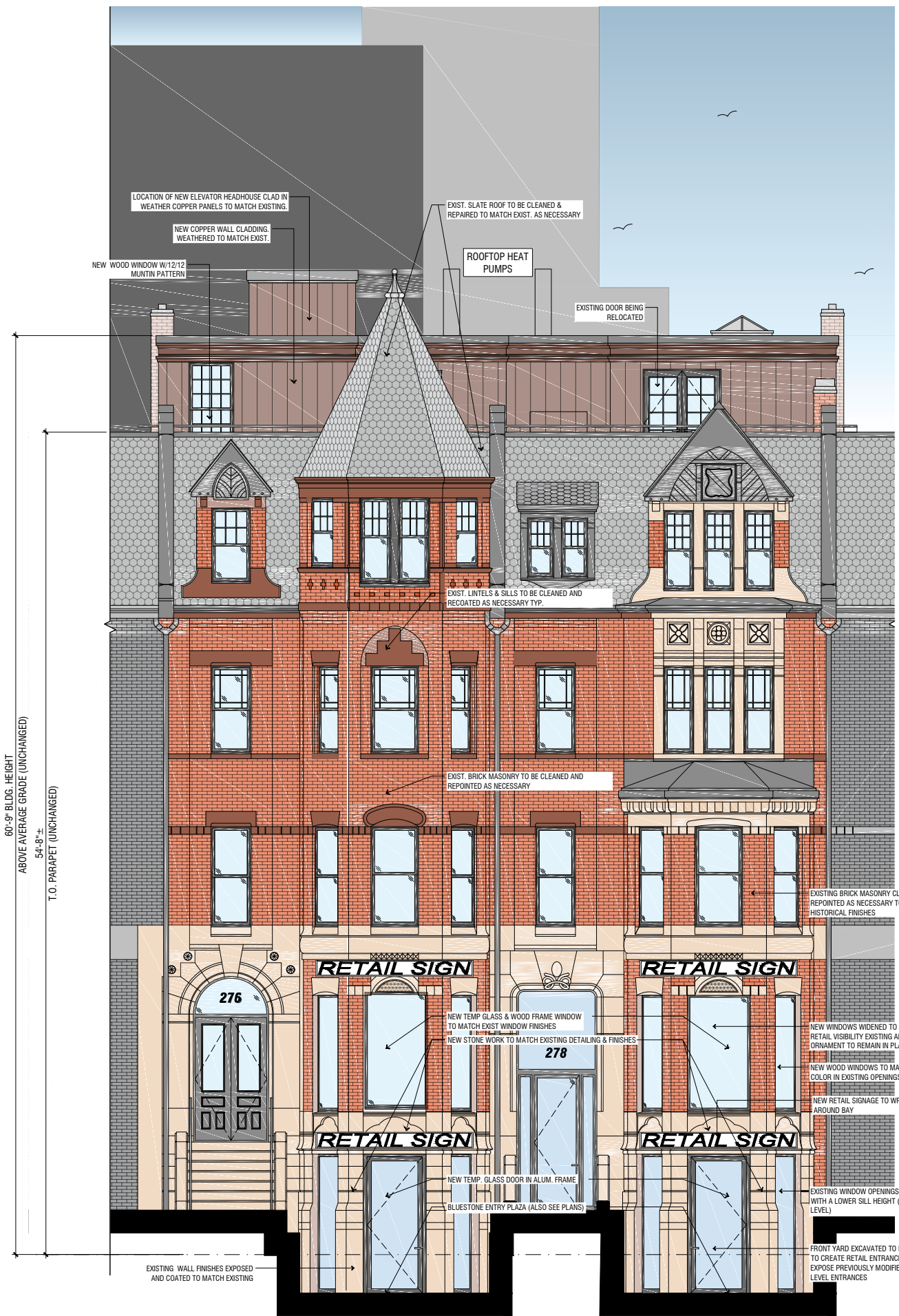


276/278 NEWBURY STREET

3 August 2017 - Revised

Centremark, LLC

Margolis + Fishman Inc
Architects and Planners



PROPOSED FRONT ELEVATION



EXISTING FRONT ELEVATION



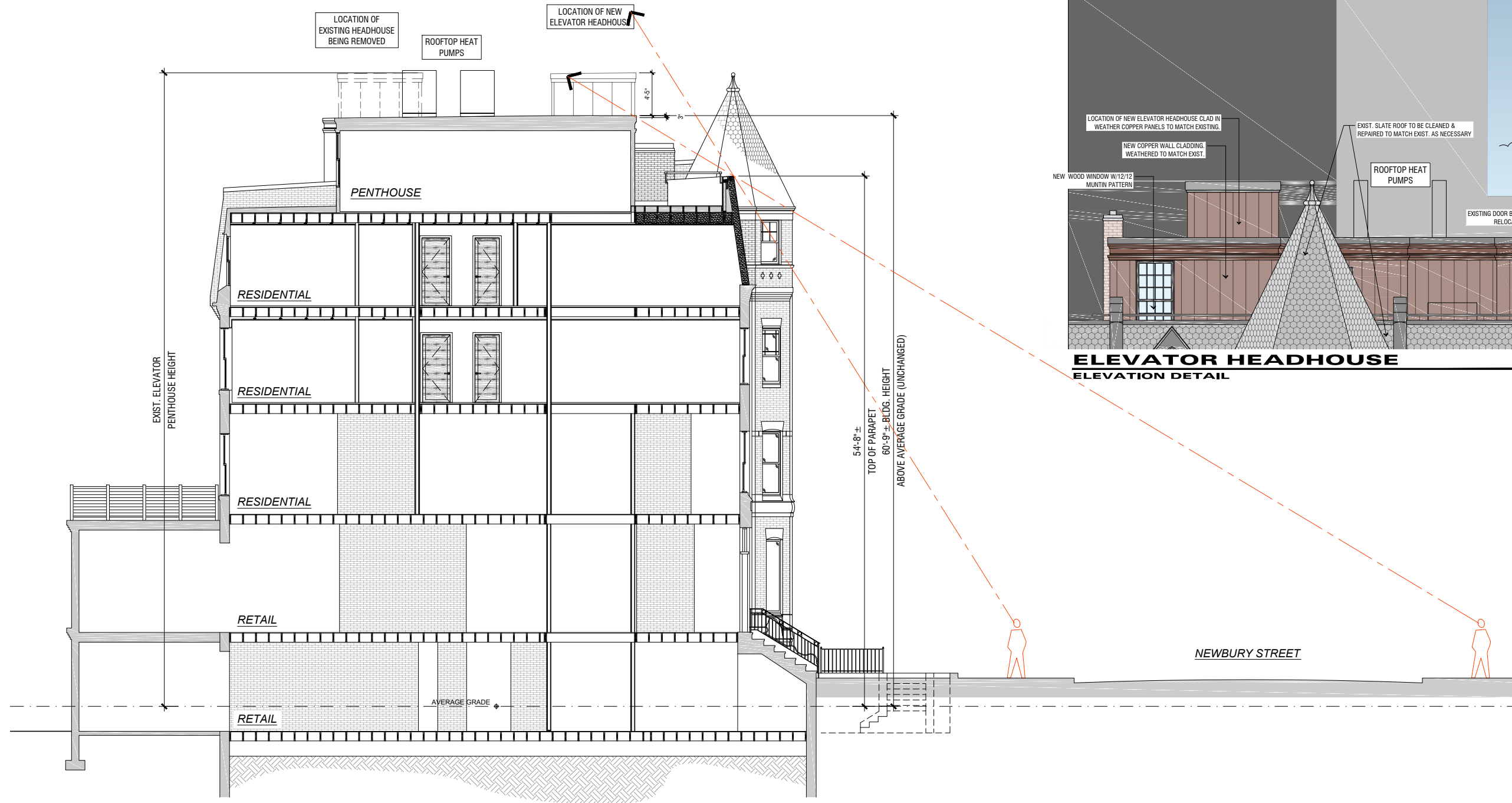
PROPOSED REAR ELEVATION



EXISTING REAR ELEVATION

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SERVICE DOOR FOR INSIDE TRASH STORAGE, BICYCLE STORAGE, ETC.



CONCEPTUAL BUILDING SECTION

ARCHITECT
 Margolis + Fishman
 Architects and Planners
 675 Massachusetts Ave.
 Cambridge, Massachusetts 02139
 Tel: 617.492.0200
 Fax: 617.547.2501

NEWBURY STREET PROJECT
 RENOVATIONS
 276 / 278 NEWBURY STREET BOSTON, MA 02116

OWNER
Centremark, LLC
 425 Boylston Street, 9th Floor
 Boston, Massachusetts 02116
 Tel: 617.266.0303
 Fax: 617.463.9073

Drawing:
CONCEPTUAL BUILDING SECTION

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276 & 278 Newbury Street

Zoning Computation Form
 Zoning District: B-3-65
 Existing Use: 1 Office / Retail (#276 & #278 Combined)
 Proposed Use: 2 Retail and 2 Dwelling Units (#276 & #278 Combined)

| Required by Code | Use | Min. lot size | Lot area per D.U. | Min. lot width | F.A.R. | Max. Bldg. Ht. Stories | Feet | Open space per D.U. | Min. front yard | Min. rear yard | Min. side yard | Min. parapet setback | % of rear yard for accessory use |
|------------------|----------------------|---------------|-------------------|----------------|--------|------------------------|------|---------------------|---------------------------|------------------------------|---------------------------|----------------------|----------------------------------|
| Allowed | None | None | None | None | 3.0 | - | 65 | 50 | 20' | 10 + 1/20 (10+44/20 = 12.2') | 0' | H+1/6 | N/A |
| Existing | Spa / Salon / Retail | 4928 SF | N/A | 22'-0" | 2.73 | 60'-9" Mezzanine | 4-B | N/A | 17'-8" (41'-6" Mezzanine) | 15'-2" (34'-0" Mezzanine) | 20'-0" (47'-0" Mezzanine) | 0' | N/A |
| Proposed | 3 D.U. / 2 Retail | 4928 SF | N/A | 22'-0" | 2.81 | 60'-9" Penthouse | 4-B | 235 | 15'-2" (34'-0" Penthouse) | 20'-0" (47'-0" Penthouse) | 0' | 0' | N/A |

| Parking: | Required by code | Existing | Proposed |
|----------|--------------------------|-------------------|-------------------|
| | *See explanation below | Req'd by code = 0 | Req'd by code = 0 |
| Loading: | 0 (less than 15,000 GSF) | Provided = 5 | Provided = 5 |

*Spaces for Proposed
 For D.U. = 0.6 per d.u. x 3 = 1.8 or 2
 The property is in the restricted parking overlay district. Parking is only required for the Residences Properties with an F.A.R. = 3.0 which is devoted to residential uses and parking space requirement is 2 or less, no parking is required.

276 & 278 Newbury Street

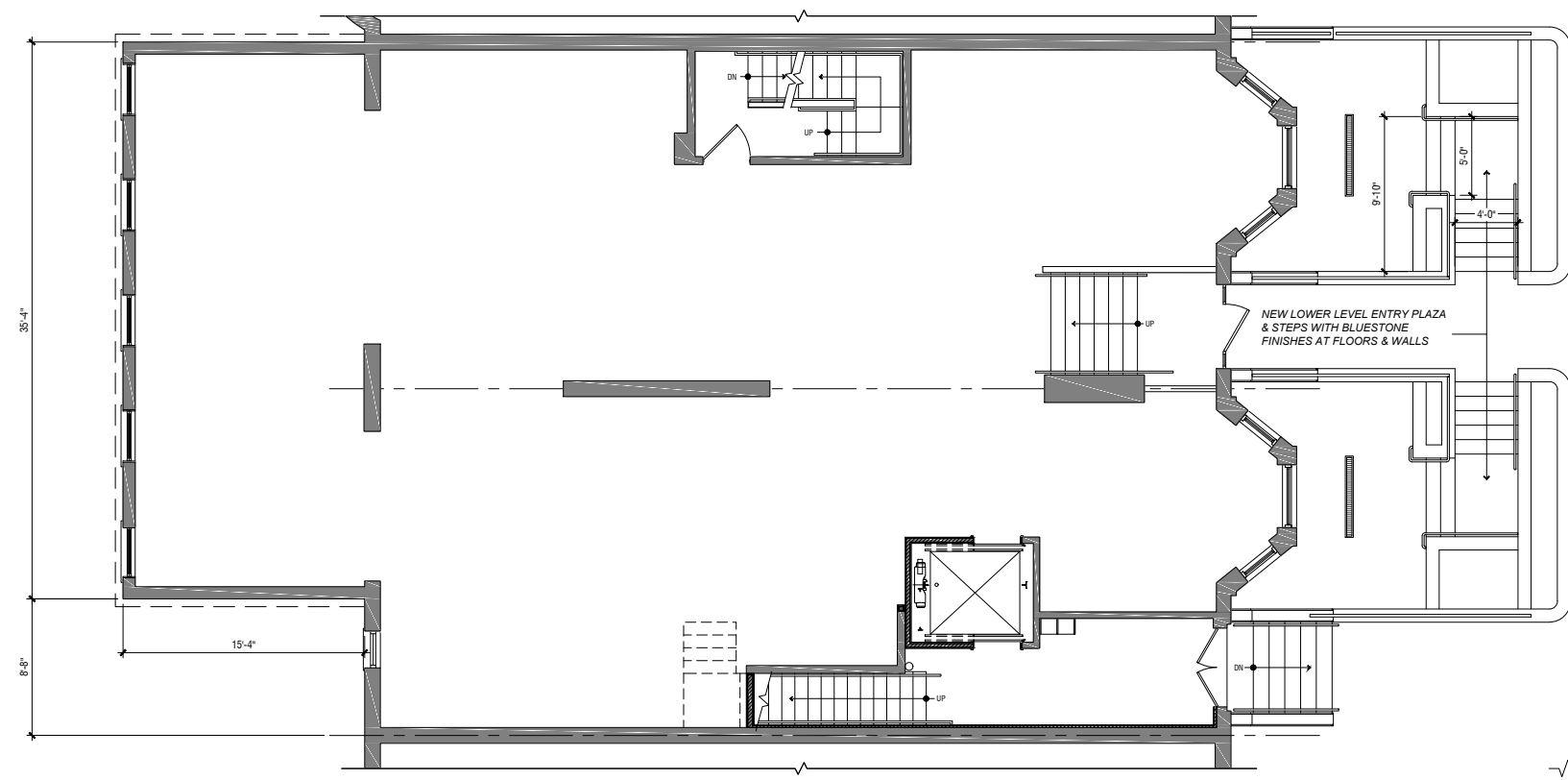
F.A.R. Computation
 Zoning District: B-3-65
 Existing Use: 1 Office / Retail (#276 & #278 Combined)
 Proposed Use: 2 Retail and 3 Dwelling Units (#276 & #278 Combined)

| Floor Level | Use | Permissible Gross Area |
|--------------|-------------|------------------------|
| Basement | Retail | 2,751 SQ. FT. |
| First Floor | Retail | 2,978 SQ. FT. |
| Second Floor | Residential | 2,379 SQ. FT. |
| Third Floor | Residential | 2,348 SQ. FT. |
| Fourth Floor | Residential | 2,331 SQ. FT. |
| Penthouse | Residential | 1,056 SQ. FT. |

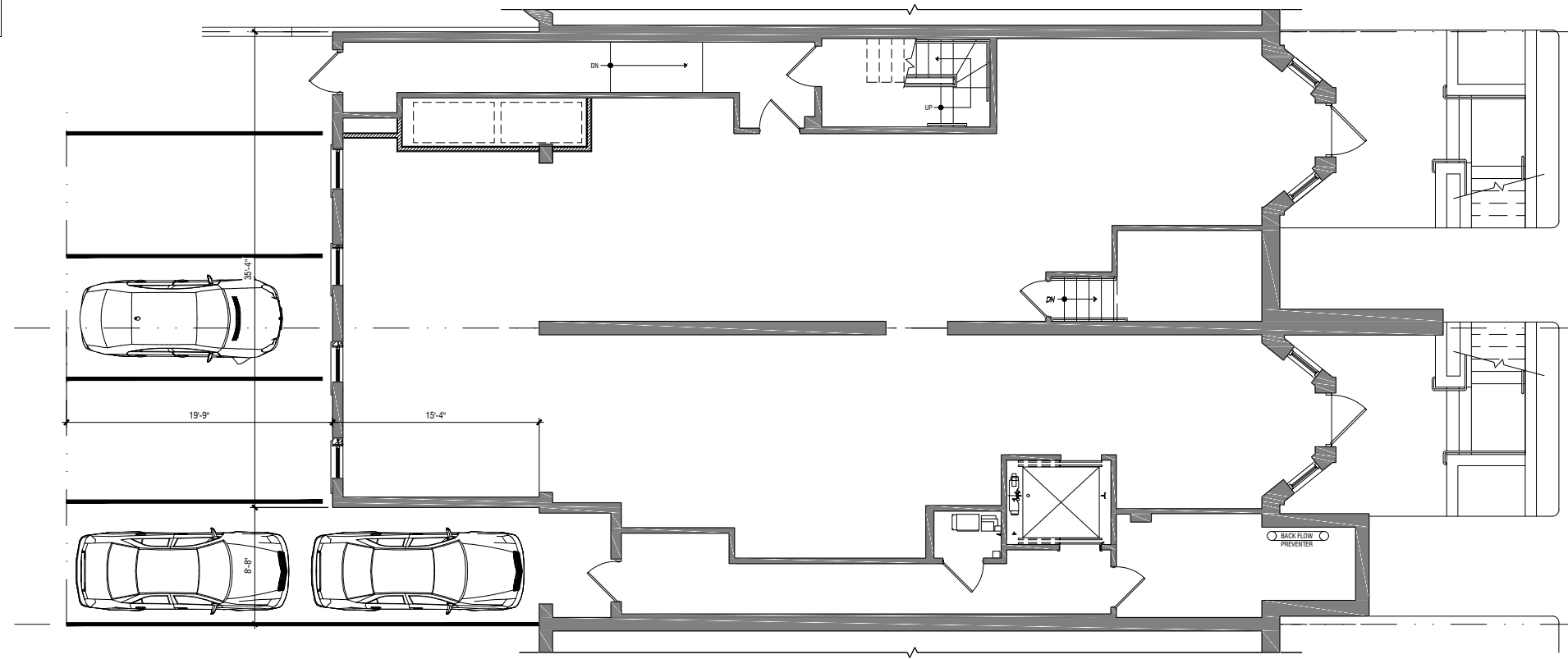
Total Gross Area 13,843 SQ. FT. *

| Lot Area | 4,928 SQ. FT. |
|-----------------|---------------|
| F.A.R. Allowed | 3.0 |
| F.A.R. Existing | 2.73 |
| F.A.R. Actual | 2.81 |

*Floor area, gross. The sum of areas of the several floors of the structure, as measured by the exterior faces of the walls, including fully enclosed porches and the like as measured by the exterior limits thereof, but excluding:
 (a) garage space which is in the basement of a building or, in the case of garage space accessory to a dwelling, is at grade,
 (b) basement and cellar areas devoted exclusively to uses accessory to the operation of the structure, and
 (c) areas elsewhere in the structure devoted to housing mechanical equipment customarily located in the basement or cellar such as heating and air conditioning equipment, plumbing, electrical equipment, laundry facilities and storage facilities, provided, however, that in an H-2-45, H-2-65, H-3-65, L-2-65 or B-3-65



FIRST LEVEL PLAN

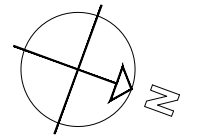


LOWER LEVEL PLAN

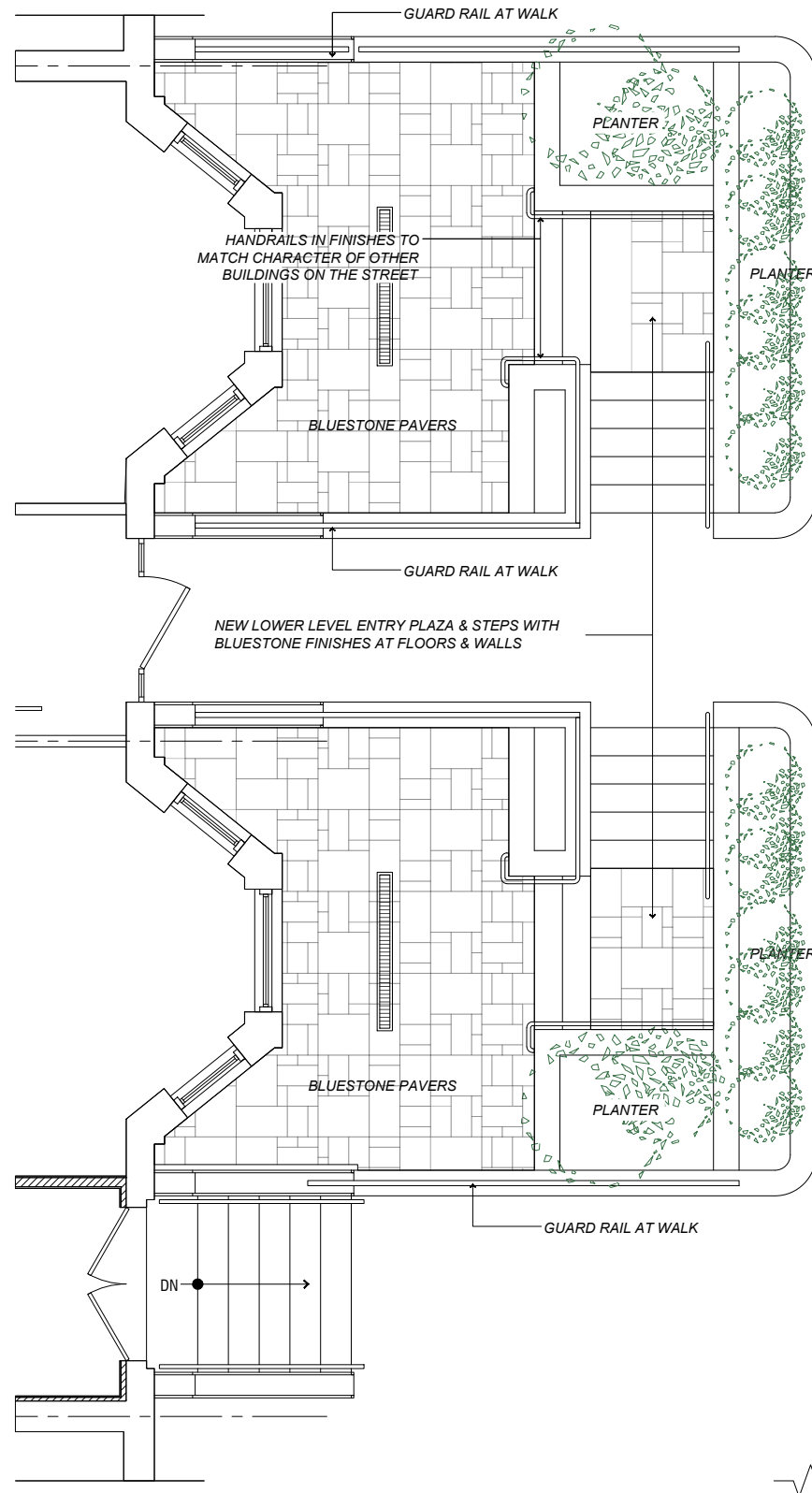
ARCHITECT
Margolis + Fishman
 Architects and Planners
 675 Massachusetts Ave.
 Cambridge, Massachusetts 02139
 Tel: 617.492.0200
 Fax: 617.547.2501

NEWBURY STREET PROJECT
 R E N O V A T I O N S
 276 / 278 NEWBURY STREET BOSTON, MA 02116

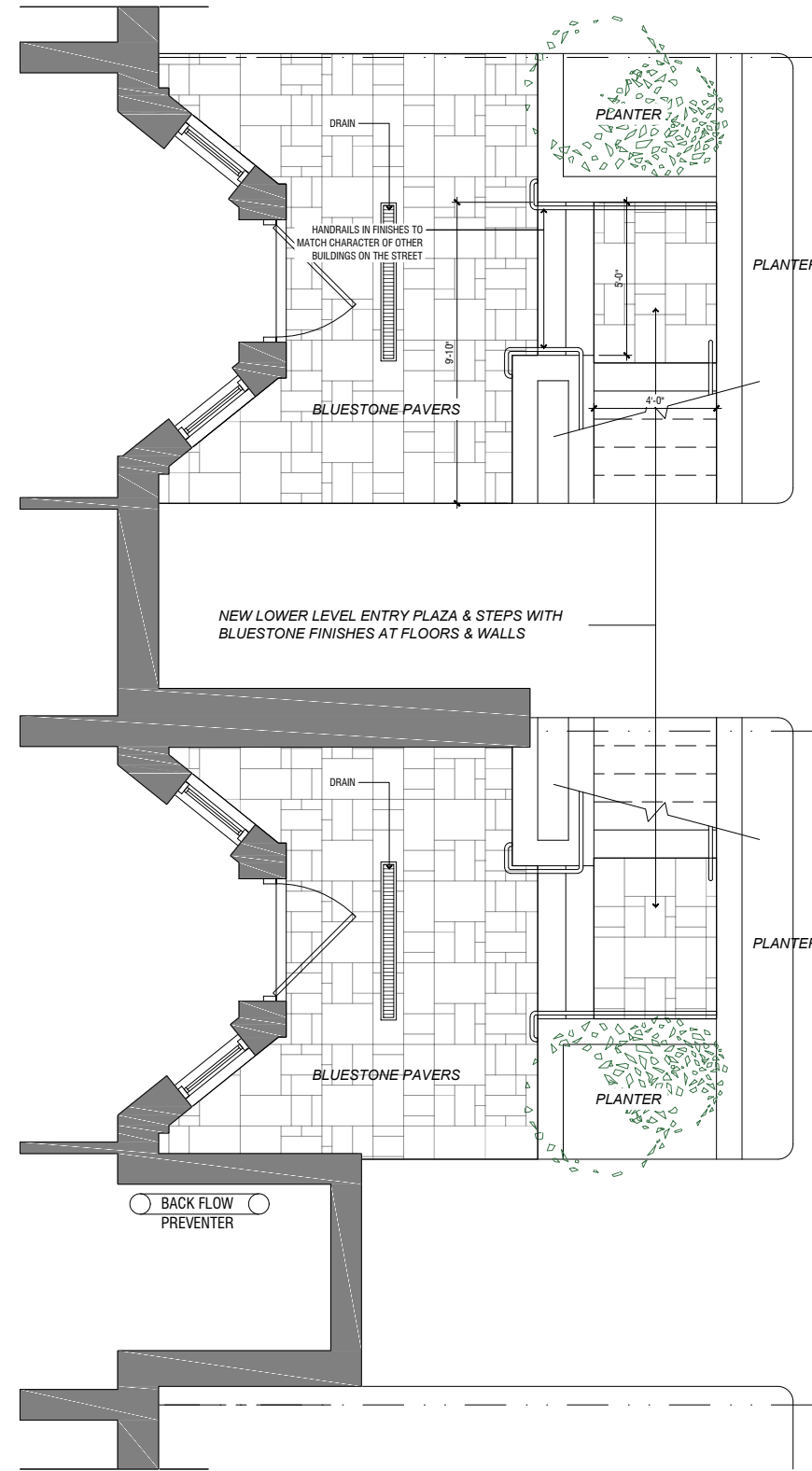
OWNER
Centremark, LLC
 425 Boylston Street, 9th Floor
 Boston, Massachusetts 02116
 Tel: 617.266.0303
 Fax: 617.463.9073



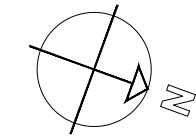
Drawing:
LOWER & FIRST LEVEL PLANS

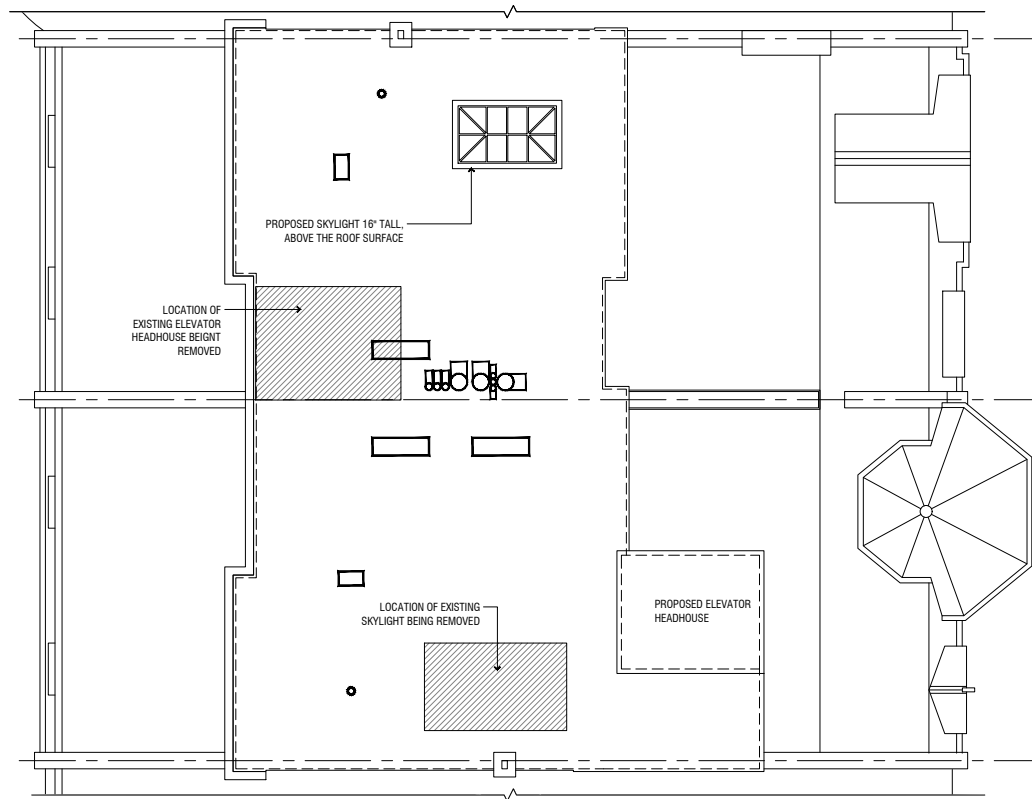


RETAIL ENTRY PLAZA AT SIDEWALK LEVEL

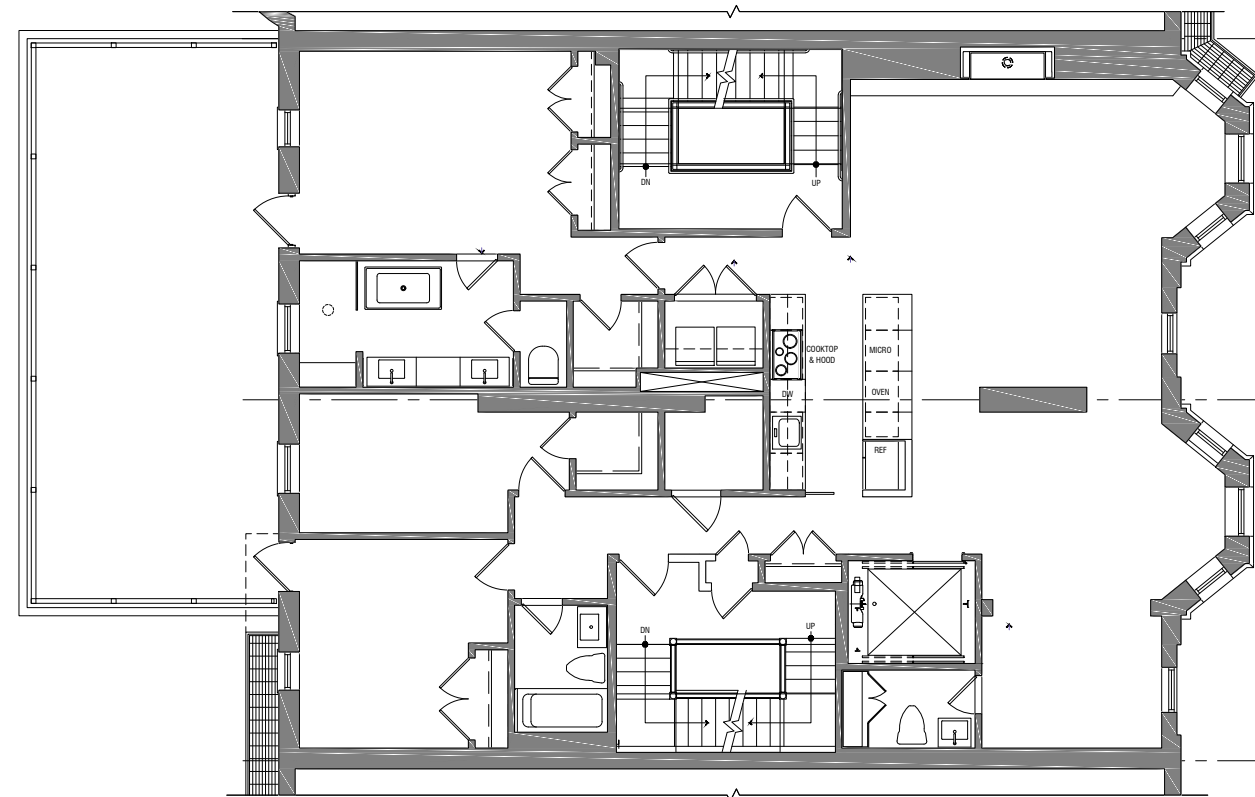


RETAIL ENTRY PLAZA AT LOWER LEVEL





ROOF PLAN



SECOND FLOOR PLAN

ARCHITECT

Margolis + Fishman
Architects and Planners

675 Massachusetts Ave.
Cambridge, Massachusetts 02139

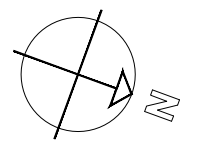
Tel: 617.492.0200
Fax: 617.547.2501

NEWBURY STREET PROJECT
R E N O V A T I O N S
276 / 278 NEWBURY STREET BOSTON, MA 02116

OWNER

Centremark, LLC
425 Boylston Street, 9th Floor
Boston, Massachusetts 02116

Tel: 617.266.0300
Fax: 617.463.9070



Drawing:
PENTHOUSE PLAN



PROPOSED NEWBURY STREET VIEW



EXISTING NEWBURY STREET VIEW

ARCHITECT

Margolis + Fishman
Architects and Planners

675 Massachusetts Ave.
Cambridge, Massachusetts 02139

Tel: 617.492.0200
Fax: 617.547.2501

**NEWBURY STREET PROJECT
RENOVATIONS**

276 / 278 NEWBURY STREET BOSTON, MA 02116

OWNER

Centremark, LLC

425 Boylston Street, 9th Floor
Boston, Massachusetts 02116

Tel: 617.266.0300
Fax: 617.463.8073

Drawing:
NEWBURY STREET VIEWS

ARCHITECT

Margolis + Fishman
Architects and Planners

675 Massachusetts Ave.
Cambridge, Massachusetts 02139

Tel: 617.492.0200
Fax: 617.547.2501

NEWBURY STREET PROJECT
R E N O V A T I O N S
276 / 278 NEWBURY STREET BOSTON, MA 02116

OWNER

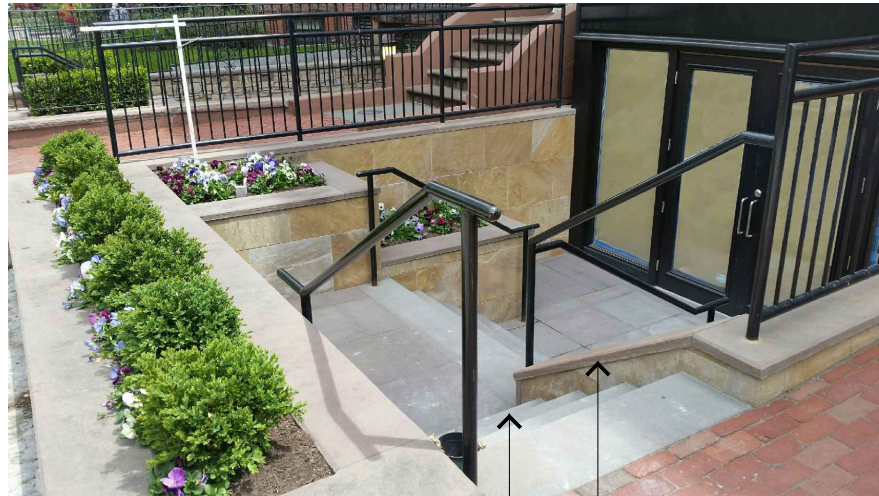
Centremark, LLC

425 Boylston Street, 9th Floor
Boston, Massachusetts 02116

Tel: 617.266.0300
Fax: 617.463.9073



REAR VIEWS - PUBLIC ALLEY 442



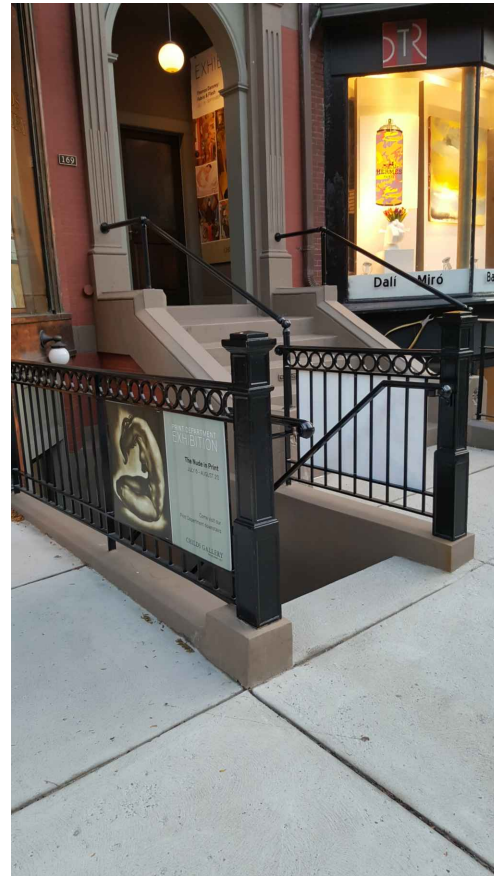
FINISHES EXAMPLES - DIGOUTS



LIGHT SANDSTONE /
LIMESTONE WALL FINISHES
BLUESTONE PAVING AT
PLAZA & STEPS



STEP & WALL LIGHTING



RAILING EXAMPLE



SIMILAR BAY DESIGN



REAR DOOR & LIGHTING

Legend

- GG - GAS GATE
- WG - WATER GATE
- DM - DRAIN MANHOLE
- F.F.E. - FINISHED FLOOR ELEVATION
- S - SEWER MANHOLE
- BT. CONC. - BITUMINOUS CONCRETE
- CONC. - CONCRETE
- RW - RETAINING WALL
- LAMP - LAMP
- EHH - ELECTRIC HAND HOLE
- MH - MANHOLE
- PVC - POLYVINYLCHLORIDE PIPE
- LS - LANDSCAPING
- MW - MONITORING WELL
- R - RIM
- I - INVERT
- RD - ROOF DRAIN
- OHW - OVERHEAD WIRE
- - PROPERTY LINE

Utility Note

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" (1-888-344-7233) PRIOR TO CONSTRUCTION.

SEWER - S
WATER - W
ELECTRIC - E
GAS - G

Flood Note

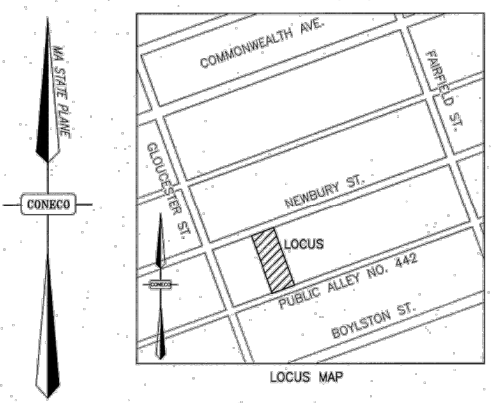
By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map No. 25025C0077G, which bears an effective date of September 25, 2009 and is not in a Special Flood Hazard Area.

Plan References:

1. L-1399
2. L-1342
3. L-1443
4. L-862
5. PLAN IN DEED BOOK 1558, PAGE 434.

Encroachments

A. NO ENCROACHMENTS WERE OBSERVED AT THE TIME OF THE SURVEY.



Zoning Information

ZONING DISTRICT: RETAIL, BUSINESS AND OFFICE DISTRICT (B-3-65)
ALSO SUBJECT TO BACK BAY DESIGN REVIEW FOR EXTERIOR RENOVATIONS. ALSO WITHIN THE INTERIM PLANNING OVERLAY DISTRICT, AND THE RESTRICTED PARKING OVERLAY AND GROUNDWATER CONSERVATION OVERLAY DISTRICT

PERMITTED USES:
RETAIL IS PERMITTED
PROFESSIONAL OFFICE IS PERMITTED; BANK IS PERMITTED
BARBER/BEAUTY SHOP IS PERMITTED
MULTI-FAMILY DWELLING IS PERMITTED

DIMENSIONAL REGULATIONS:
MINIMUM LOT SIZE: NONE
MINIMUM LOT AREA: NONE
MINIMUM LOT WIDTH: NONE
MAXIMUM FLOOR AREA RATIO: 3.0
MAXIMUM BUILDING HEIGHT: NONE
FRONT YARD: 20 FEET ON EAST WEST STREETS. A BAY WINDOW MAY PROTRUDE INTO THE FRONT YARD.
SIDE YARD: NONE
REAR YARD: 10 + L/20
SETBACK OF PARAPET: H + L1/6

Record Legal Description

Parcel 1 (276 Newbury Street)
A certain parcel of land with the buildings thereon shown as Lot 2 on a plan by Ernest W. Bowditch dated February 18, 1882 and recorded in Book 1558, Page 434, bounded and described as follows:
Northwesterly by Newbury Street, twenty two (22) feet;
Southwesterly on Lot No. 1 on said plan by a line running through the middle of a brick partition wall, said line being parallel with and ninety and 34/100 feet Northeastly from the Northeastly line of Gloucester Street, one hundred twelve feet to a passageway sixteen feet wide which is always to be kept open for the use of the owners and occupants of this and the adjoining lots for the purposes of a way, drainage and the like;
Southeasterly on said passageway, twenty-two (22) feet; and
Northeasterly on Lot 3 on said plan by a line running through the middle of a brick partition wall, said line being parallel with and one hundred twelve and 34/100 feet Northeastly from the Northeastly side line of Gloucester Street, one hundred twelve feet.

Parcel 2 (278 Newbury Street)
A certain parcel of land with the buildings thereon shown as Lot 1 and a strip of land .66 of a foot wide adjoining the westerly side of said Lot 1 on a plan by Ernest W. Bowditch dated February 18, 1882 and recorded in Book 1558, Page 434, bounded and described as follows:
Northerly by Newbury Street, twenty-two (22) feet;
Easterly by Lot No. 2 on said plan in part through the middle of a brick partition wall, the line being parallel with and 90.34 feet distant easterly from the easterly line of Gloucester Street, one hundred twelve (112) feet;
Southerly by a passageway 16 feet wide (now Public Alley No. 442), twenty-two (22) feet; and
Westerly by land now or formerly of Henry L. Mills, being in part through the middle of a brick partition wall, the line being parallel with and 68.34 feet distant easterly from the easterly line of Gloucester Street, one hundred twelve (112) feet.

Surveyor's Certification

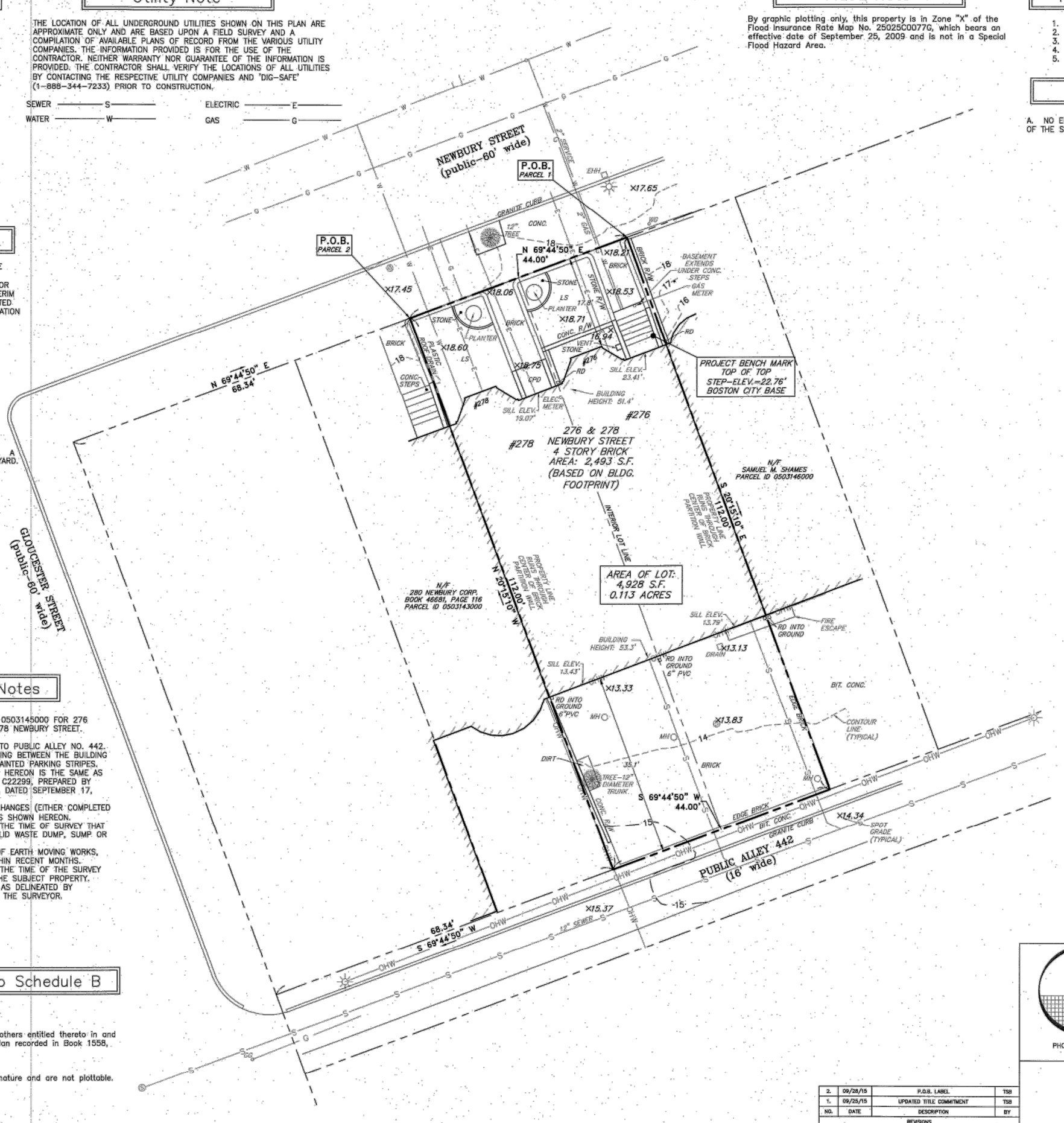
To: WL Back Bay Owner I, LLC; WL Back Bay Parent LLC; Bank of New England and its successors and/or assigns; First American Title Insurance Company; and Commonwealth Land Title Insurance Company;
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(b), 13, 14, 16, 17, 18, 19, 20(a) & 21 of Table A thereof.
The field work was completed on April 15, 2015.
Timothy S. Bodoh
Registration No. 46110
Within the Commonwealth of Massachusetts
Date of last revision: 4/01/16

Miscellaneous Notes

1. LOCUS PROPERTY IDENTIFICATION NO. IS 0503145000 FOR 276 NEWBURY STREET, AND 0503144000 FOR 278 NEWBURY STREET.
2. VERTICAL DATUM: BOSTON CITY BASE.
3. THE PROPERTY HAS VEHICULAR ACCESS TO PUBLIC ALLEY NO. 442.
4. PARKING IS TO THE REAR OF THE BUILDING BETWEEN THE BUILDING AND THE PUBLIC ALLEY. THERE ARE NO PAINTED PARKING STRIPES.
5. THE PROPERTY SURVEYED AND DEPICTED HEREON IS THE SAME AS THAT DESCRIBED IN TITLE COMMITMENT NO. C22299, PREPARED BY COMMONWEALTH TITLE INSURANCE COMPANY, DATED SEPTEMBER 17, 2015.
6. THE SURVEYOR IS NOT AWARE OF ANY CHANGES (EITHER COMPLETED OR PROPOSED) IN THE RIGHT OF WAY LINES SHOWN HEREON.
7. THERE WAS NO EVIDENCE OBSERVED AT THE TIME OF SURVEY THAT THE SITE IS OR WAS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
8. THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORKS, BUILDING CONSTRUCTION, OR ADDITIONS WITHIN RECENT MONTHS.
9. THERE WAS NO EVIDENCE OBSERVED AT THE TIME OF THE SURVEY OF CEMETERIES OR BURIAL GROUNDS ON THE SUBJECT PROPERTY.
10. NO INFORMATION REGARDING WETLANDS AS DELINEATED BY APPROPRIATE AUTHORITIES WAS PROVIDED TO THE SURVEYOR.

Items Corresponding to Schedule B

- ITEM 7. Common law party wall rights.
-Party walls are plotted.
- ITEM 8. Title to and rights of the public and others entitled thereto in and to a 16-foot wide passage way shown on a plan recorded in Book 1558, Page 434 known as Public Alley No. 442.
-Plotted.
- All other Schedule B items are non-survey in nature and are not plottable.



CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com



| | | | |
|--|--------------------------------------|-------------|---------|
| ALTA/ACSM LAND TITLE SURVEY | | | |
| 276 & 278 NEWBURY STREET BOSTON, MA | | | |
| PREPARED FOR: | CAPUTO PROJECT DELIVERY SOLUTIONS | | |
| SCALE | DATE | ACAD FILE | JOB NO. |
| 1"=10' | 07/23/15 | 2189-1B.DWG | 2189.1 |

| NO. | DATE | DESCRIPTION | BY |
|-----------|----------|--------------------------|-----|
| 2. | 09/28/15 | P.O.B. LABEL | TSS |
| 1. | 09/25/15 | UPDATED TITLE COMMITMENT | TSS |
| REVISIONS | | | |