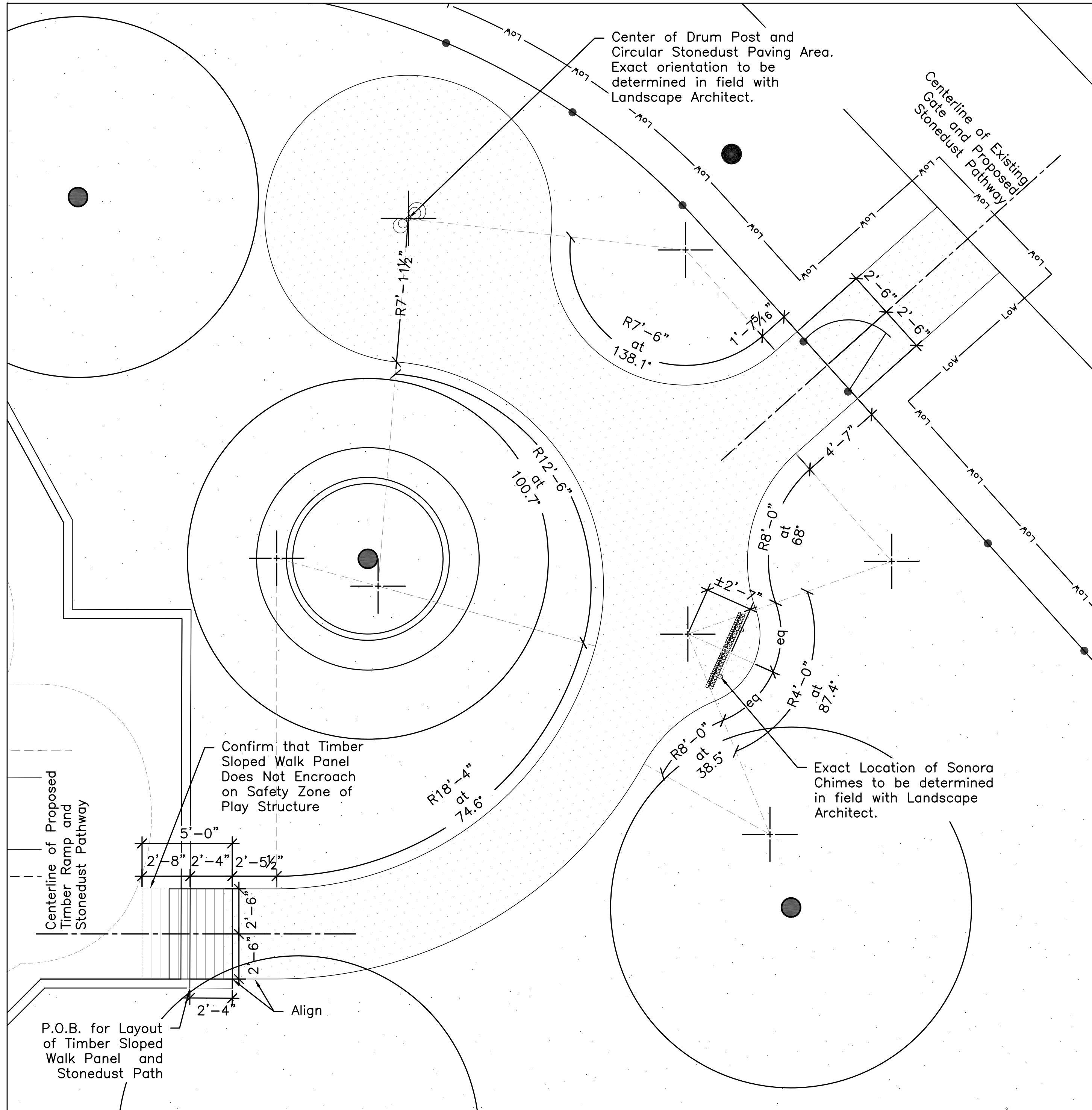
# Area 1 Enlargement

Scale: 1/4" = 1'-0"



# Area 2 Enlargement

Scale: 1/4" = 1'-0"



## MATERIALS & LAYOUT NOTES

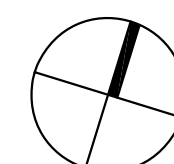
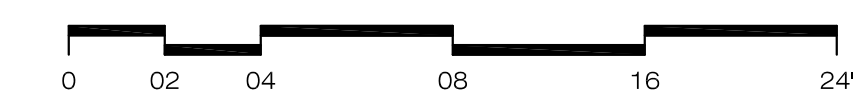
- Granite paving pattern shall match existing.
- New granite pavers shall be 2.5" thick. (Area is shaded in gray).
- Any broken pavers beyond this area shall be replaced with salvaged granite pavers (1.5" thick).
- Powerwash all existing granite pavers that have been reset or have remained.
- Exact locations of dance chimes and benches to be determined in field with Landscape Architect.

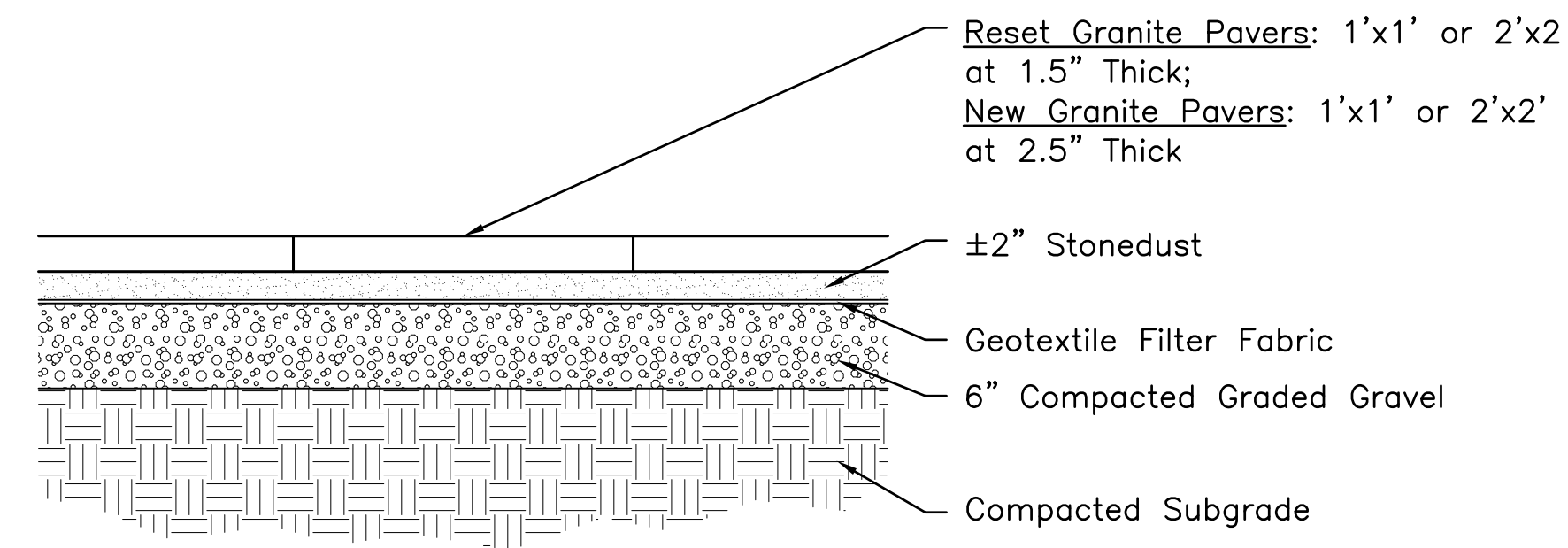
## GRADING NOTES

- Grading of plaza shall be maintained except where pavers have settled. For settled pavers that are being reset, add stonedust to bring pavers back to original grade.
- Grade stakes to be set for approval by Landscape Architect prior to installation of gravel bases and prior to installation of all paving and equipment.
- All transitions to existing grades to be smooth and gradual. 1.8% max. cross-slopes on all paths.
- Verify existing grades in field. Notify Landscape Architect of any discrepancies or conflicts.
- Contractor shall notify Landscape Architect if any proposed conditions exceed 1.8% cross slope once subbase materials are installed and prior to installing finish material.
- Any area outside the Limit of Work Line which is disturbed shall be restored to previous conditions at no cost to the owner.

## LEGEND

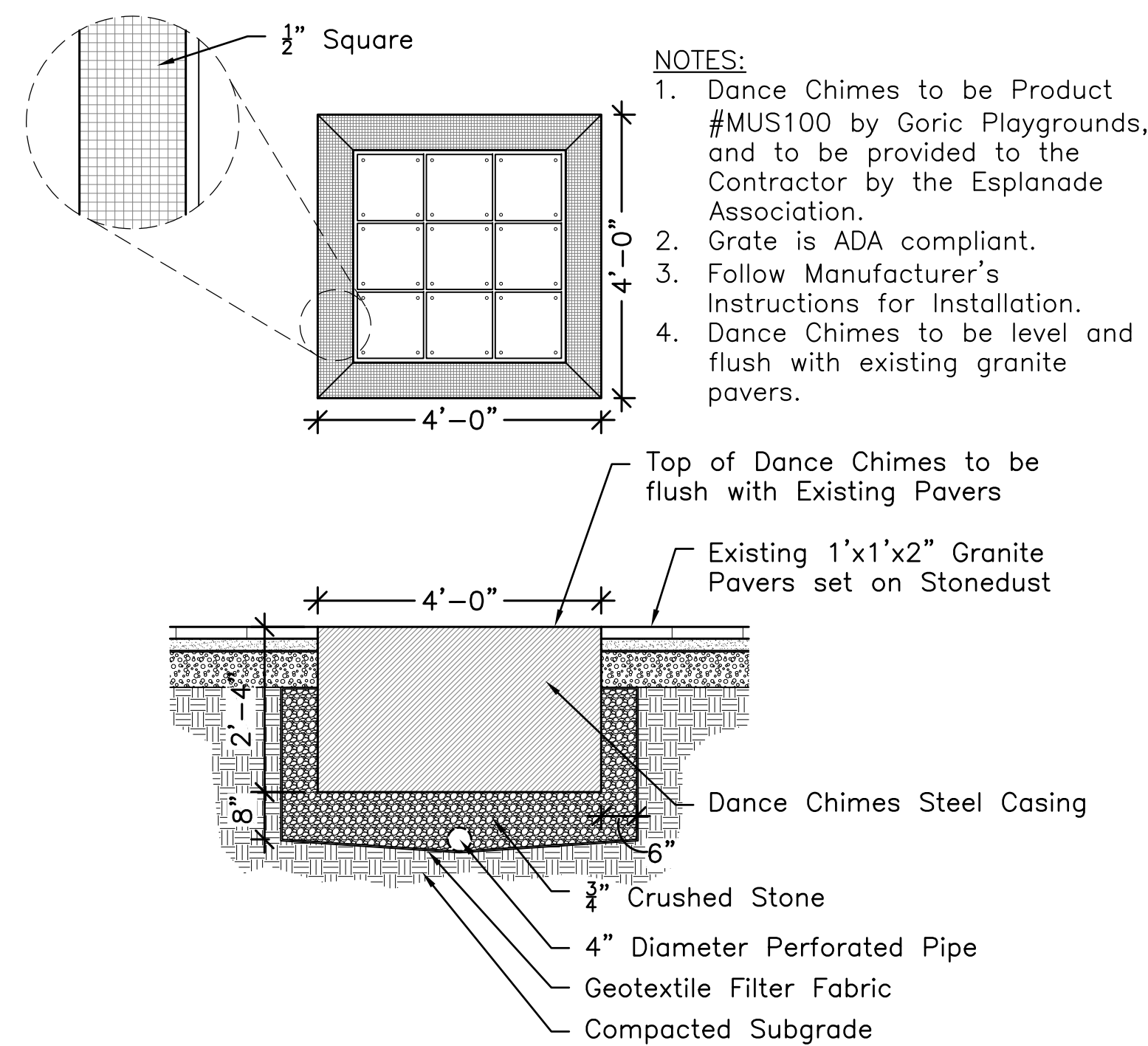
- LoV — Limit-of-Work Line
- Existing Tree
- Existing Lawn Area — Top dress, seed, and fertilize
- Plant Bed — protect existing ground cover plants, install 1" mulch throughout.
- New 2'x2'x2.5" Paver, Typ. (to replace existing 2'x2'x1.5" paver, Typ.)
- New 1'x1'x2.5" Paver, Typ. (to replace existing 1'x1'x1.5" paver, Typ.)
- New Stabilized Stone Dust Paving
- Reset existing 1'x1'x1.5" Paver, Typ. Contractor to replace any broken pavers with stockpiled 1'x1'x1.5".
- Reset existing 2'x2'x1.5" Paver, Typ. Contractor to replace any broken pavers with stockpiled 2'x2'x1.5". A small amount of broken existing 2'x2'x1.5" pavers may need to be replaced with new 2'x2'x1.5" pavers, quantities to be determined by Contractor during demolition.



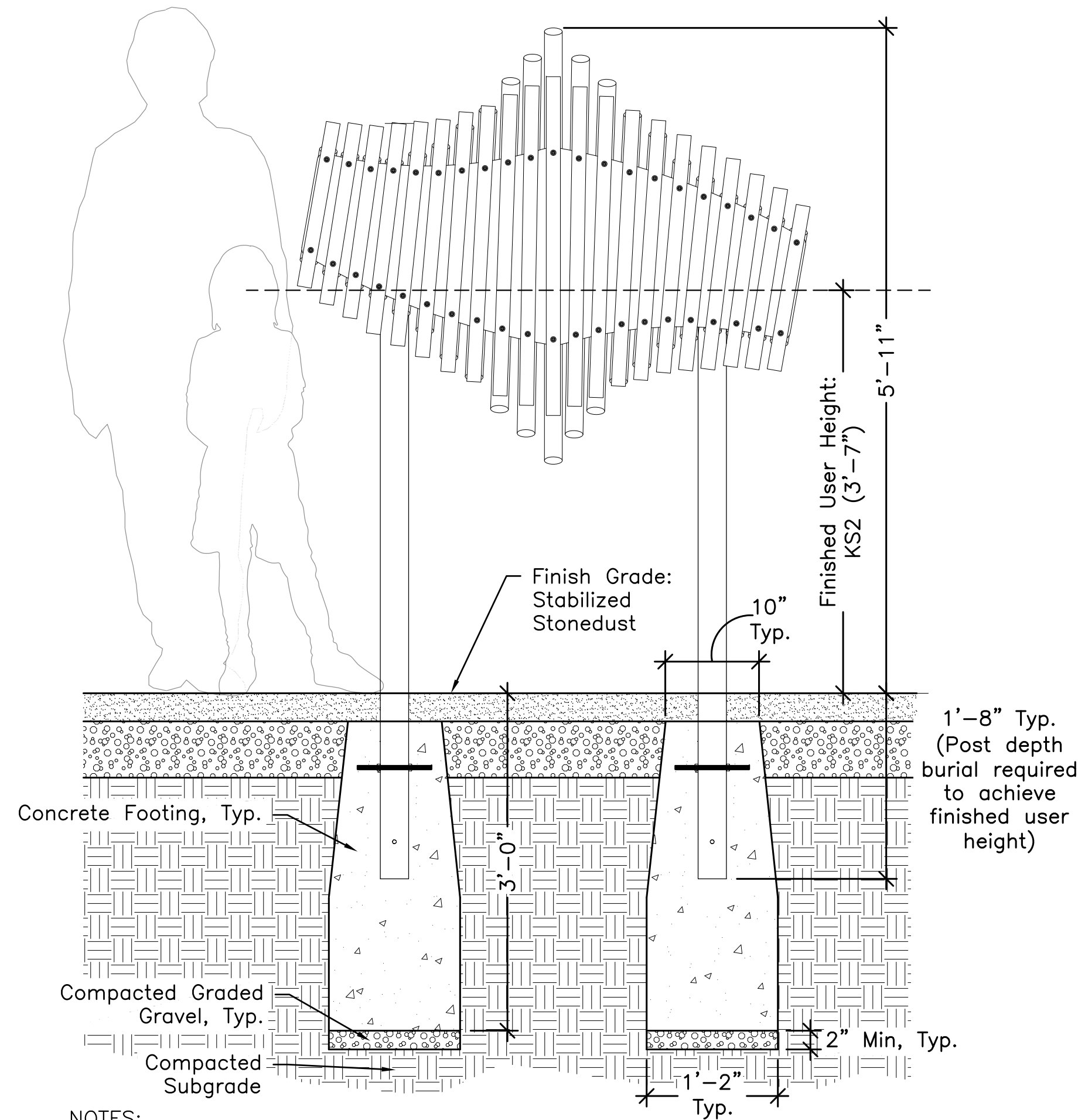
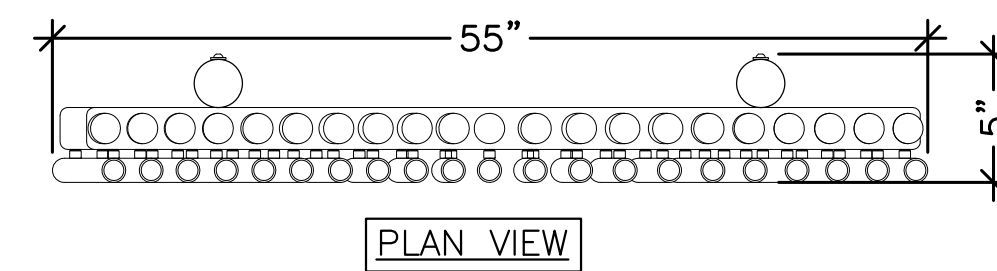


- NOTES:**
1. New granite pavers to match existing in color. Provide physical sample for approval by Landscape Architect and Owner.
  2. Butt joint pavers and sweep joints with stonedust.
  3. Sizes vary. See Plans.

**1 Granite Pavers (New or Reset)**  
Scale: 1" = 1'-0"

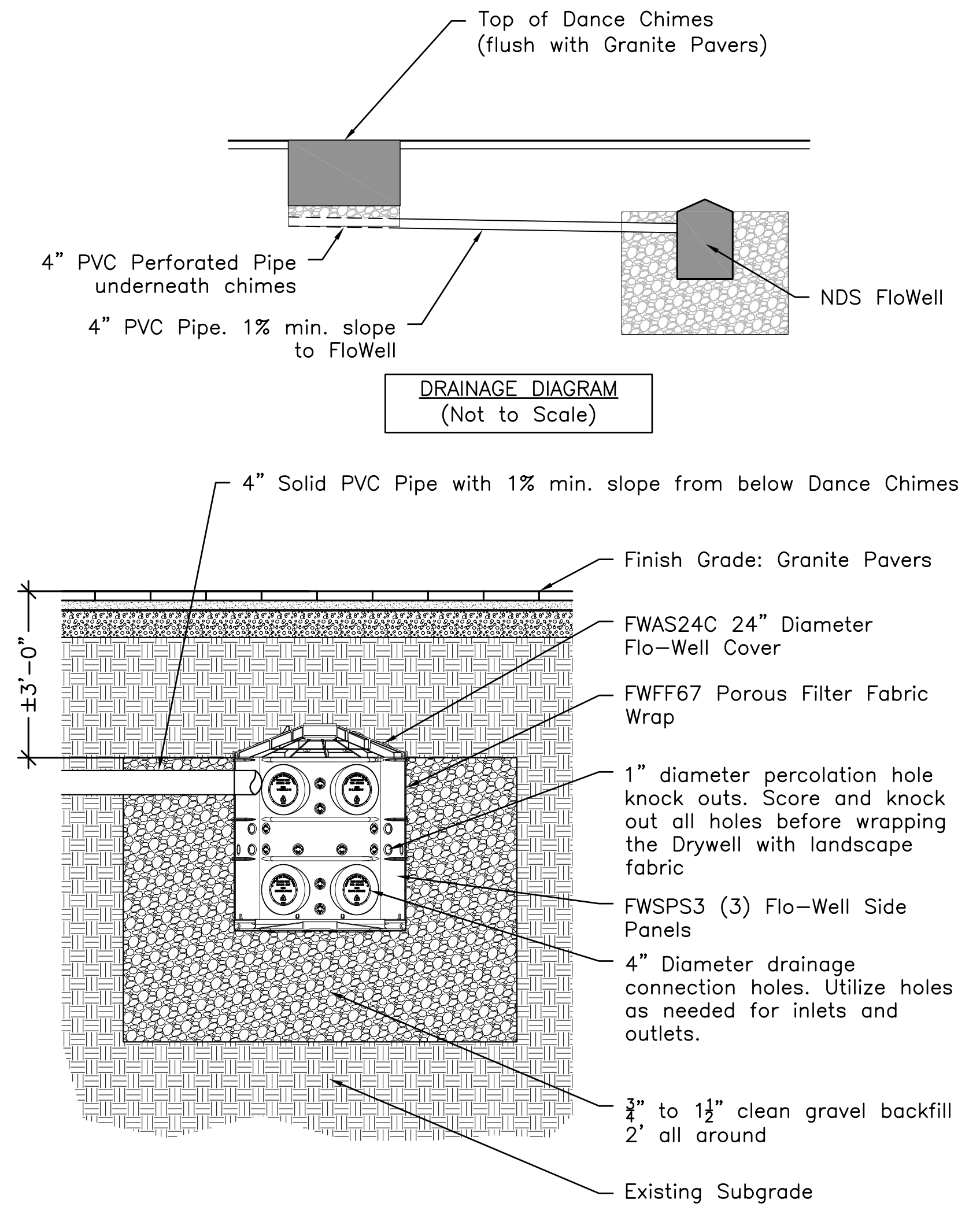


**3 Dance Chimes - Installation Only**  
Scale: 1/2" = 1'-0"



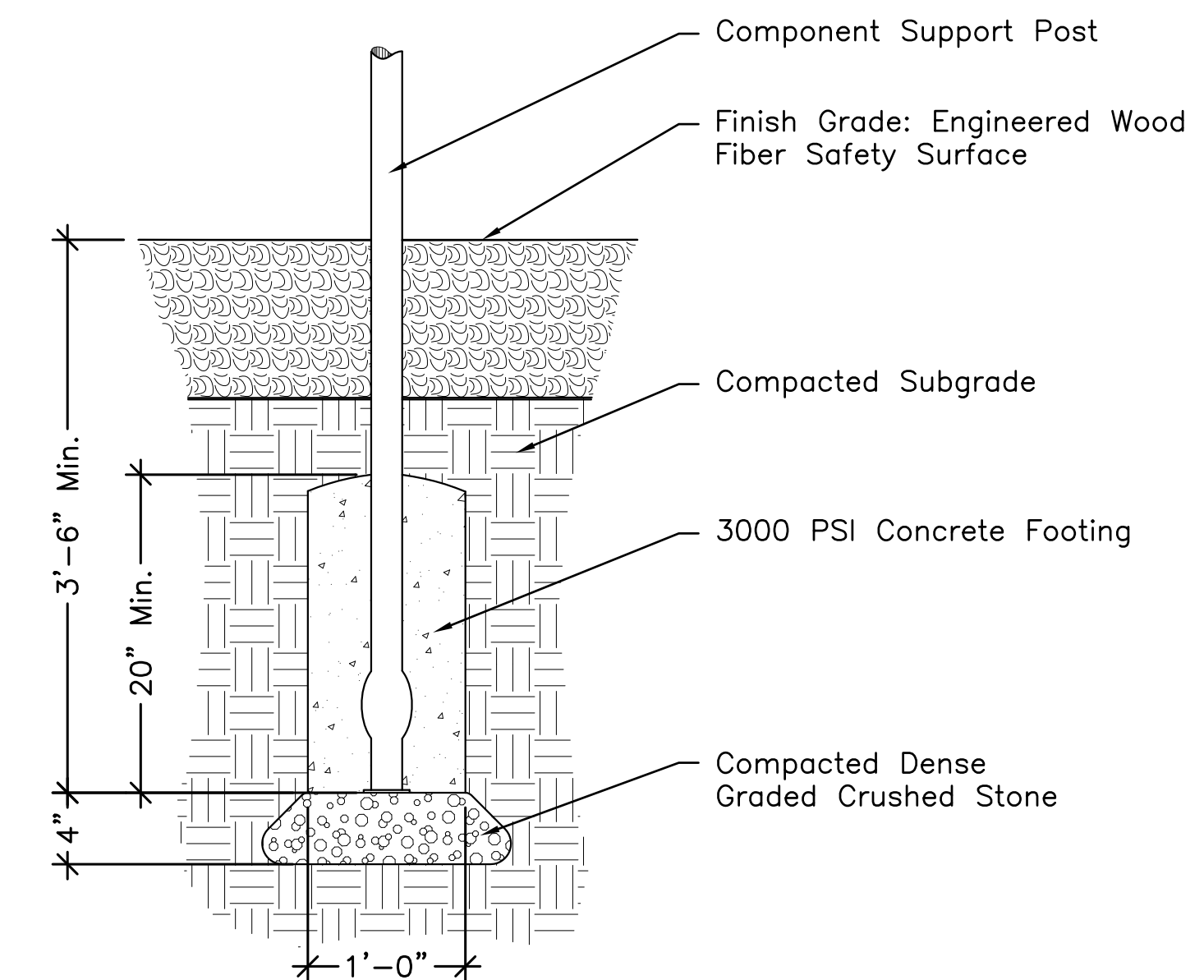
- NOTES:**
1. Tumbadoras Drum to be an Embedded Mount Tumbadoras by Percussion Play Outdoor Musical Instruments, and to be provided to the contractor by the Esplanade Association.
  2. Follow Manufacturer's instructions for installation.
  3. Exact location of drums to be determined and approved in field with Landscape Architect.

**2 Tumbadoras Drums - Installation Only**  
Scale: 1" = 1'-0"



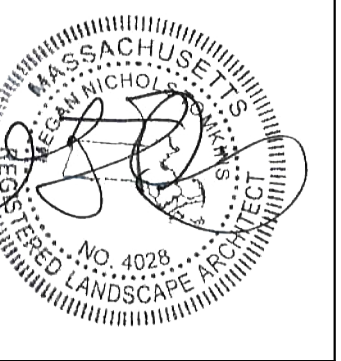
- NOTES:**
1. System to be FWAS24 by NDS (www.ndspro.com).
  2. System must be installed 10' away from any structure or foundation.
  3. Installation to be completed in accordance with manufacturer's specifications.

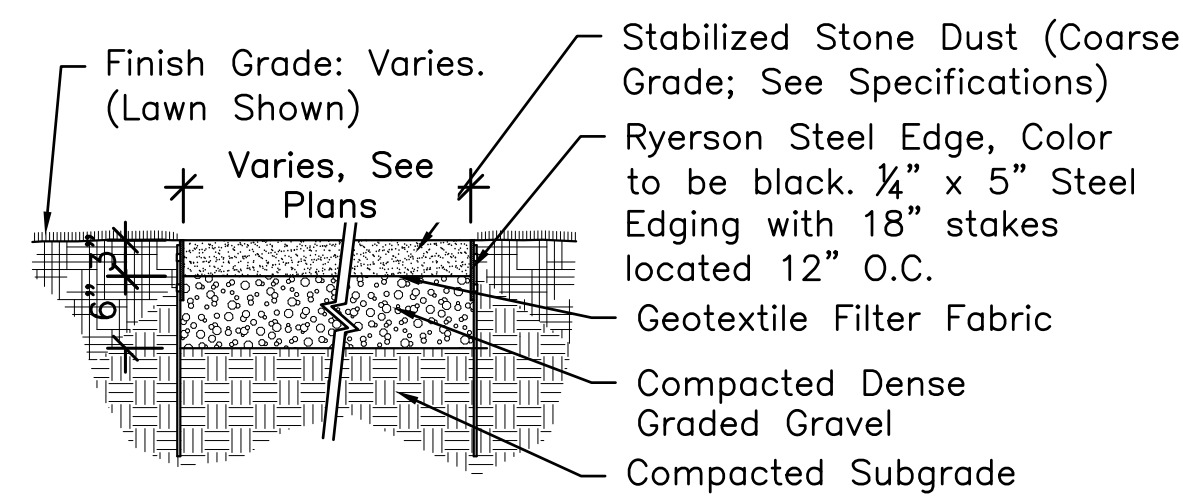
**5 Drywell System**  
Scale: 1/2" = 1'-0"



- NOTES:**
1. Playventure Corkscrew (one total) and Playventure Firepoles (two total) to be by Landscape Structures, Inc. of Delano MI, and provided to Contractor by the Esplanade Association.
  2. See Plans for locations.
  3. Installation to be completed in accordance with Manufacturer's Specifications.

**6 Post Footing for Corkscrew & Firepole Installation Only**  
Scale: 1" = 1'-0"

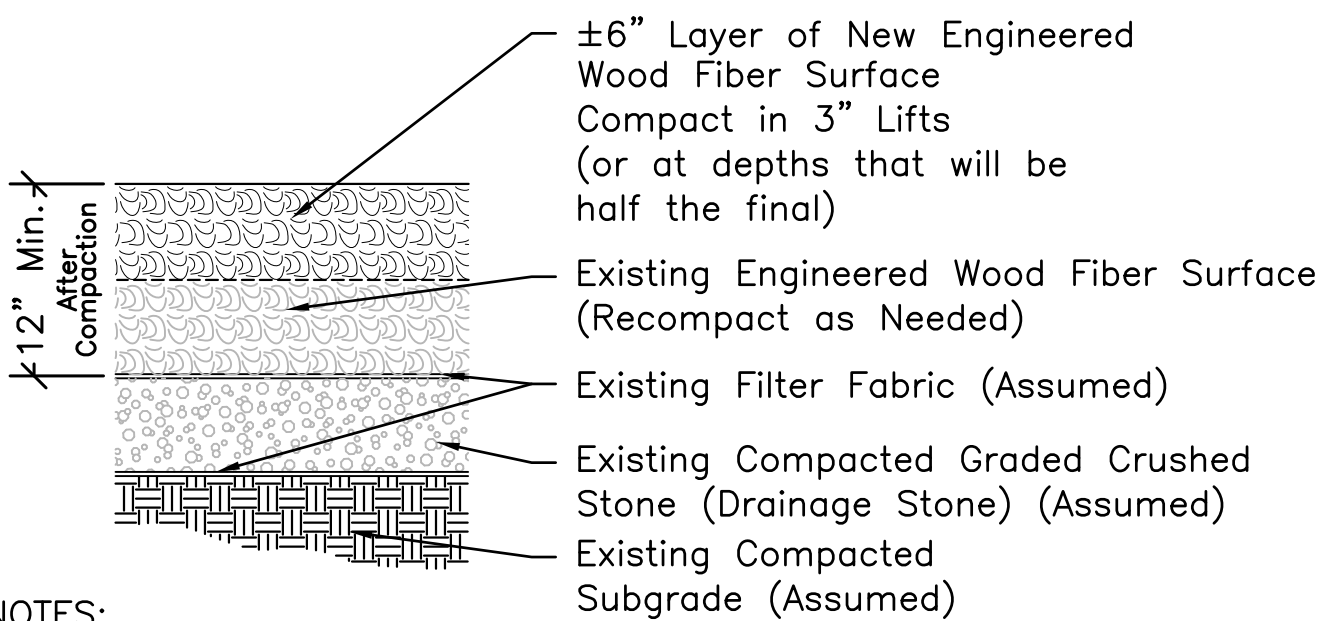




- Notes:**
1. Stone Dust to meet adjacent finish grade smoothly.
  2. See Specifications. Provide sample for approval.
  3. Steel Edge to be painted black. Submit Product Literature for Approval.

### Stabilized Stonedust Paving with Steel Edge

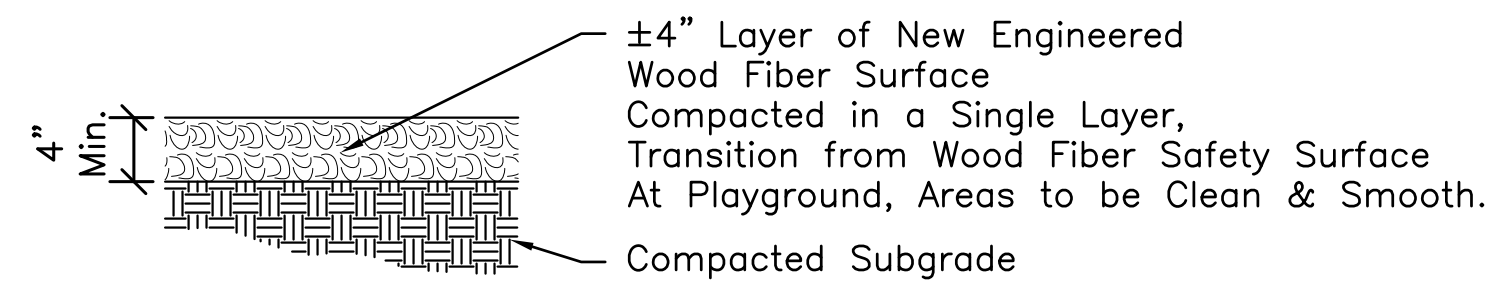
1 Scale: 3/4" = 1'-0"



- NOTES:**
1. Engineered Wood Fiber Safety Surface is shown for intent only and is not in contract. Esplanade Association to provide and install at a later date.
  2. Engineered Wood Fiber Surface to meet federal code requirements for playgrounds.
  3. After compaction, wood surface to be flush with finish grades of existing timber edges and rubber safety surfacing.

### Wood Fiber Safety Surfacing Not Included

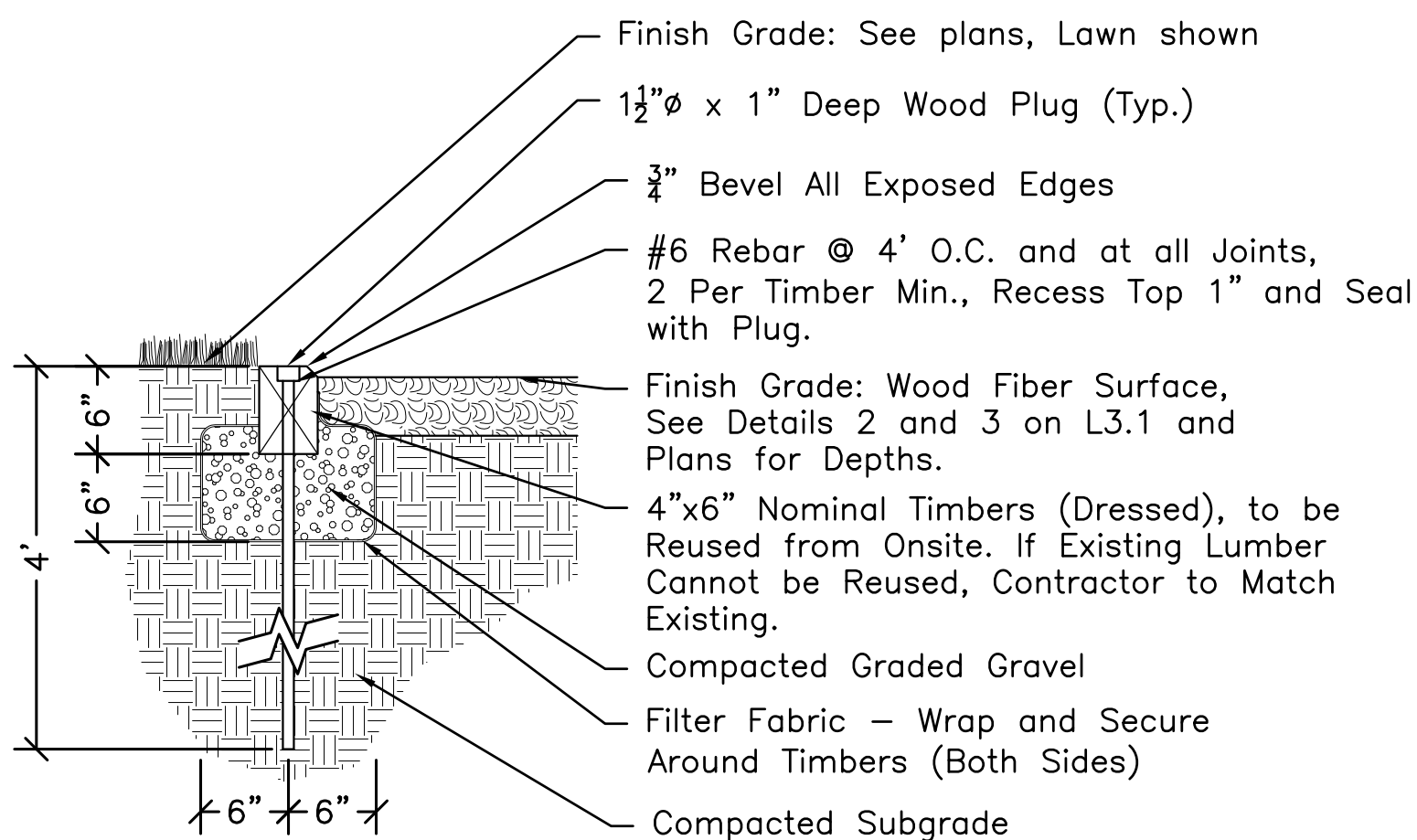
2 Scale: 1" = 1'-0"



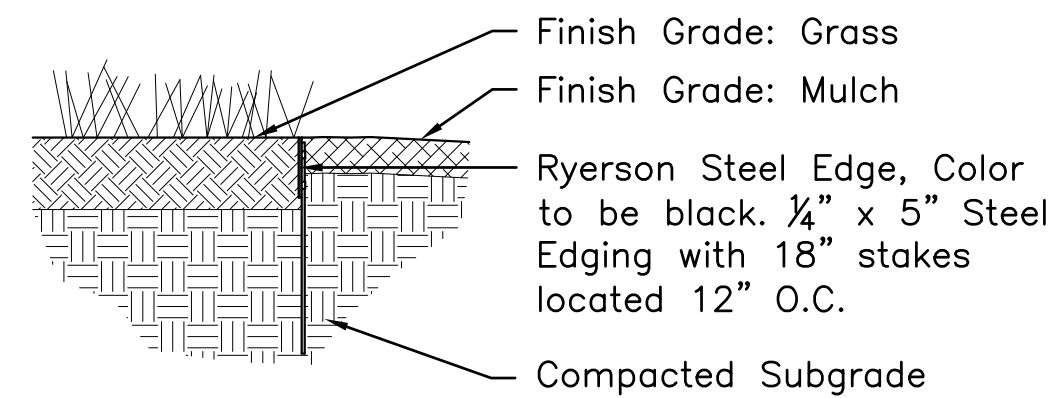
- NOTES:**
1. Engineered Wood Fiber Surface at benches is shown for intent only and is not in contract. Esplanade Association to provide and install at a later date.
  2. After compaction, wood surface to be flush with finish grades of existing timber edges.

### Wood Fiber Surface at Benches Not Included

3 Scale: 1" = 1'-0"

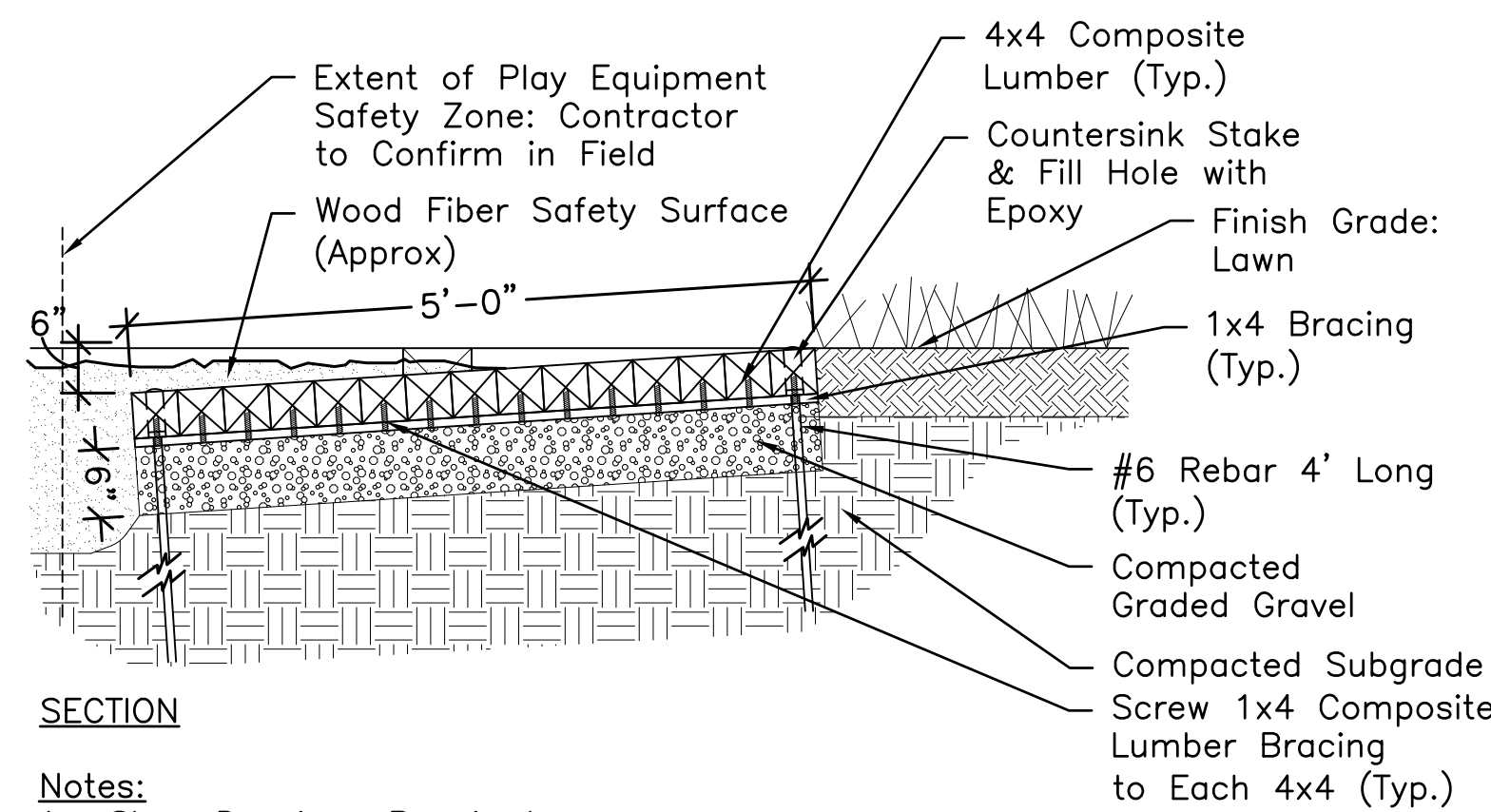


4 Timber Edge - 1 Course Deep Scale: 1" = 1'-0"



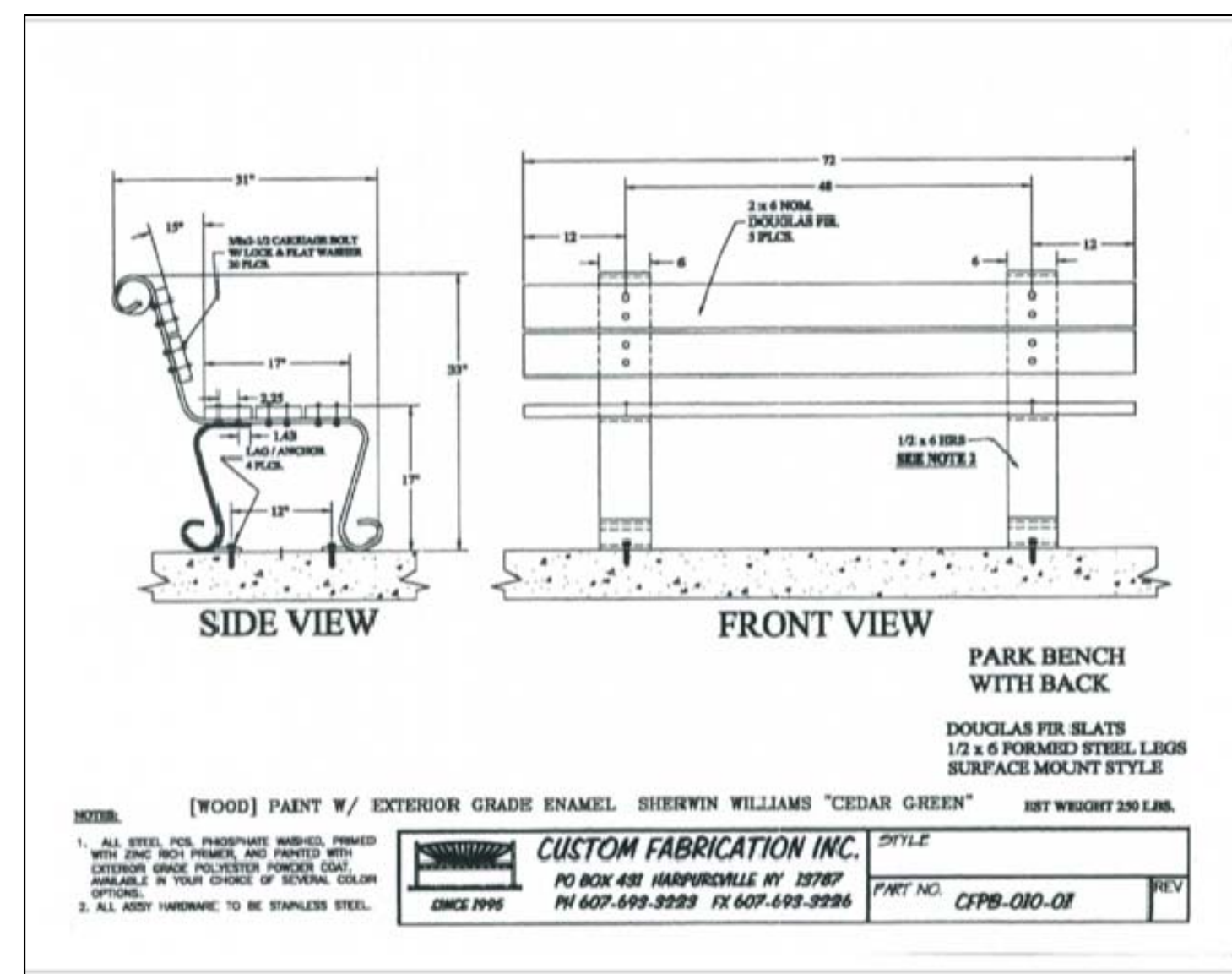
- Notes:**
1. Steel Edge to be painted black. Submit Product Literature for Approval.

5 Steel Edge Scale: 3/4" = 1'-0"

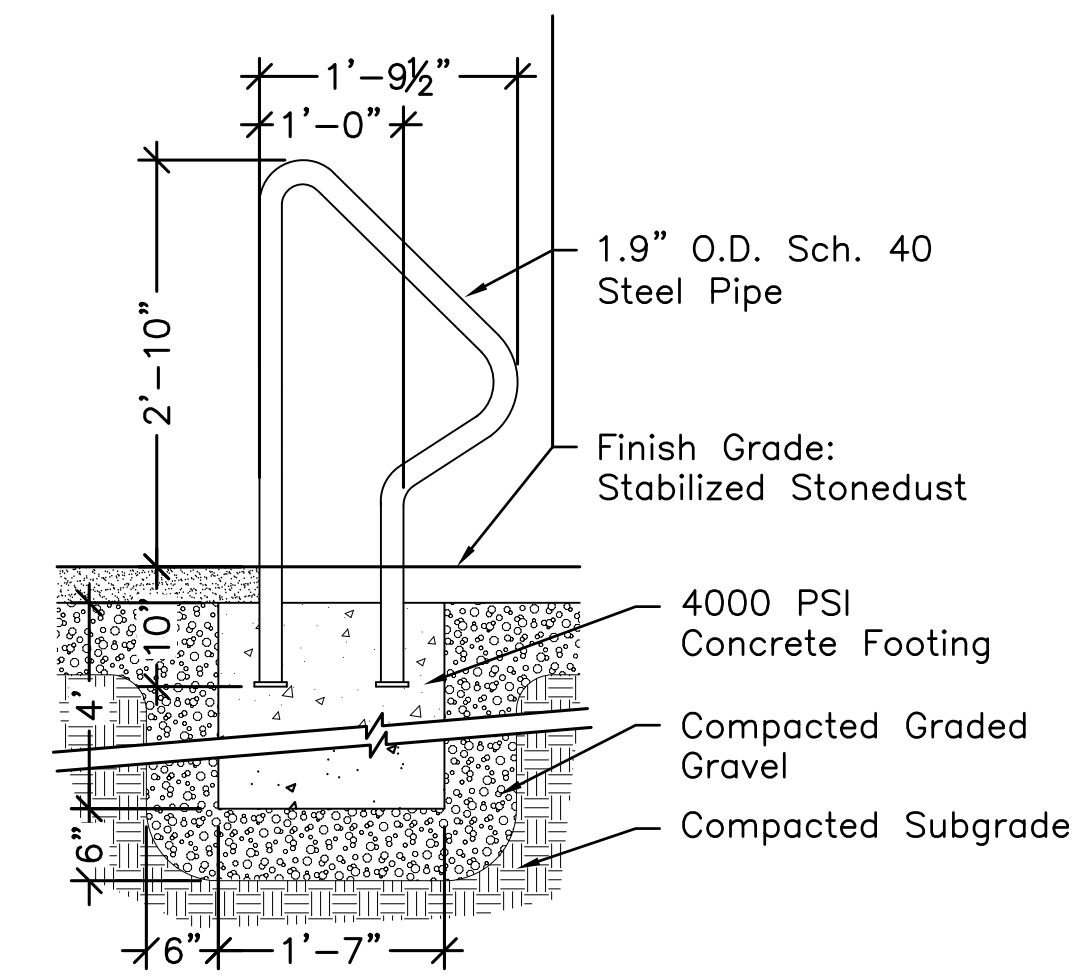


- SECTION**
- Notes:**
1. Shop Drawings Required.
  2. Composite lumber members shall be HDPE Recycled Plastic Lumber with at least 85% recycled content, "Select" by Bedford Technology, 2424 Armour Road, PO Box 609, Worthington, MN 56187-0609, Phone (507) 372-5558, or Approved Equal. Walk panel designed to accommodate 75 PSF Live Load. Decking to have Simulated Wood Grain Top Surface.
  3. Sloped Walk Panel shall not encroach on play equipment safety zones.
  4. New 6x6 Timber edges to be ACQ pressure treated lumber. DO NOT USE lumber treated with CCA.
  5. All hardware to be stainless steel.

7 Composite Lumber Sloped Walk Panel Scale: 3/4" = 1'-0"

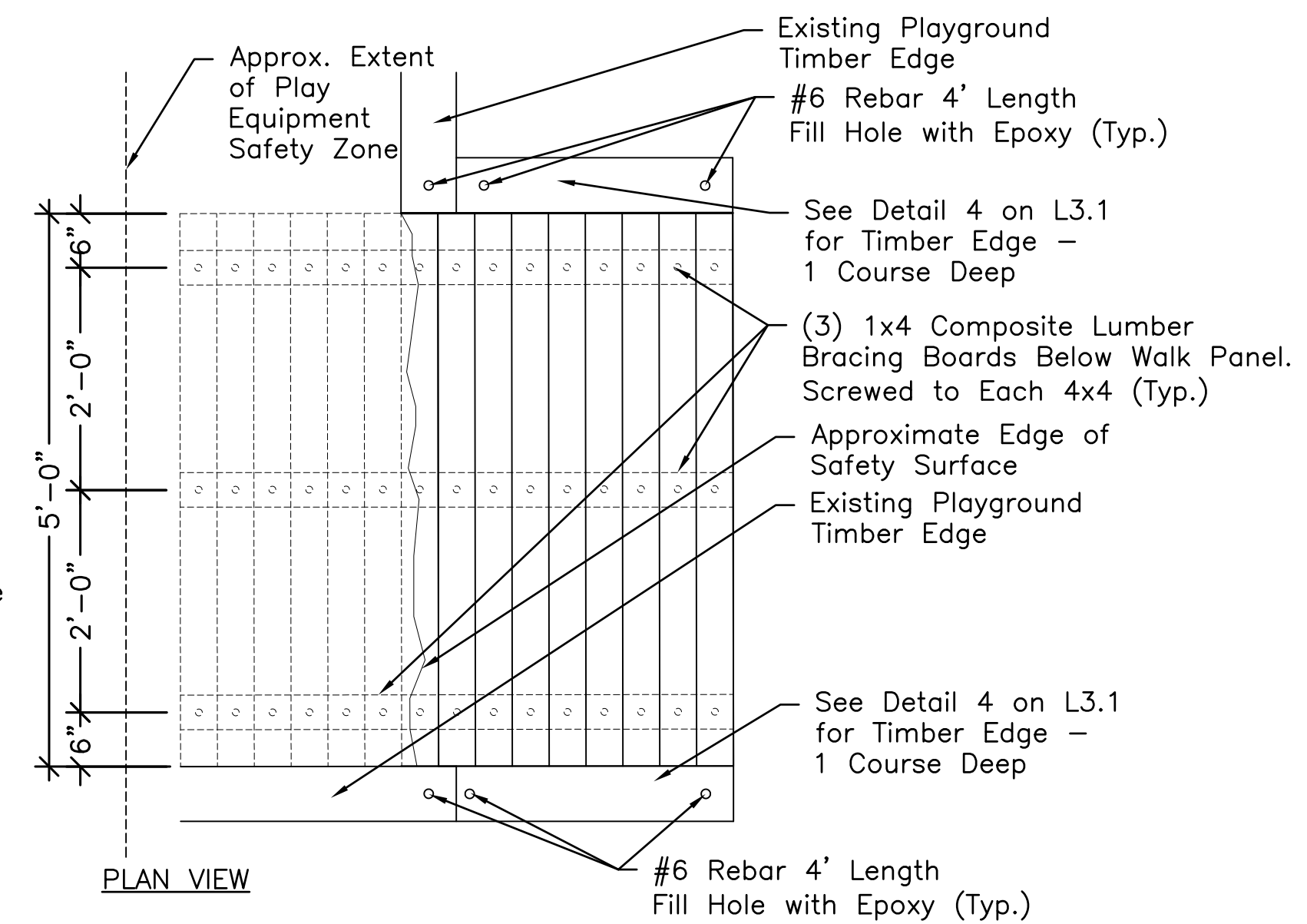


8 Standard Wood and Metal Bench - Installation Only NO SCALE



- NOTES:**
1. Bike Rack to be Embedded Mount Swerve Bike Rack by Dero Bike Racks, of Fridley, MN. Or Approved Equal.
  2. Bike rack to be hot dip galvanized steel. Color to be black.
  3. Submit product literature for approval by Landscape Architect prior to ordering.
  4. Follow all Manufacturer's installation instructions and specifications.

6 Bike Rack on Stonedust Scale: 3/4" = 1'-0"



PLAN VIEW

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

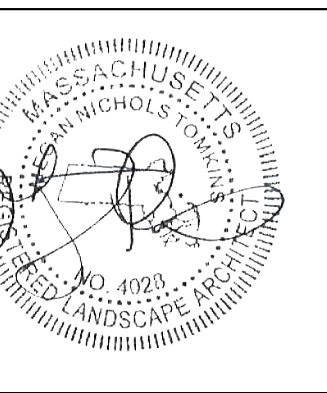
See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep

See Detail 4 on L3.1 for Timber Edge - 1 Course Deep



- Notes:**
1. Bench to be provided to Contractor by Esplanade Association.
  2. Contractor to follow Manufacturer's installation instructions.