



APPLICATION
CERTIFICATE of APPROPRIATENESS-or-
DESIGN APPROVAL-or-EXEMPTION

Deliver or mail to:
Environment Department
Boston City Hall, Rm 709
Boston, MA 02201

For Office Use Only

APPLICATION # _____
RECEIVED _____
FEE _____
HEARING DATE _____

DO NOT RETURN THIS FORM BY FAX OR EMAIL

DO NOT STAMP THIS BOX

I. PROPERTY ADDRESS 38 Wareham Street
NAME of BUSINESS/PROPERTY None

The names, telephone numbers, postal and e-mail addresses requested below will be used for all subsequent communications relating to this application. Environment Department personnel cannot be responsible for illegible, incomplete or inaccurate contact information provided by applicants.

II. APPLICANT GTI Properties
CONTACT NAME Katherine Cipriani RELATIONSHIP TO PROPERTY owners agent
MAILING ADDRESS 530 Harrison Avenue Boston, MA ZIP 02118
PHONE 617-799-1844 EMAIL kathy@gtiproperties.com
PROPERTY OWNER Sowa South LLC CONTACT NAME Katherine Cipriani
MAILING ADDRESS c/o GTI Properties 530 Harrison Avenue Boston, MA ZIP 02118
PHONE 617-799-1844 EMAIL kathy@gtiproperties.com
ARCHITECT Simon Design Engineering CONTACT NAME Alan Simon
MAILING ADDRESS 42 Washington Street Suite 300 Wellesley, MA ZIP 02481
PHONE 781-237-2226 EMAIL info@sde-us.com
CONTRACTOR GTI Properties CONTACT NAME Katherine Cipriani
MAILING ADDRESS 530 Harrison Avenue Boston, MA ZIP 02118
PHONE 617-799-1844 EMAIL kathy@gtiproperties.com

III. DESCRIPTION OF PROPOSED WORK

A BRIEF OUTLINE OF THE PROPOSED WORK *MUST BE GIVEN IN THE SPACE PROVIDED BELOW, OR THE APPLICATION WILL NOT BE ACCEPTED.* This description provides the basis for the official notice and subsequent decision, and it must clearly represent the entirety of the project. Additional pages may be attached, if necessary, to provide more detailed information.

This application is a follow up to last month's application to demolish a one story shed building at 38 Wareham Street and add fenestration to the existing openings revealed.

The existing openings in the three story main building wall are behind the soon to be removed shed building and are drawn in the elevation submitted. The sizes of the openings are close, to what I was able to measure but may change due to the future structural evaluation. The large window opening will be constructed of 2" wide mullions in black aluminum and glass. The new entrance doors will be in the same material with door mullions at 4".

The double hung windows will be matched to the existing window type.

A new sidewalk in brick or pavers will be installed along the north elevation and continue out to the Malden Street sidewalk.

This will add definition to the north side entrance of the building and compliment the sidewalks planned for the project at 46 Wareham Street.

REQUIRED DOCUMENTATION: Please include all required documentation with this application; review instructions carefully for details.

ESTIMATED COST OF PROPOSED WORK: \$50,000.00

IV. DULY AUTHORIZED SIGNATURES (both required)

The facts set forth above in this application and accompanying documents are a true statement made under penalty of perjury.

APPLICANT Katherine Cyprian OWNER* [Signature]
*(If building is a condominium or cooperative, the chairman must sign.)

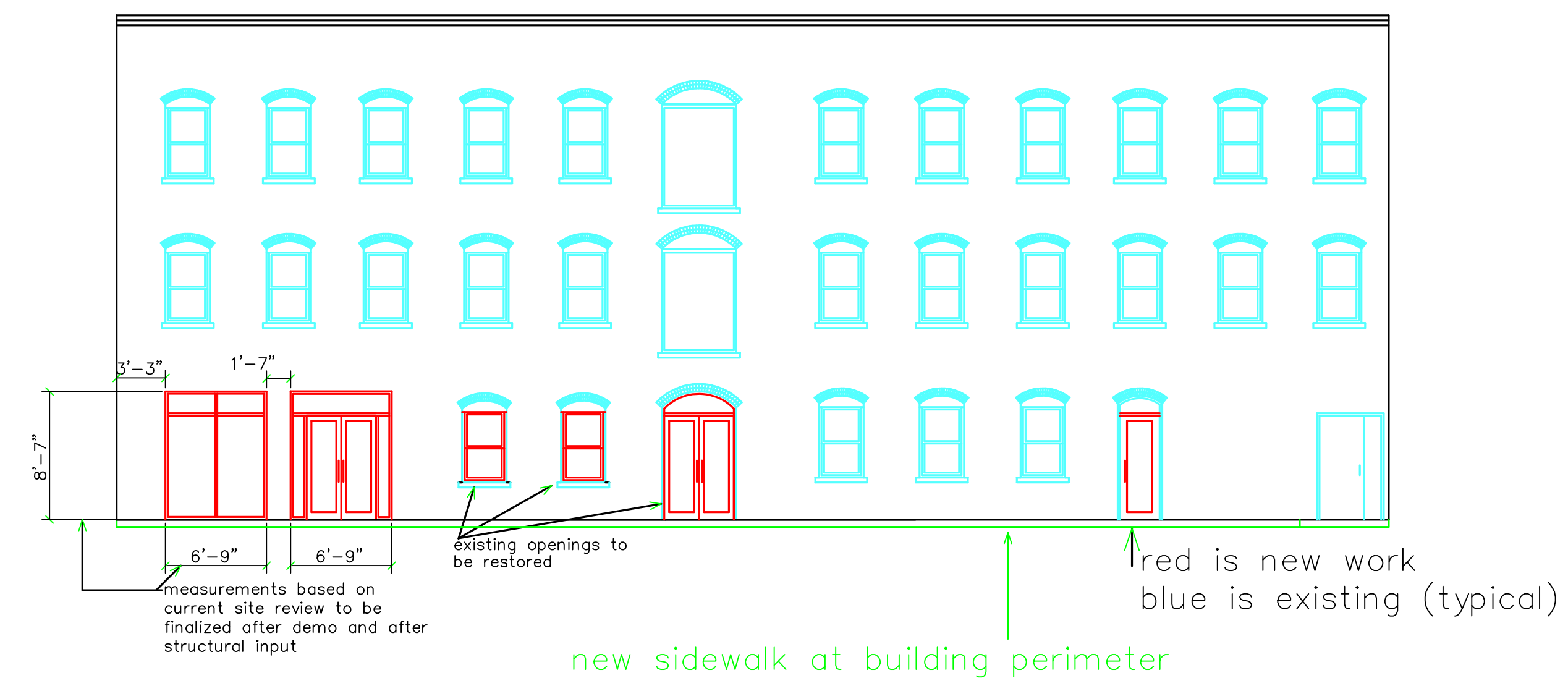
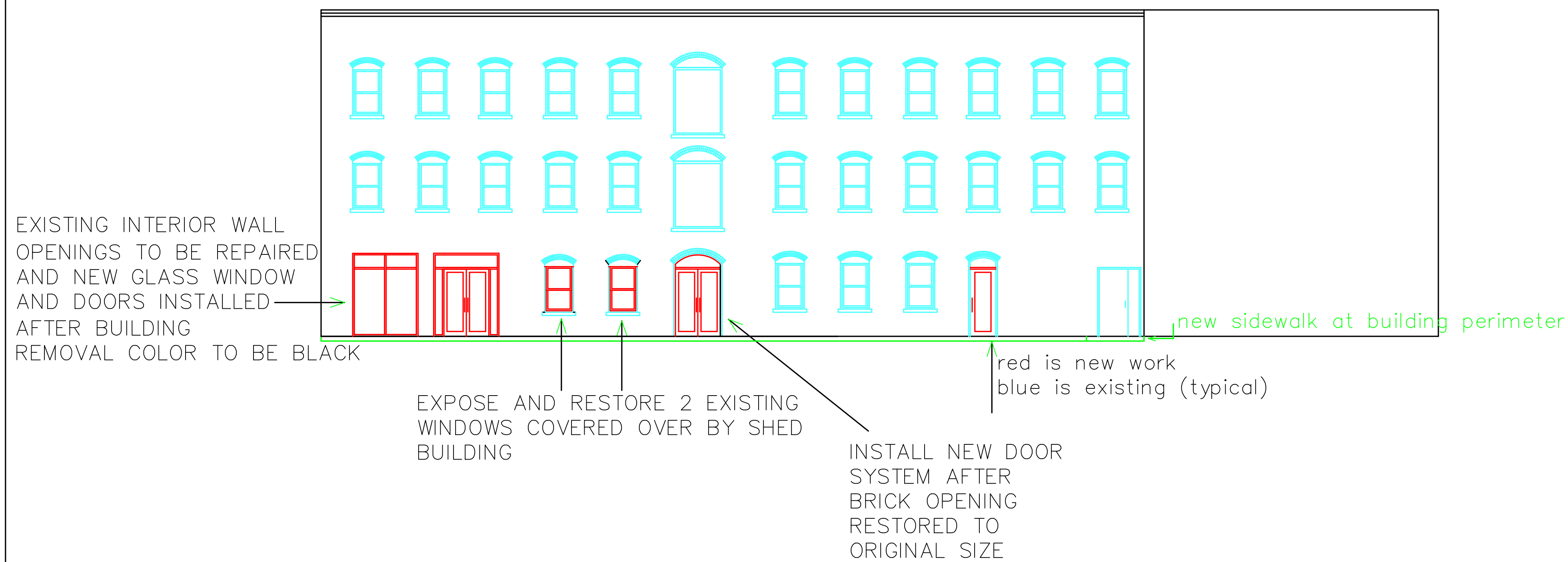
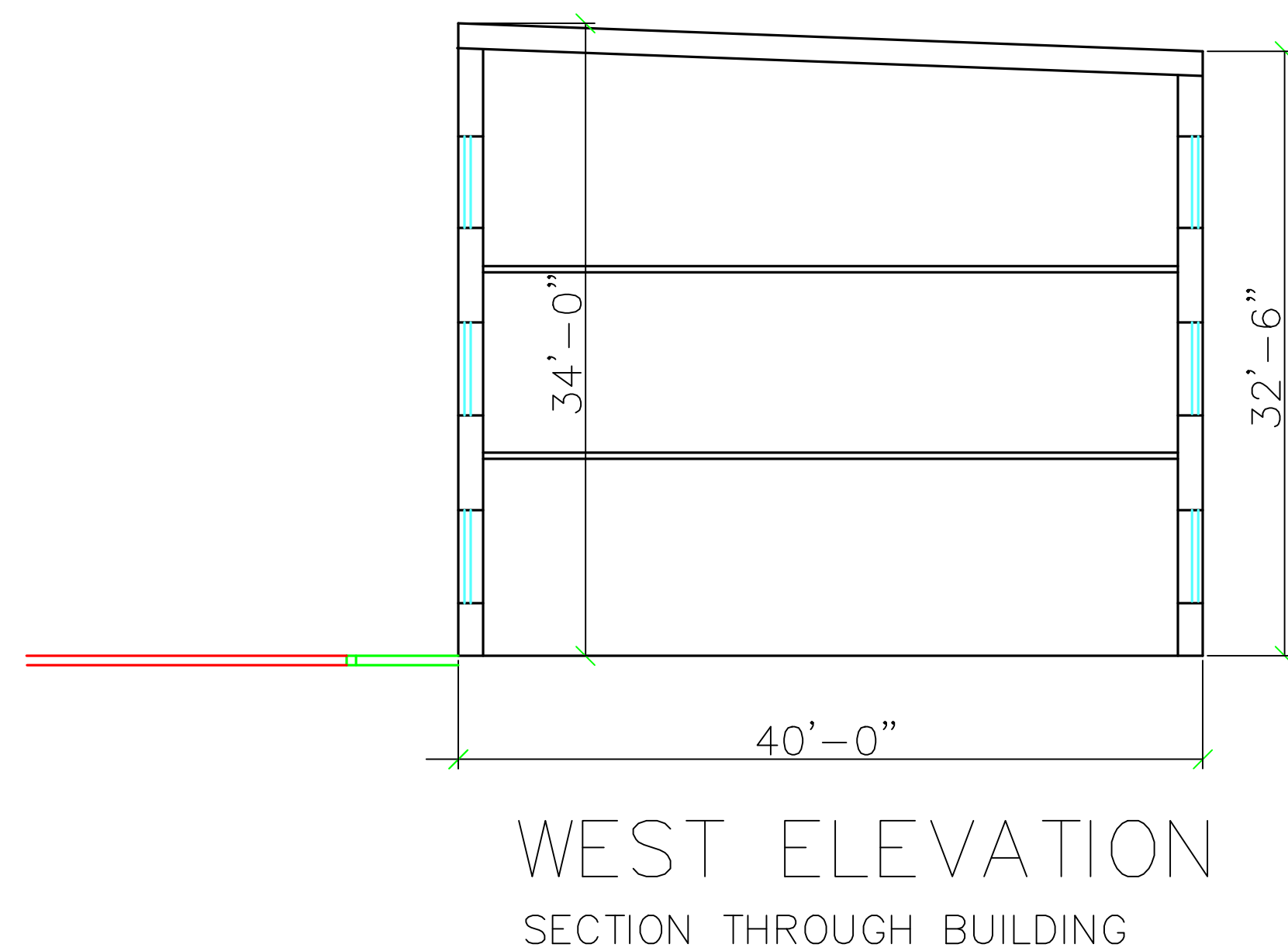
PRINT Katherine Cyprian PRINT Mano Nicosia

Environment Department personnel cannot be responsible for verifying the authority of the above individuals to sign this application. Misrepresentation of signatory authority may result in the invalidation of the application.

UNSIGNED OR PARTIALLY SIGNED FORMS WILL BE REJECTED

THIS APPLICATION IS NOT COMPLETE WITHOUT SIGNATURES, FEES AND REQUIRED DOCUMENTATION. The checklist below is for reference only: Please refer to the detailed application instructions for deadlines, fee schedule and required documentation specific to your proposal.

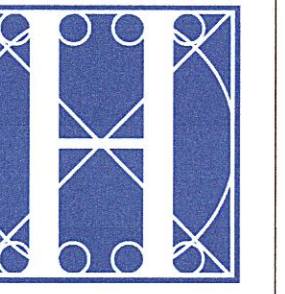
- COMPLETED APPLICATION FORM
- APPLICATION FEE (Check or money order made payable to City of Boston; see fee schedule in Instructions)
- DESCRIPTION OF WORK (A brief description must be included on the front page; additional pages of detailed information may be attached. **Applications that only note "see attached" will not be accepted.**)
- PHOTOS OF EXISTING CONDITIONS
- DRAWINGS AND SPECIFICATIONS AS REQUIRED (See "documentation requirements" in instructions)



NORTH ELEVATION PROPOSED WINDOW AND DOOR LOCATIONS

GTI PROPERTIES 1/8"=1'-0"
38 WAREHAM STREET
BOSTON, MA 02118

REVISED ELEVATION
OCTOBER 16, 2017



the
HOLLAND
COMPANIES

Design & Construction

519 ALBANY STREET
SUITE 200
BOSTON, MA 02118

TEL 617.556.2900
FAX 617.556.2901

THEHOLLANDCOMPANIES.COM

Notes:



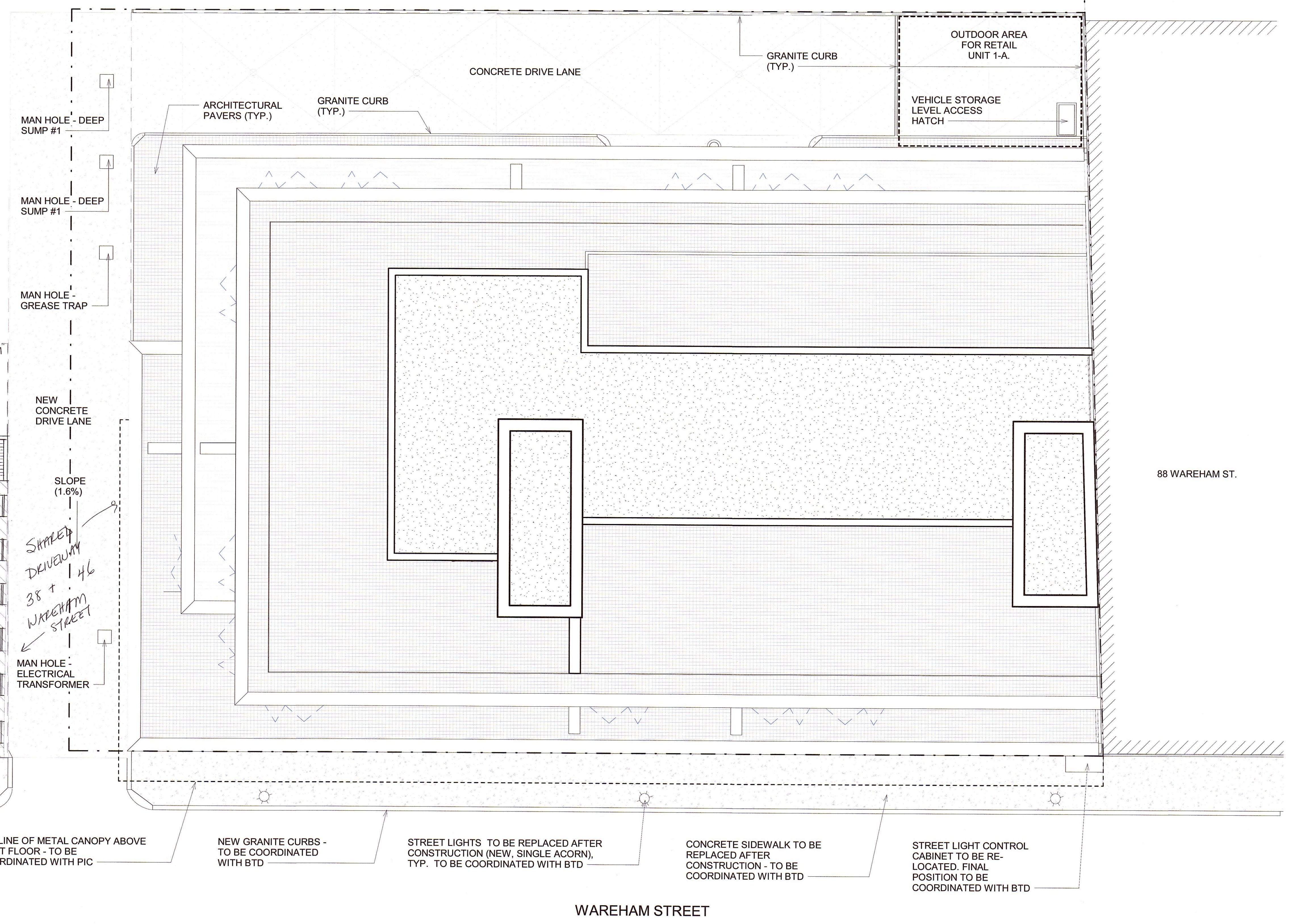
ISSUED FOR PERMIT

DATE: 6/16/2017

SCALE: 1/8" = 1'-0"

PROJECT NAME:
The Factory
PROJECT ADDRESS:
46 Wareham Street
Boston, MA 02118
DRAWING:
SITE PLAN

SITE 1.0



EXISTING PARKING
SEE SITE PLAN

CREATE NEW WALKWAY/SIDEWALK
IN SIMILAR MATERIALS
AS 46 WAREHAM ST
LEVEL WITH EXISTING
PARKING LOT

FOOT PRINT OF DEMO'D SHED
BUILDING

EXISTING WINDOW
EXISTING BECK OPENING
RESTORED TO ORIGINAL SIZE
EXISTING WINDOWS REVEALED
AFTER BUILDING REMOVAL
EXISTING INTERIOR OPENINGS
REVEALED AFTER BUILDING
REMOVAL
OPENINGS TO BECOME AN
ENTRANCE AND WINDOW AS
SHOWN

MAN HOLE - DEEP SUMP #1
MAN HOLE - DEEP SUMP #1
MAN HOLE - GREASE TRAP
NEW CONCRETE DRIVE LANE
SLOPE (1.6%)
STREET DRIVEWAY
38' x 46'
WAREHAM STREET
MAN HOLE - ELECTRICAL TRANSFORMER

THIS SITE PLAN IS BEING USED
WITH PERMISSION OF OWNER OF
46 WAREHAM ST.

JHC 6/16/17

OUTLINE OF METAL CANOPY ABOVE
FIRST FLOOR - TO BE
COORDINATED WITH PIC

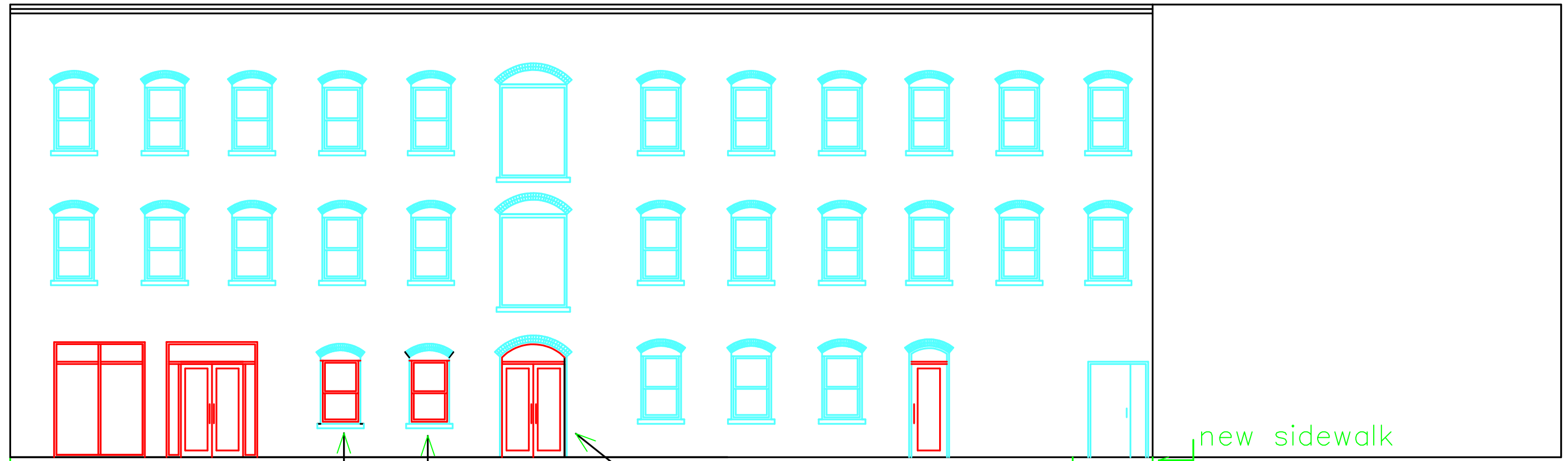
NEW GRANITE CURBS -
TO BE COORDINATED
WITH BTS

STREET LIGHTS TO BE REPLACED AFTER
CONSTRUCTION (NEW, SINGLE ACORN),
TYP. TO BE COORDINATED WITH BTS

CONCRETE SIDEWALK TO BE
REPLACED AFTER
CONSTRUCTION - TO BE
COORDINATED WITH BTS

STREET LIGHT CONTROL
CABINET TO BE RE-
LOCATED. FINAL
POSITION TO BE
COORDINATED WITH BTS

1 SITE PLAN
SCALE: 1/8" = 1'-0"



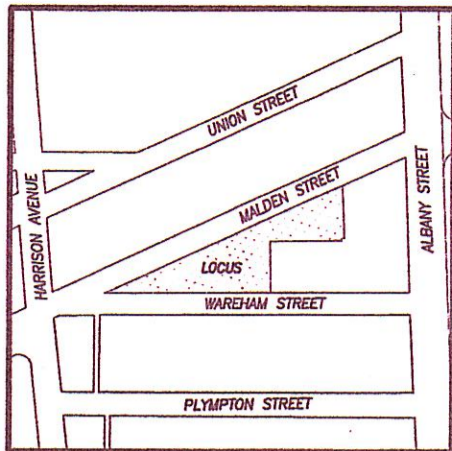
EXPOSE AND RESTORE 2 EXISTING
WINDOWS COVERED OVER BY SHED
BUILDING
EXISTING INTERIOR WALL
OPENINGS TO BE REPAIRED
AND NEW GLASS WINDOW
AND DOORS INSTALLED
AFTER BUILDING
REMOVAL COLOR TO BE BLACK

INSTALL NEW DOOR
SYSTEM AFTER
BRICK OPENING
RESTORED TO
ORIGINAL SIZE

red is new work
blue is existing (typical)

new sidewalk

NORTH ELEVATION PROPOSED WINDOW & DOOR LOCATIONS



LOCUS MAP NOT TO SCALE

LEGEND

- HYDRANT
- GAS SHUT OFF/GAS GATE
- CATCH BASIN
- ELECTRIC CONTROL BOX
- LIGHT POLE
- WALK LIGHT
- ELECTRIC HANDHOLE
- BOLLARD
- SIGN
- PM
- FA
- RD
- OB
- SC
- SP
- EM
- EV
- OV
- P.O.B.
- R
- SO. FT.
- VGC
- WIF
- M
- W
- GP
- CR
- [X]
- [X]
- BFA
- BIT
- BK
- (C)
- CC
- CLF
- CONC
- ENT
- LCC
- OV
- P.O.B.
- (R)
- SO. FT.
- VGC
- WIF
- M
- W

NOTES:

- 1) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "2" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR SUFFOLK COUNTY, MASSACHUSETTS, MAP NUMBER 2502500079G, CITY OF BOSTON COMMUNITY NUMBER 250286, PANEL NUMBER 0079, HAVING AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
- 2) ZONING INFORMATION AS SHOWN HEREON WAS NOT PROVIDED BY THE TITLE INSURER AS REQUIRED BY ITEM 6 (A OR B) OF TABLE "A" IN THE 2011 ALTA SURVEY REQUIREMENTS.
- 3) THE PROPERTY SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN THE TITLE COMMITMENT.
- 4) THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 5) THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 6) TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
- 7) BUILDING HEIGHT SHOWN HEREON IS CALCULATED FROM THE AVERAGE GRADE PLANE AND THE TOP OF ROOF, BY CITY OF BOSTON ZONING CODE, THE DEFINITION OF BUILDING HEIGHT IS TO THE TOP OF THE HIGHEST ROOF BEAM; THIS WAS INACCESSIBLE AT TIME OF SURVEY, THEREFORE THE BUILDING HEIGHT BY DEFINITION WOULD BE LESS THAN THE HEIGHT SHOWN HEREON.
- 8) PROPERTY HAS ACCESS TO MALDEN STREET AND WAREHAM STREET, BOTH PUBLIC WAYS IN THE CITY OF BOSTON.
- 9) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.

BOUNDARY DESCRIPTION (PER SURVEY)

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF BOSTON, COUNTY OF SUFFOLK AND THE COMMONWEALTH OF MASSACHUSETTS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY SIDELINE OF MALDEN STREET, SAID POINT BEING THE INTERSECTION OF THE NORTHEASTERLY SIDELINE OF WAREHAM STREET;

THENCE RUNNING S66° 32' 34"E ALONG SAID SOUTHERLY SIDELINE OF MALDEN STREET A DISTANCE OF 555.78 FEET, TO A POINT;

THENCE TURNING AND RUNNING S45° 54' 21"W BY LAND NOW OR FORMERLY ALAN H. JACOBSON AND CATHERINE F. MCCARRON A DISTANCE OF 117.14 FEET, TO A POINT;

THENCE TURNING AND RUNNING N41° 51' 39"W BY LAND NOW OR FORMERLY ALLIED RESIDENCES LLC A DISTANCE OF 6.65 FEET, TO A POINT;

THENCE TURNING AND RUNNING S47° 03' 21"W BY LAND NOW OR FORMERLY ALLIED RESIDENCES LLC A DISTANCE OF 5.01 FEET, TO A POINT;

THENCE TURNING AND RUNNING N41° 51' 49"W BY LAND NOW OR FORMERLY ERIN S. GIANNAROS, SPIRIDON GIANNAROS, MARIA GIANNAROS AND SOPHIA GIANNAROS A DISTANCE OF 151.25 FEET, TO A POINT;

THENCE TURNING AND RUNNING S48° 08' 11"W BY LAND NOW OR FORMERLY ERIN S. GIANNAROS, SPIRIDON GIANNAROS, MARIA GIANNAROS AND SOPHIA GIANNAROS A DISTANCE OF 110.00 FEET, TO A POINT ON THE NORTHEASTERLY SIDELINE OF WAREHAM STREET;

THENCE TURNING AND RUNNING N41° 51' 49"W ALONG SAID NORTHEASTERLY SIDELINE OF WAREHAM STREET A DISTANCE OF 351.77 FEET, TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 41,997 SQUARE FEET.

LIST OF VISIBLE ENCROACHMENTS

- NOW OR FORMERLY ALAN H. JACOBSON AND CATHERINE F. MCCARRON BUILDING OVER 0.1'
- VENT OVER 0.5'
- GATE ACCESS TO LOCUS PROPERTY CHAIN LINK FENCE OVER 0.3'
- NOW OR FORMERLY ALLIED RESIDENCES CHAIN LINK FENCE OVER 0.4'
- NOW OR FORMERLY ERIN S. GIANNAROS, SPIRIDON GIANNAROS, MARIA GIANNAROS AND SOPHIA GIANNAROS CHAIN LINK FENCE OVER 0.6'
- MALDEN STREET CONCRETE CURB OVER 1.9'
- CONCRETE CURB OVER 1.9'
- BOLLARD OVER 1.0'
- BOLLARD OVER 0.8'
- CHAIN LINK FENCE 0.1'
- WAREHAM STREET CONCRETE CURB OVER 0.5'
- CONCRETE CURB OVER 0.6'
- ROOF DRAINS OVER 0.5'
- VENT OVER 0.5'
- FIRE ALARM OVER 0.5'
- BOLLARDS OVER 0.5'-1.3'

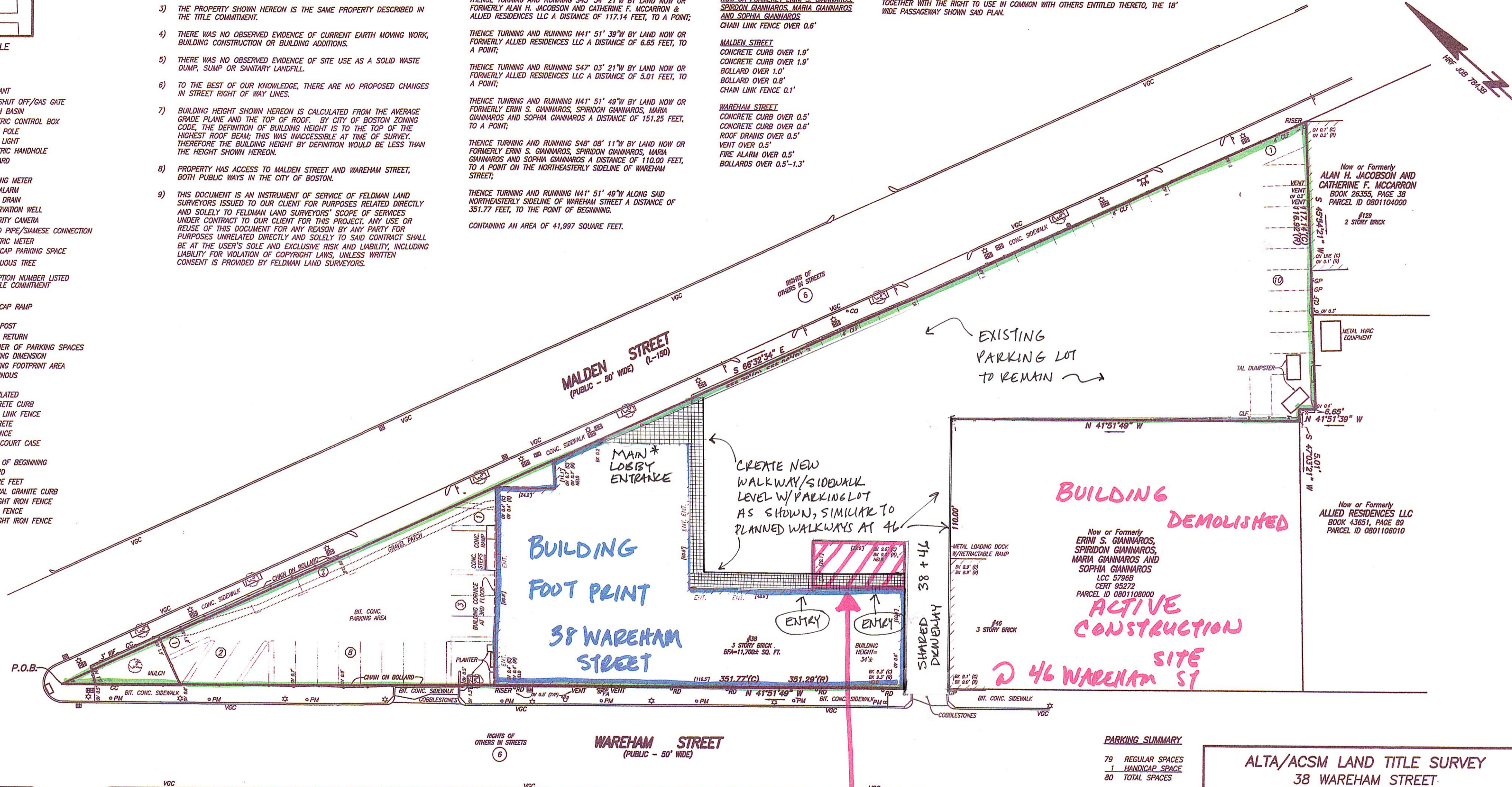
BOUNDARY DESCRIPTION(S) PER TITLE COMMITMENT NO. 14-45232 ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF NOVEMBER 24, 2014

THE LAND IN BOSTON, SUFFOLK COUNTY, MASSACHUSETTS, SITUATED AT 38 WAREHAM STREET, AND BEING SHOWN AS LOT A ON A PLAN ENTITLED, "SUBDIVISION OF LAND SHOWN ON PLAN FILED WITH CERT. OF TITLE NO. 8372 REGISTRY DISTRICT OF SUFFOLK COUNTY LAND IN BOSTON," DATED APRIL 10, 1920, PREPARED BY WALTER C. BATES, C.E., AS FILED IN THE LAND REGISTRATION OFFICE AS PLAN NO. 57968, A COPY OF A PORTION OF WHICH IS FILED WITH THE SUFFOLK COUNTY REGISTRY DISTRICT OF THE LAND COURT ON CERTIFICATE OF TITLE NO. 11855.

TOGETHER WITH THE RIGHT TO USE IN COMMON WITH OTHERS ENTITLED THERETO, THE 18' WIDE PASSAGEWAY SHOWN SAID PLAN.

EXCEPTIONS FROM COVERAGE (SURVEY RELATED ONLY) SCHEDULE B, SECTION 2, LISTED IN TITLE COMMITMENT NO. 14-45232 ISSUED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY HAVING AN EFFECTIVE DATE OF NOVEMBER 24, 2014.

- 6) TITLE AND RIGHTS OF THE PUBLIC AND OTHERS ENTITLED THERETO IN AND TO THOSE PORTIONS OF THE LAND LYING WITHIN THE BOUNDS OF THE ADJACENT STREETS AND WAYS, (AS SHOWN HEREON)
- 9) RIGHTS OF OTHERS IN 18' WIDE PASSAGEWAY SHOWN ON L.C.P. 57968. (AS SHOWN HEREON)



PARKING SUMMARY

79	REGULAR SPACES
1	HANDICAP SPACE
80	TOTAL SPACES

REFERENCES

- SUFFOLK COUNTY REGISTRY OF DEEDS BOOK 8275 PAGES 530-531
- BOOK 14873 PAGE 185
- PLAN BOOK 4172 PAGE 335
- PLAN BOOK 6418 PAGE 228
- MASSACHUSETTS LAND COURT LCC 5796A LCC 5796B LCC 24023A CERTIFICATE OF TITLE 104454
- CITY OF BOSTON ENGINEERING DEPARTMENT FIELD BOOK 755 PAGE 55 FIELD BOOK 663 PAGES 96,97

ZONING CLASSIFICATION

THE PROPERTY IS LOCATED WITHIN THE ECONOMIC DEVELOPMENT AREA (SOUTH) OF THE SOUTH END NEIGHBORHOOD DISTRICT

THE PROPERTY IS ALSO LOCATED WITHIN THE RESTRICTED PARKING OVERLAY DISTRICT AND THE GROUNDWATER CONSERVATION OVERLAY DISTRICT.

*SEE ARTICLE 64 OF THE BOSTON AS AMENDED ON MARCH 15, 2006.

TO: COMMONWEALTH LAND TITLE INSURANCE COMPANY, SOWA SOUTH LLC, EASTERN BANK, AS ADMINISTRATIVE AGENT FOR ITSELF AND CERTAIN OTHER LENDERS, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 16, 17, 18, 20(A) AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 6, 2014.

FELDMAN LAND SURVEYORS

PAUL R. FOLEY, PLS (WA# 48355) DATE 12/4/2014

PAUL R. FOLEY, PLS (WA# 48355) PROFESSIONAL SURVEYOR

PROPOSED DEMOLITION OF 1 STORY ADDITION BRICK SHED BUILDING 20 X 37 X 12 TALL

ALTA/ACSM LAND TITLE SURVEY
38 WAREHAM STREET
BOSTON, MASS.

FELDMAN LAND SURVEYORS SEPTEMBER 6, 2014
 112 SHAWMUT AVENUE PHONE: (617)357-9740
 BOSTON, MASS. 02118 www.feldmansurveyors.com

FELDMAN
 LAND SURVEYORS

20 0 10 20 40 80
 SCALE: 1"=20'

RESEARCH JLC	FIELD CHIEF DH	PROJ MGR PRF	APPROVED [Signature]	SHEET NO. 1 OF 1
CALC IAM	CADD AJA	FIELD CHECKED	CRD FILE 14355	JOB NO. 14355
FILENAME: S:\PROJECTS\14300\14355\DWG\14355-ALTA.dwg				